



BOARD OF COMMISSIONERS MEETING

CAPITAL CITY DEVELOPMENT CORPORATION

Board of Commissioners Meeting
Conference Room, Fifth Floor, 121 N. 9th Street
October 12, 2020, 12:00 p.m.

Virtual attendance is strongly encouraged.

Please visit: <https://ccdcboise.com/the-agency/board-of-commissioners/>

A G E N D A

I. CALL TO ORDER Chair Zuckerman

II. ACTION ITEM: AGENDA CHANGES/ADDITIONS Chair Zuckerman

III. ACTION ITEM: CONSENT AGENDA

- A. Expenses
 - 1. Approval of Paid Invoice Report - September 2020
- B. Minutes and Reports
 - 1. Approval of September 14, 2020 Meeting Minutes
- C. Other
 - 1. Approve Resolution #1672 - CityGO Memorandum of Understanding (MOU)
 - 2. Approve Resolution #1677 - Prequalification of Contractors for 9th & Front Garage Stair Structural Repairs
 - 3. Approve Resolution #1678 - Prequalification of Contractors for 10th & Front Garage Structural Damage Repairs
 - 4. Approve Resolution #1679 - Main and Fairview Transit Stops - Design Services Amendment No. 1

IV. ACTION ITEM

- A. CONSIDER: Issuing Request for Qualifications/Proposals (RFQ/P) 1715 W. Idaho Street - Housing Infill Development (10 minutes) Brady Shinn

V. INFORMATION/DISCUSSION ITEMS

- A. CCDC Monthly Report (5 minutes) John Brunelle
- B. Westside District - Preparation for Transformation RFP (10 minutes) Doug Woodruff
- C. Parking and Mobility Update (10 minutes) Matt Edmond
- D. Special Item - Max Clark Recognition (10 minutes) Agency Team

VI. ADJOURN

This meeting will be conducted in compliance with the Idaho Open Meetings Law. In addition, all COVID-19 health safety protocols will be observed. Face masks and social distancing will be required. Due to limited seating in-person attendees may be required to wait outside the meeting room once the maximum safe meeting room capacity is reached. All CCDC Board members will attend virtually. Interested members of the public are welcome and are encouraged to attend virtually via the link above.

This meeting is being conducted in a location accessible to those with physical disabilities. Participants may request reasonable accommodations, including but not limited to a language interpreter, from CCDC to facilitate their participation. For assistance with accommodation, contact CCDC at 121 N 9th St, Suite 501 or (208) 384-4264 (TTY Relay 1-800-377-3529).



III. CONSENT AGENDA



Paid Invoice Report

For the Period: 9/1/2020 through 9/30/2020

Payee	Description	Payment Date	Amount
Debt Service:			
Payroll:			
PERSI	Retirement Payment	9/9/2020	18,592.71
EFTPS - IRS	Federal Payroll Taxes	9/9/2020	14,519.10
Idaho State Tax Commission	State Payroll Taxes	9/9/2020	2,173.00
CCDC Employees	Direct Deposits Net Pay	9/9/2020	37,696.35
PERSI	Retirement Payment	9/23/2020	18,592.71
EFTPS - IRS	Federal Payroll Taxes	9/23/2020	14,519.10
Idaho State Tax Commission	State Payroll Taxes	9/23/2020	2,173.00
CCDC Employees	Direct Deposits Net Pay	9/23/2020	37,696.36
Total Payroll Payments:			145,962.33
Checks and ACH			
Various Vendors	Check and ACH Payments (See Attached)	September 2020	3,057,158.19

Total Cash Disbursements: \$ 3,203,120.52

I have reviewed and approved all cash disbursements in the month listed above.

A handwritten signature in blue ink that reads 'Ross Borden'.

Finance Director

10/5/2020

Date

A handwritten signature in blue ink that reads 'JB'.

Executive Director

10-7-2020

Date

Report Criteria:
Detail report type printed

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
4163	5th and Idaho Investors LL	T2 2020	T2 contractual payment - 5	09/01/2020	170,979.00	63748	09/28/2020
Total 4163:					170,979.00		
4126	Agnew Beck Consulting Inc	8916	Old Boise Grove Street Pu	07/31/2020	4,092.22	63749	09/28/2020
		8916	Old Boise Grove Street Pu	07/31/2020	4,092.21	63749	09/28/2020
		8916	Old Boise Grove Street Pu	07/31/2020	41.78	63749	09/28/2020
		8916	Old Boise Grove Street Pu	07/31/2020	41.79	63749	09/28/2020
		8959	Old Boise Grove Street Pu	08/31/2020	2,911.88	63749	09/28/2020
		8959	Old Boise Grove Street Pu	08/31/2020	2,911.87	63749	09/28/2020
Total 4126:					14,091.75		
3838	American Fire Protection L	10362	annual inspection	07/01/2020	3,394.00	63750	09/28/2020
		10406	Service call	07/07/2020	185.00	63750	09/28/2020
		10698	Monthly pump inspection &	08/12/2020	185.00	63750	09/28/2020
		10773	Sevice call & fire system re	08/25/2020	4,077.50	63750	09/28/2020
Total 3838:					7,841.50		
1316	Blue Cross of Idaho	2021800128	Health Insurance - Sept 20	09/01/2020	26,226.91	63728	09/01/2020
Total 1316:					26,226.91		
1385	Boise City Utility Billing	1177 SEPT2	848 Main St # 0447416001	09/01/2020	8.17	11741	09/28/2020
Total 1385:					8.17		
4141	Boise Hotel Investors LLC	T2 2020	T2 contractual payment - H	09/01/2020	101,853.95	11724	09/30/2020
Total 4141:					101,853.95		
4022	Boxcast Inc	B57F3A3-00	storage fees	09/01/2020	15.46	11710	09/29/2020
Total 4022:					15.46		
4082	BVGC Parcel B LLC	1600006729	11th & Front garage CAM e	08/01/2020	2,660.28	11725	09/30/2020
		1600006893	11th & Front garage CAM e	09/01/2020	2,660.28	11725	09/30/2020
		T3 2020	T3 contractual payment - pi	09/01/2020	612,452.50	11725	09/30/2020
Total 4082:					617,773.06		
3712	Car Park	JULY2020	10th & Front - Grove	07/31/2020	24,701.93	11726	09/30/2020
		JULY2020	9th & Front - City Centre	07/31/2020	28,733.72	11726	09/30/2020
		JULY2020	9th & Main - Eastman	07/31/2020	22,770.40	11726	09/30/2020
		JULY2020	Cap & Front - BLVD	07/31/2020	12,326.81	11726	09/30/2020
		JULY2020	Cap & Main - Cap Terrace	07/31/2020	31,101.80	11726	09/30/2020
		JULY2020	Cap & Myrtle - Myrtle	07/31/2020	21,401.63	11726	09/30/2020
		JULY2020	10th & Front - refunds	07/31/2020	280.00	11726	09/30/2020
		JULY2020	9th & Front - refunds	07/31/2020	280.00	11726	09/30/2020
		JULY2020	9th & Main - refunds	07/31/2020	12.00	11726	09/30/2020
		JULY2020	Cap & Main - Refunds	07/31/2020	2,362.50	11726	09/30/2020
		PARKBOI AU	10th & Front - Grove	08/31/2020	24,572.51	11726	09/30/2020
		PARKBOI AU	9th & Front - City Centre	08/31/2020	31,249.16	11726	09/30/2020

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
		PARKBOI AU	9th & Main - Eastman	08/31/2020	22,102.40	11726	09/30/2020
		PARKBOI AU	Cap & Front - BLVD	08/31/2020	11,087.84	11726	09/30/2020
		PARKBOI AU	Cap & Main - Cap Terrace	08/31/2020	30,306.67	11726	09/30/2020
		PARKBOI AU	Cap & Myrtle - Myrtle	08/31/2020	17,120.82	11726	09/30/2020
		PARKBOI AU	Cap & Front - Refunds	08/31/2020	380.00	11726	09/30/2020
					<hr/>		
		Total 3712:			280,790.19		
3857	Carew Co	3273	CCDC Website Maint.	09/15/2020	262.50	63751	09/28/2020
					<hr/>		
		Total 3857:			262.50		
1556	Caselle Inc.	103759	Contract support - Sept 20	09/01/2020	840.00	63729	09/01/2020
					<hr/>		
		Total 1556:			840.00		
1595	City of Boise	IL1574	Downtown Core Maint - R	08/01/2020	1,955.95	63752	09/28/2020
		IL1574	Downtown Core Maint - W	08/01/2020	1,416.38	63752	09/28/2020
		IL1584	Downtown Core Maint - R	09/01/2020	1,955.95	63752	09/28/2020
		IL1584	Downtown Core Maint - W	09/01/2020	1,416.38	63752	09/28/2020
		IL1591	Utility Reimbursement (Tra	08/31/2020	2,620.42	63752	09/28/2020
		IL1591	Utility Reimbursement (Tra	08/31/2020	1,411.00	63752	09/28/2020
					<hr/>		
		Total 1595:			10,776.08		
4116	Civil Survey Consultants In	20015-05	Production Street and Gow	08/31/2020	5,412.00	11727	09/30/2020
					<hr/>		
		Total 4116:			5,412.00		
3947	Crane Alarm Service	70212	annual inspection	07/01/2020	2,446.00	63753	09/28/2020
		71695	Fire Alarm System - Monito	08/01/2020	25.00	63753	09/28/2020
		72716	Fire Alarm System - servic	08/31/2020	1,057.50	63753	09/28/2020
		72864	Fire Alarm System - Monito	09/01/2020	25.00	63753	09/28/2020
					<hr/>		
		Total 3947:			3,553.50		
3977	Cushing Terrell Architects	153083	10th & State Architectural	07/15/2020	4,973.82	11728	09/30/2020
		153959	10th & State Architectural	08/31/2020	509.76	11728	09/30/2020
					<hr/>		
		Total 3977:			5,483.58		
4151	Desman Inc	D20058	10th & Front Garage Struct	08/31/2020	1,470.00	11711	09/29/2020
					<hr/>		
		Total 4151:			1,470.00		
1787	Downtown Boise Associati	8337	Downtown Infrastructure C	08/31/2020	2,033.52	63754	09/28/2020
		8337	Downtown Infrastructure C	08/31/2020	5,837.37	63754	09/28/2020
		8337	Downtown Infrastructure C	08/31/2020	5,837.37	63754	09/28/2020
					<hr/>		
		Total 1787:			13,708.26		
1838	Elam & Burke P.A.	187392	Parking Matters	08/31/2020	2,138.45	11729	09/30/2020
		187393	Hoffman v. City of Boise	08/31/2020	16,619.31	11729	09/30/2020
		187394	WS District Amendment	08/31/2020	5,099.15	11729	09/30/2020
		187395	101-0 General	08/31/2020	1,190.85	11729	09/30/2020
		187433	30th Street Projects	08/31/2020	957.30	11729	09/30/2020

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
Total 1838:					26,005.06		
3695	Guho Corp.	190101063-0	2019 Streetscapes	07/16/2020	39,586.24	11730	09/30/2020
		190101063-0	2019 Streetscapes	07/16/2020	5,792.95-	11730	09/30/2020
		190101063-0	2019 Streetscapes	07/16/2020	7,166.29	11730	09/30/2020
		190101063-0	2019 Streetscapes	07/16/2020	69,275.59	11730	09/30/2020
		200101063-0	8th & Bannock Streetscape	08/31/2020	16,347.64	11730	09/30/2020
		200101063-0	8th & Bannock Streetscape	08/31/2020	38,144.50	11730	09/30/2020
		200101063-0	8th & Bannock Streetscape	08/31/2020	37,480.27	11730	09/30/2020
		200101063-0	8th & Bannock Streetscape	08/31/2020	87,453.95	11730	09/30/2020
Total 3695:					289,661.53		
4104	Hellmann Construction Co	200062-3	ParkBOI Garages – Door H	08/31/2020	127,062.50	11731	09/30/2020
Total 4104:					127,062.50		
3810	Hummel Architects PLLC	9644	Cap & Main Elevators Refu	08/31/2020	496.73	11712	09/29/2020
		9649	Prototype parking structure	08/31/2020	1,675.00	11712	09/29/2020
Total 3810:					2,171.73		
2129	Idaho Blueprint & Supply C	0000454666	myrtel front LED maps	07/31/2020	93.00	Multiple	Multiple
Total 2129:					93.00		
2165	Idaho Power	27534725	Westside Urban Park	09/01/2020	40,000.00	63747	09/04/2020
		6607 AUG20	9th St outlets #220040660	08/31/2020	3.96	11740	09/18/2020
		7995 AUG20	9th & State # 2201627995	08/31/2020	3.50	11739	09/16/2020
Total 2165:					40,007.46		
3900	Idaho Records Manageme	0141121	Records Storage	09/01/2020	89.78	11714	09/29/2020
Total 3900:					89.78		
2186	Idaho Statesman	263244 AUG	Legal Notices	08/31/2020	1,097.53	63755	09/28/2020
Total 2186:					1,097.53		
2252	International Downtown As	78291	Member dues	08/24/2020	1,205.00	63756	09/28/2020
Total 2252:					1,205.00		
3966	Involta LLC	0052992	Website Hosting Services	09/01/2020	1,347.90	63757	09/28/2020
Total 3966:					1,347.90		
3808	Jed Split Creative	2390	Web hosting - shorline	08/31/2020	300.00	63758	09/28/2020
		2390	Web hosting - ccdcoise	08/31/2020	300.00	63758	09/28/2020
		2390	creative services - CCDC s	08/31/2020	79.80	63758	09/28/2020
		2391	creative services - old bois	08/31/2020	950.00	63758	09/28/2020
Total 3808:					1,629.80		
2288	Jensen Belts Associates	1765CD-6	Westside Park DD-CD-CA	08/31/2020	17,332.97	11732	09/30/2020

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
		1768CD-4	8th and Bannock Streetsca	08/31/2020	4,882.58	11732	09/30/2020
		1768CD-4	8th and Bannock Streetsca	08/31/2020	5,452.82	11732	09/30/2020
	Total 2288:				27,668.37		
3910	Joey Chen	SEPT2020	2020 CFO Forum Expense	09/10/2020	200.00	11709	09/25/2020
	Total 3910:				200.00		
4164	JRS Properties III LLLP	T3 2020	T3 contractual payment - S	09/01/2020	875,000.00	63759	09/28/2020
	Total 4164:				875,000.00		
2360	Kittelson & Associates Inc.	0111919	11th Street Bikeway Conce	07/31/2020	19,470.00	11733	09/30/2020
	Total 2360:				19,470.00		
4156	Lea Electric LLC	J4022-01	Westside Urban Park Early	08/17/2020	4,978.76	11734	09/30/2020
		J4022-02	Westside Urban Park Early	09/17/2020	1,920.18	11734	09/30/2020
	Total 4156:				6,898.94		
4157	MIG, Inc.	0065713	State Street Corridor Fram	07/31/2020	11,033.75	11735	09/30/2020
		0066044	State Street Corridor Fram	08/31/2020	5,733.75	11735	09/30/2020
	Total 4157:				16,767.50		
4136	Mintify LLC	160	Management Training	08/31/2020	4,000.00	11715	09/29/2020
	Total 4136:				4,000.00		
4142	Pennbridge BODO LLC	T2 2020	T2 contractual payment - R	09/01/2020	254,060.00	63760	09/28/2020
	Total 4142:				254,060.00		
2774	Pro Care Landscape Mana	34475	Landscape Maintenance -	08/31/2020	132.00	63761	09/28/2020
		34482	Landscape Maintenance -	08/31/2020	243.00	63761	09/28/2020
		34595	1715 W Idaho St - Property	08/31/2020	1,180.00	63761	09/28/2020
	Total 2774:				1,555.00		
2798	Quadrant Consulting Inc.	11188	State Street Infrastructure	08/31/2020	3,646.40	11716	09/29/2020
	Total 2798:				3,646.40		
4125	Red Sky Inc	41568	Communication Services	07/31/2020	4,000.00	63762	09/28/2020
	Total 4125:				4,000.00		
3896	Rim View LLC	SEPT2020	Monthly Rent and NNN - Tr	09/01/2020	15,250.00	63730	09/01/2020
	Total 3896:				15,250.00		
3929	SB Friedman Development	PO 200063-2	Westside URD Amendment	08/31/2020	1,552.50	11736	09/30/2020
		PO 200063-2	Westside URD Amendment	08/31/2020	22,344.75	11736	09/30/2020
		PO 200063-2	Westside URD Amendment	08/31/2020	10,000.00	11736	09/30/2020

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
Total 3929:					33,897.25		
3796	Scheidt & Bachmann USA I	42166	August 2020 Merchant Fee	08/31/2020	389.66	11717	09/29/2020
Total 3796:					389.66		
4076	Schindler Elevator Corpora	190039-4	capitol & main elevator proj	07/31/2020	6,524.85	11737	09/30/2020
Total 4076:					6,524.85		
3542	Security LLC - Plaza 121	SEPT2020	Office rent - Sept 2020	09/01/2020	13,620.75	63731	09/01/2020
Total 3542:					13,620.75		
4131	Smarking Inc	4368	Data Management Service	07/31/2020	1,750.00	11738	09/30/2020
		4368	Data Management Service	07/31/2020	7,000.00	11738	09/30/2020
Total 4131:					8,750.00		
3974	Stability Networks Inc.	33227	IT Services - FY2020	08/31/2020	2,255.00	11718	09/29/2020
		33227	Phone System Support	08/31/2020	85.00	11718	09/29/2020
		33227	AppRiver SecureTide	08/31/2020	90.00	11718	09/29/2020
		33227	Cloud Backup	08/31/2020	420.00	11718	09/29/2020
		33227	Cisco Subscription	08/31/2020	5.84	11718	09/29/2020
		33316	Software license - Adobe A	09/11/2020	494.21	11718	09/29/2020
Total 3974:					3,350.05		
3242	Suez Water Idaho	0025 SEPT2	437 S 9th St irri #06006688	09/11/2020	74.93	11744	09/28/2020
		2853 SEPT2	Eastman office #06000337	09/11/2020	88.95	11742	09/28/2020
		8504 SEPT2	Grove & 10th #060035756	09/11/2020	196.10	11743	09/28/2020
Total 3242:					359.98		
4109	Syringa Networks LLC	20339 SEPT	internet & data	09/01/2020	647.75	63763	09/28/2020
Total 4109:					647.75		
3831	The Land Group Inc.	0144415	6th Street Streetscapes, M	08/31/2020	69.12	11719	09/29/2020
		0144415	6th Street Streetscapes, M	08/31/2020	1,180.88	11719	09/29/2020
Total 3831:					1,250.00		
4074	The Potting Shed	18371	Interior Plant Maint.	08/31/2020	65.00	63764	09/28/2020
Total 4074:					65.00		
3170	Treasure Valley Coffee Inc.	2160067995	Coffee & tea	08/31/2020	97.49	63765	09/28/2020
Total 3170:					97.49		
3233	United Heritage	02014-001 A	Disability insurance - Augu	08/31/2020	1,497.75	63766	09/28/2020
Total 3233:					1,497.75		
3835	US Bank - Credit Cards	8.25.2020	Office Supplies	08/25/2020	153.60	11708	09/14/2020

Vendor Number	Name	Invoice Number	Description	Invoice Date	Amount	Check Number	Check Issue Date
		8.25.2020	Computer & Software Supp	08/25/2020	29.99	11708	09/14/2020
		8.25.2020	Dues & Subscriptions	08/25/2020	1,928.66	11708	09/14/2020
		8.25.2020	Personnel Training (Local)	08/25/2020	79.00	11708	09/14/2020
		8.25.2020	Banking & Merchant Fees	08/25/2020	75.60	11708	09/14/2020
Total 3835:					2,266.85		
3997	Wash Worx	INV-000705	Replace broken tree grate -	08/25/2020	125.00	11720	09/29/2020
		INV-000718	Fence Repair - 421 N. 10th	09/16/2020	1,000.00	11720	09/29/2020
Total 3997:					1,125.00		
3365	Westerberg & Associates	237	Legislative Advisement Ser	08/31/2020	2,000.00	11721	09/29/2020
Total 3365:					2,000.00		
3374	Western States Equipment	IN001398465	Bldg 8 generator maintena	08/24/2020	278.16	63767	09/28/2020
		IN001406575	Bldg 8 generator monthly i	08/31/2020	489.39	63767	09/28/2020
Total 3374:					767.55		
3990	Xerox Corporation	011271191	Copier Lease	08/31/2020	274.85	11722	09/29/2020
Total 3990:					274.85		
4154	XXII Media LLC	XXII_CCDCA	Staff Professional Photos -	08/31/2020	300.00	11723	09/29/2020
Total 4154:					300.00		
Grand Totals:					3,057,158.19		

Report Criteria:

Detail report type printed

MINUTES OF MEETING
BOARD OF COMMISSIONERS
CAPITAL CITY DEVELOPMENT CORPORATION
Boise, ID 83702
September 14, 2020

I. CALL TO ORDER:

Board Members appeared remotely, as did Brady Shinn, Project Manager – Property Development, Todd Bunderson, Development Director, Kathy Wanner, Contracts Specialist, Amy Fimbel, Project Manager – Capital Improvements, Matt Edmond, Director – Parking & Mobility, and Ryan Armbruster, CCDC Legal Counsel.

John Brunelle, CCDC Executive Director, and Sarah Jones, Executive Assistant, were present at the CCDC physical office location.

Members of the Public present at the CCDC physical office location were Jay Vogt, Private Citizen and David Klinger from Boise Working Together.

Present: Commissioner Dana Zuckerman, Commissioner Ryan Woodings, Commissioner Maryanne Jordan, Commissioner Lauren McLean, Commissioner Danielle Hurd, Commissioner Gordon Jones, Commissioner David Bieter and Commissioner Kate Nelson

Absent: Commissioner Latonia Haney Keith

Roll call was taken, by Ryan Armbruster, Agency Legal Counsel confirming quorum.

Chairman Zuckerman convened the meeting with a quorum at 12:00 p.m.

II. ACTION ITEM: AGENDA CHANGES/ADDITIONS:

There were no changes to the agenda.

III. ACTION ITEM: CONSENT AGENDA

A. Expenses

1. Approval of Paid Invoice Report - August 2020

B. Minutes and Reports

1. Approval of August 10, 2020 Meeting Minutes
2. Approval of August 26, 2020 Special Meeting Minutes

C. Other

1. Approve Resolution #1674 – 2419 W. Fairview – Adare Manor – Amendment to the Type 2 General Assistance Agreement
2. Approve Resolution #1676 – 2419 W. Fairview – Adare Manor – Amendment to the Type 4 Capital Improvement Project Agreement
3. Approve Resolution #1675 – 1322 W. Main Street – Fire Fusion Studio Retail – Type 1 Streetscape Participation Program with FireFusion LLC
4. FY2020 Q3 Financial Report (Unaudited)
Commissioner Woodings made a motion to approve the Consent Agenda.

Commissioner Hurd seconded

Roll Call:

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman - Aye

The motion carried 7-0

Commissioner Nelson joined the meeting after the Consent Agenda vote.

IV. ACTION ITEMS

- A. CONSIDER:** 600 S. 8th Street Mixed Use – Designation for Participation Program Type 3 Transformative Agreement with Jordan-Wilcomb Construction and Global Senior Housing.

Representatives for Jordan-Wilcomb, Cecil Wilcomb, and Global Senior Housing, Nick Walsh, appeared remotely.

Brady Shinn, Project Manager – Property Development, gave a report.

Commissioner Woodings moved to Designate the 8th and River mixed-use project as eligible to utilize the Type 3 Transformative Participation Agreement and direct staff to continue negotiating a Letter of Intent with Wilcomb LLC and/or assigns for future Board approval.

Commissioner Bieter seconded.

Roll Call:

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Nelson - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman - Aye

The motion carried 8-0

- B. CONSIDER:** Resolution #1669 – Approve First Amendment to the Urban Renewal Plan Westside Downtown Urban Renewal Project

Representatives for SB Friedman, Geoff Dickinson and Caren Kay, appeared remotely.

Todd Bunderson, Development Director, gave a report.
Caren Kay, SB Friedman, gave a report.

Commissioner Woodings moved Adopt Resolution #1669 Approving the First Amendment to the Urban Renewal Plan Westside Downtown Urban Renewal Project.

Commissioner Bieter seconded.

Roll Call:

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Nelson - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman - Aye

The motion carried 8-0

C. CONSIDER: Resolution #1670 - Approval of Amendment No. 1 to the CM/GC Contract – Westside Urban Park

Kathy Wanner, Contracts Specialist, gave a report.

Amy Fimbel, Project Manager – Capital Improvements, gave a report.

Commissioner Woodings moved to adopt Resolution No. 1670 approving and authorizing the execution of Amendment No. 1 to the CM/GC Contract with Wright Brothers.

Commissioner Bieter seconded.

Roll Call:

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Nelson - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman - Aye

The motion carried 8-0

D. CONSIDER: Resolution #1671 – Selection of On-Call Parking & Mobility Consultant Services

Kathy Wanner, Contracts Specialist, gave a report.

Matt Edmond, Director – Parking & Mobility, gave a report.

Commissioner Woodings moved to adopt Resolution No. 1671 approving the ranking for the RFQ Parking & Mobility Consulting Services; and authorize the Executive Director to

negotiate and enter into a five year, non-exclusive Professional Service Agreement with Kimley-Horn Associates, Inc. for on-call parking consultant services.

Commissioner Bieter seconded.

Roll Call:

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Nelson - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman – Aye

The motion carried 8-0

V. INFORMATION/DISCUSSION ITEMS

A. CCDC Monthly Report

John Brunelle, CCDC Executive Director, gave a report.

VI. MEETING ADJOURNMENT

There being no further business to come before the Board, a motion was made by Commissioner Woodings to adjourn the meeting. Commissioner Bieter seconded the motion. A roll call vote was taken.

Commissioner Bieter - Aye
Commissioner Hurd - Aye
Commissioner Jones - Aye
Commissioner Jordan - Aye
Commissioner Mclean - Aye
Commissioner Nelson - Aye
Commissioner Woodings - Aye
Commissioner Zuckerman - Aye

The motion carried 8-0. The meeting adjourned at 12:50 p.m.

ADOPTED BY THE BOARD OF DIRECTORS OF THE CAPITAL CITY DEVELOPMENT CORPORATION ON THE 14th DAY OF SEPTEMBER 2020.

Dana Zuckerman, Chair

Lauren McLean, Secretary



AGENDA BILL

Agenda Subject: City Go Memorandum of Understanding (MOU) FY2021-FY2025		Date: October 12, 2020
Staff Contact: Matt Edmond, Director of Parking & Mobility	Attachments: Resolution No. 1672 Approving City Go MOU	
Action Requested: Adoption of Resolution No. 1672 approving the MOU between Valley Regional Transit (VRT), the City of Boise, the Ada County Highway District (ACHD) Commuteride, Boise State University and Capital City Development Corporation (CCDC) for efforts and expenses associated with the mobility initiative “City GO.”		

Fiscal Notes:

The Memorandum of Understanding calls for a \$100,000 contribution from the Agency to support City GO each year the MOU is in effect. The Agency has budgeted \$100,000 in FY2021 for this purpose.

Background:

City Go, formerly referred to as the Downtown Mobility Collaborative (DMC), was established by MOU between VRT the City of Boise, CCDC, ACHD Commuteride and Boise State University. Its purpose was to design and implement an innovative approach to decrease the mode share of single occupancy vehicles and better utilize the infrastructure, services, and programs in Downtown Boise to promote alternative modes of transportation. It is the hope of the participating agencies that this approach that can serve as a model for future public-private partnerships to improve mobility choices and access in other parts of the region.

Downtown Boise currently has approximately 19,000 parking spaces and accommodates over 36,000 workers in a single day. The number of workers in Downtown is expected to exceed 56,000 by the year 2040. While current daytime on and off-street occupancy is well below capacity due to the pandemic, demand is expected to recover and waitlists resume for monthly structured parking within a couple of years. Even if the parking supply could keep up with the future demand, the road system has extremely limited options for capacity enhancements, resulting in ever more congestion in Downtown. Simply building more parking is not a sustainable approach for the future, but strategies to limit the demand side of the equation can help use our existing parking and road network more efficiently and limit the need for costly public infrastructure such as structured parking and widened roads.

The original MOU was a two-year agreement, which expired on September 30, 2020. The City Go Program Director, Kaite Justice, has been working with the Steering Committee and representatives from VRT, Boise State, City of Boise, ACHD Commuteride, and CCDC to draft this new MOU to continue the partnership and critical work in Downtown Boise.

The new MOU is a five-year agreement, from FY2021 through FY2025. This MOU has already been approved by the ACHD Commission, Boise State University, and the VRT Board.

Staff Recommendation:

Staff recommends adoption of Resolution No. 1672 approving the City GO MOU.

Suggested Motion:

I move to adopt Resolution No. 1672, approving the Memorandum of Understanding between Valley Regional Transit, the City of Boise, the Ada County Highway District, Boise State University and Capital City Development Corporation for efforts and expenses associated with the mobility initiative "City GO."

RESOLUTION NO. 1672

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF THE CITY OF BOISE, IDAHO, APPROVING THE MEMORANDUM OF UNDERSTANDING BETWEEN VALLEY REGIONAL TRANSIT, THE CITY OF BOISE, THE ADA COUNTY HIGHWAY DISTRICT, BOISE STATE UNIVERSITY, AND THE AGENCY FOR EFFORTS AND EXPENSES ASSOCIATED WITH THE MOBILITY INITIATIVE "CITY GO"; AUTHORIZING THE EXECUTIVE DIRECTOR TO EXECUTE SAID MEMORANDUM OF UNDERSTANDING WITH AN EFFECTIVE DATE OF OCTOBER 1, 2020, AND ANY NECESSARY DOCUMENTS REQUIRED TO IMPLEMENT THE MEMORANDUM OF UNDERSTANDING, INCLUDING MAKING ANY NECESSARY TECHNICAL CHANGES TO THE MEMORANDUM OF UNDERSTANDING SUBJECT TO CERTAIN CONDITIONS; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code (the "Law"), and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, the City Council of Boise City, Idaho (the "City"), after notice duly published, conducted a public hearing on the River Street-Myrtle Street Urban Renewal Plan (the "River Street Plan"), and following said public hearing the City adopted its Ordinance No. 5596 on December 6, 1994, approving the River Street Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amended and Restated Urban Renewal Plan, River Street-Myrtle Street Urban Renewal Project (annexation of the Old Boise Eastside Study Area and Several Minor Parcels) and Renamed River Myrtle-Old Boise Urban Renewal Project (the "River Myrtle-Old Boise Plan"); and,

WHEREAS, following said public hearing, the City adopted its Ordinance No. 6362 on November 30, 2004, approving the River Myrtle-Old Boise Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amendment to the First Amended and Restated Urban Renewal Plan, River Street-Myrtle Street Urban Renewal Project and Renamed River Myrtle-Old Boise Urban Renewal Project ("First Amendment to the River Myrtle-Old Boise Plan"); and,

WHEREAS, following said public hearing, the City adopted its Ordinance No. 24-18 on July 24, 2018, approving the First Amendment to the River Myrtle-Old Boise Plan deannexing certain parcels from the existing revenue allocation area and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the Westside Downtown Urban Renewal Plan (the "Westside Plan"), and following said public

hearing, the City adopted its Ordinance No. 6108 on December 4, 2001, approving the Westside Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the 30th Street Area Urban Renewal Plan (the “30th Street Plan”), and following said public hearing, the City adopted its Ordinance No. 6868 on December 4, 2012, approving the 30th Street Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amendment to the 30th Street Plan (“First Amendment to the 30th Street Plan”), and following said public hearing, the City adopted its Ordinance No. 26-18 on July 24, 2018, approving the First Amendment to the 30th Street Plan de-annexing certain parcels from the existing revenue allocation area and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the Urban Renewal Plan for the Shoreline District Urban Renewal Project Area (the “Shoreline District Plan”), and following said public hearing the City adopted its Ordinance No. 55-18 on December 18, 2018, approving the Shoreline District Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the Urban Renewal Plan for the Gateway East Economic Development District Project Area (the “Gateway East District Plan”), and following said public hearing the City adopted its Ordinance No. 58-18 on December 18, 2018, approving the Gateway East District Plan and making certain findings; and,

WHEREAS, the River Myrtle-Old Boise Plan (as amended), the Westside Plan, the 30th Street Plan (as amended), the Shoreline District Plan, and the Gateway East District Plan are collectively referred to as the “Plans”; and,

WHEREAS, the Agency has long recognized the importance and significance of the development of transportation services, including alternative transportation modes within the Downtown Urban Renewal Areas, as a critical component of revitalization; and,

WHEREAS, the Agency is responsible for the implementation of the Downtown Urban Renewal Plans, which plans identify certain transportation goals and objectives and the establishment of transit, pedestrian, and bicycle facilities to encourage use of alternative means of transportation; and,

WHEREAS, under the provisions of the Downtown Plans and as authorized by Idaho Code Section 50-2015, the Agency may enter into cooperative agreements with public bodies to achieve the objectives of an urban renewal plan; and,

WHEREAS, the Agency, the City, Valley Regional Transit, the Ada County Highway District, and Boise State University (collectively the “Parties”) for many years have been working together to provide a benefit to the citizens of Boise, Idaho, with the “Downtown Mobility Collaborative,” now called CityGO, which seeks to reduce demand for single occupant vehicle travel resulting in traffic congestion and high parking demand, improve air quality, and stimulate economic activity; and,

WHEREAS, the Parties desire to enter into a Memorandum of Understanding, attached as EXHIBIT A and incorporated herein by reference, in order to continue working together to accomplish the City Go objectives set forth hereinabove; and,

WHEREAS, the Agency Board hereby finds and determines that this Memorandum of Understanding, effective for a five (5) year term, effective October 1, 2020, and with the ability to cancel participation upon notice to the other Parties, enables the Parties to cooperate to their mutual advantage in a manner that will best accord with the individual needs and development of the Parties; and,

WHEREAS, the Agency Board finds it in the best public interest to approve the Memorandum of Understanding and to authorize the Executive Director to execute same, subject to certain conditions, and to execute all necessary documents to implement the transaction, subject to the conditions set forth below.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct.

Section 2: That the Memorandum of Understanding, a copy of which is attached hereto as EXHIBIT A, and incorporated herein by reference, be and the same hereby is approved recognizing technical changes or corrections which may be required prior to its execution.

Section 3: That the Agency Executive Director is hereby authorized to execute the Memorandum of Understanding with an effective date of October 1, 2020, and, further, is hereby authorized to execute any necessary documents required to implement the Memorandum of Understanding and to make any necessary technical changes to the Memorandum of Understanding, subject to representations by the Agency staff and Agency legal counsel that all conditions precedent to the Memorandum of Understanding and any necessary technical changes thereto or other documents are acceptable and consistent with the provisions of the Memorandum of Understanding and any comments and discussions received at the October 12, 2020, Agency Board meeting, including any substantive changes discussed and approved at that meeting.

Section 4: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on October 12, 2020. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on October 12, 2020.

URBAN RENEWAL AGENCY OF BOISE CITY

BY: _____
Dana Zuckerman, Chair

ATTEST:

BY: _____
Lauren McLean, Secretary



Memorandum of Understanding

Between

**Valley Regional Transit, City of Boise, Capital City Development Corporation,
Ada County Highway District, and Boise State University**

For The City Go Program

This Memorandum of Understanding ("MOU") is between Valley Regional Transit ("VRT"), the City of Boise City ("City"), Capital City Development Corporation (CCDC), Ada County Highway District (ACHD), and Boise State University (Boise State), collectively referred to as the "Parties" and individually as a "Party," and outlines the Parties' anticipated participation and responsibilities with respect to the future development, planning, and implementation of City Go, formerly referred to as the Downtown Mobility Collaborative ("Program"). This MOU is the second MOU for between the parties for City Go and will be valid starting October 1, 2020 through September 30, 2025.

Background

Downtown Boise currently contains approximately 19,000 parking spaces and accommodates over 36,000 workers in a single day. The number of workers in Downtown is expected to exceed 56,000 by the year 2040. While current daytime on and off-street occupancy is around 70%, monthly parking in the parking structures has limited availability. Even if the parking supply could keep up with the future demand, the road system has extremely limited options for capacity enhancements, resulting in ever more congestion in Downtown. Simply building more parking is not a sustainable approach for the future, but strategies to limit the demand side of the equation can help use our existing parking and road network more efficiently and limit the need for costly public infrastructure such as structured parking and widened roads.

Building on the current work of the Downtown Transportation Demand Challenge and the two year MOU for the Downtown Mobility Collaborative this MOU defines key partnership components for a long term collaboration to support and sustain City Go, the downtown Boise transportation management association (TMA). This MOU outlines the Parties' projected roles and financial commitments for the Program's development and implementation. All Parties approached development of this MOU with a shared understanding of the following history and intent about the Program:

- The Program is limited to and covers the area from Boise Avenue to Fort Street and from Broadway to Whitewater Boulevard in Boise City (the "Downtown");



- Coordinating Downtown mobility and transportation demand management is a critical need to a sustainable and economically viable Downtown;
- The parties have a vested interest in improving mobility options in the downtown area and have been working collaboratively since 2014;
- The Downtown Demand Challenge identified the Downtown Mobility Collaborative, to function as a transportation management association (TMA);
- Significant investments have been made and continue to be planned for Downtown parking infrastructure, roadway, sidewalk, bicycle and transit improvements in the near and long-term;
- The region has adopted a transit plan, called Valleyconnect 2.0 that features Downtown as a major hub for current and future services.

Purpose of MOU

With the expected continued development and implementation of the Program, the Parties negotiated the development of this comprehensive partnership MOU to outline the expected Program elements and the Parties' roles and financial commitments for City Go, recognizing that each Party has an important role to play in the successful development and implementation of the Program. The Parties agree to the following set of goals to guide the partnership and the continued operation of City Go:

- Seek value for each partner when making project scope and delivery decisions;
- Reduce single occupancy vehicle trips into and around Downtown;
- Use current infrastructure in downtown more efficiently;
- Maintain a financially sustainable Mobility Collaborative with a high level of buy-in and funding support from major employers;
- Track and report on the performance measures, organizational framework and operating procedures for the Program; and
- Maintain reasonable financial sufficiency for the Program as outlined in the Sustainable Funding attachment.

Term of MOU

This MOU will be in effect beginning October 1, 2020 and remain in place through September 30, 2025. The Parties agree to continue provide the necessary financial and other commitments outlined in the Sustainable Funding attachment to achieve the goals of the MOU. Any party wishing to withdraw their financial support or in-kind resources supporting the MOU, will provide each Party with sixty (60) days written notice.

a. Go Staff Activities

- a. Manage a downtown transportation management association known as City Go;
- b. City Go program director and staff are primarily responsible for carrying out the day to day operation of City Go and developing work plans for coordinating and directing City Go operations;



- c. Oversee committees, task forces, and work groups;
 - d. Grow memberships, financial contributions, and the involvement of the downtown Boise community;
 - e. Actively promote multi-modal transportation in downtown Boise.
- b. **MOU Steering Committee (SC).** The Parties agree to provide staff to support to the Program that will function as the MOU Steering Committee (SC). The commitment includes attending at minimum quarterly steering committee meetings, reviewing and commenting on documents, and communicating information between the SC and the governing bodies of each of the Parties. The SC will support the development of a Program that is in alignment with the goals and objectives articulated in this MOU. The SC will negotiate the elements of the Program and will elevate specific issues to the governing bodies of the Parties when additional direction is required. The SC will follow the governance structure and approval process outlined in Attachment _____. The SC will create meeting minutes for each meeting of the SC and will distribute the minutes to the Parties.

The SC will also actively monitor for changes in conditions that materially impact the planning, design, implementation, procurement and management of the Program. Such changes could include technology improvements, innovative policy approaches, changes in investment strategies, etc. Upon analysis, the SC will make written recommendation to the Parties on how best to proceed.

In addition to development of the Program and the active monitoring of changed circumstances impacting the Program, the SC will ensure Program development is implemented in accordance with the principles reflected in this MOU by:

- Actively review and provide guidance on annual work plans for the Sales and Marketing Committee, Technology and Service Integration Committee, Program Development Taskforce and Program Director work plan; As needed, helping support implementation of work plans;
- Coordinate closely on joint messaging with attention to creation of consistent external messaging such that the public recognizes this is a joint effort among the Parties and an efficient model for program delivery;
- Coordinate with executive management and elected officials;
- Monitor and incorporate any associated policy changes that impact the Program; and
- Align and coordinate the Parties' respective funding and grant strategies to optimize return for the Program; and



- Provide staff for City Go committees.

- c. **Administration and Financial Commitments.** VRT will function as the administrative agent for the Program, including but not limited to hiring and managing staff. The Program Director will report to the SC and will be responsible for directing and achieving strategic objectives and day-to-day operations. VRT will be responsible for all the employment responsibilities of the employee in close collaboration with the SC.

The Parties agree to provide the financial support required for the Program. Parties contribution will decrease over time by approximately 40 percent. Funding model is outlined in more detail in the appendix.

d. Attachments

Designated to guide the work of City Go. May change over time at the direction of the Steering Committee and City Go Director. Attachments will be reviewed annually.

- A. FY2021 Budget
- B. FY2022 Proposed Budget
- C. Boise State, VRT, and ACHD In-kind Agreement FY 2020
- D. Self-Sustaining Funding Memo
- E. Strategic Framework
- F. Performance Measures
- G. Governance Structure
- H. Approval Process
- I. Membership Structure

e. Contact Information

The contact information for the Parties are:

**Executive Director,
Valley Regional Transit
700 NE 2nd St.
Meridian, Idaho 83642**

**Comprehensive Planning Manager
City of Boise
150 N. Capitol Blvd.
Boise, Idaho 83702**



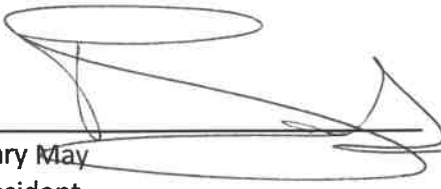
**Director of Parking & Mobility
Capital City Development Corporation
121 N. 9th St., Ste. 501
Boise, ID 83702**

**Manager of Commuteride
Ada County Highway District
5714 W. Fairview Ave.
Boise, ID 83706**

**Director, Transportation, Parking, and Safety Systems
Boise State University
1910 University Drive
Boise, ID 83725**



Agreement and understanding is signified by signing and dating as provided below.




Mary May
President
Ada County Highway District
Director Bruce Wong for: Date: August 19, 2020

John Brunelle
Executive Director
Capital City Development Corporation Date: _____

Lauren McLean
Mayor
City of Boise City Date: _____

John Kaplan
Associate Vice President
Department of Public Safety
Boise State University Date: _____



Kelli Badesheim
Executive Director
Valley Regional Transit Date: 10/6/2020



A. FY2021 Budget

City Go - FY 2021					
Budget - Option 2: Additional 0.5 FTE					
Budget Category	Amount		Revenues	Cash or Equivalent	Notes
Labor Expenses	\$ 213,000		Memberships	\$ 50,500	Assumes Trailblazer Memberships and some individuals
Wages	\$ 77,000				
Benefits	\$ 21,000		Fares	\$ 6,000	10% of fare revenue of services sold (estimated revenues = \$60,000)
Additional FTE Wages	\$ 42,000				
Additional FTE Benefits	\$ 16,000		Partners - Cash	\$ 450,000	
In-Kind Labor	\$ 57,000		City of Boise	\$ 100,000	Partner contributions remain at FY20 levels to cover 1 FTE additional staff member
			CCDC	\$ 100,000	
			VRT Marketing	\$ 50,000	
			VRT FED - Technology	\$ 200,000	
M and O Expenses	\$ 127,000		Partners - In Kind	\$130,000	
Administration	\$ 17,000		Boise State	\$50,000	
Marketing/Incentives	\$ 60,000		ACHD CommuterRide	\$50,000	
Professional Services	\$ 50,000		VRT Labor	\$30,000	
Technology Development	\$ 300,000		Other Sources	\$ 20,000	
Development - TW Phase 2	\$ 250,000		Other sources	\$ 20,000	
O and M	\$ 50,000				
Miscellaneous	\$ 11,500				
Miscellaneous	\$ 11,500				
Total Budget	\$ 651,500		Total Revenues (Cash and In-Kind)	\$ 656,500	



B. FY 2022 Proposed Budget

City Go - FY 2022					
Estimated Budget					
Budget Category	Amount		Revenues	Cash or Equivalent	Notes
					Memberships and some individuals
Labor Expenses	\$ 243,000		Memberships	\$ 52,500	
Wages	\$ 127,000		Membership dues	\$ 52,500	
Benefits	\$ 37,000		Partners - Cash	\$ 250,000	Will assess potential reduction in FY2021
In-Kind Labor	\$ 79,000		City of Boise	\$ 100,000	
M and O Expenses	\$ 165,000		CCDC	\$ 100,000	
Administration	\$ 15,000		VRT Marketing	\$ 50,000	
Marketing/Incentives	\$ 100,000		Partners - In Kind	\$157,000	
Professional Services	\$ 50,000		Boise State	\$50,000	
			ACHD CommuterRide	\$50,000	
Technology Development	\$ 60,000		VRT Labor	\$57,000	
O & M Costs	\$ 60,000				
Miscellaneous	\$ 11,500		Other Sources	\$ 20,000	
Miscellaneous	\$ 11,500		Other sources	\$ 20,000	
Total Budget	\$ 479,500		Total Revenues (Cash and In-Kind)	\$ 479,500	



C. Boise State, VRT and ACHD In-kind FY 2020

In-Kind Best Practices and Suggested Policies

- A. **Definition:** In-kind contributions are donations of goods, services or time — instead of cash.
 - “Goods” are tangible, and would include items such as equipment, furniture or supplies. Goods can also be intangible, such as advertising, royalties or copyrights. Goods may be used, surplus, brand new or loaned.
 - “Services” are professional services donated by groups such as corporations, small businesses, vendors, colleges, individual professionals or tradespeople. For example, accounting or brand development support.
 - “Time” occurs when people give their time free of charge or for payment by a third party on the recipient’s behalf. An employer might also loan paid employees.
- B. **Valuation:** The value of the in-kind should be justifiable, i.e., able to be demonstrated. The value should also be established prior to accepting the in-kind donation. Options for establishing value include:
 - Checking the market price,
 - Requesting a competitive estimate or quote for services,
 - Using equivalent pay rates or conducting a salary survey to establish the cost of donated time.
- C. **Criteria for Acceptance:** Not every type of in-kind donation is appropriate. Standards and principles for accepting in-kind include:
 - *Useful:* In-kind addresses a specific, identified requirement of the organization, provided by a genuine and thorough assessment of the recipient’s needs as determined by the recipient.
 - *Quality-controlled/Value-added:* Goods are carefully chosen, of appropriate quality. They may not otherwise be available or achievable by the recipient, or the in-kind is equal to or more valuable than an equivalent financial contribution.
 - *Transparent and responsible:* In-kind is fairly valued, documented and accountable to any applicable legal practices.
 - *Mutual:* The in-kind donor and the recipient consult and agree on the transfer of the donated goods, time or services and produce a written agreement to give and receive the in-kind.



Valley Regional Transit In-Kind Agreement

Date	5/1/2020
Agreeing Parties	City Go and Valley Regional Transit
Contact/Authorizer	Kelli Badesheim
Type of In-Kind (check all that apply)	<input type="checkbox"/> Goods/materials/direct costs <input checked="" type="checkbox"/> X Professional Services <input checked="" type="checkbox"/> X Staff time <input type="checkbox"/> Other
Strategic Needs	VRT's in-kind staff support expands City Go's operational capacity to assist downtown workers and residents with sustainable transportation options.
Description of In-Kind	Include description below, or attach scope of work or estimate <ul style="list-style-type: none">• .5 FTE for customer supports and navigation for City Go. (Est. \$30,000)• Marketing of City Go on VRT website• Marketing of City Go in VRT marketing campaign
Valuation	Notes: <ul style="list-style-type: none">• Recipient should not determine the value• Contributor declared value: \$40,000• Attach evidence of fair market value (FMV)
Timeframe	The staff time will be provided throughout all of FY2020 with one of VRT's Mobility Navigators providing staff support to City Go approximately 20 hours per week. City Go will be incorporated and promoted through VRT's new website, which is launching Summer 2020. VRT will incorporate City Go where relevant in its Rider's First campaign in Fall 2020.
Tracking	Indicate how the in-kind will be tracked by the contributor and the recipient (City Go) Shared Google Dog
Authorization	This Agreement is entered into on _____ [date] by _____ Signature, Name and Date of Contributor _____ Signature, Name and Date of Recipient





ACHD Commuteride In-Kind Agreement

Date	October 1, 2019 - September 30, 2020
Agreeing Parties	City Go and ACHD Commuteride
Contact/Authorizer	Nicole Stern
Type of In-Kind (check all that apply)	<input checked="" type="checkbox"/> Goods/materials/direct costs <input checked="" type="checkbox"/> Professional Services <input checked="" type="checkbox"/> Staff time
Strategic Needs	1. Marketing and outreach 2. Employer focus
Description of In-Kind	Include description below, or attach scope of work or estimate <ul style="list-style-type: none">• Representing City Go at Events• Member Services• Print Collateral• Digital Marketing
Valuation	Notes: <ul style="list-style-type: none">• Recipient should not determine the value• Contributor declared value: \$16,560• Attach evidence of fair market value (FMV)
Timeframe	October 1, 2019 through September 30, 2020
Tracking	Nicole Stern Monthly reports
Approval	<p>This outlines how Commuteride will provide the in-kind services as agreed to in the MOU</p> <hr/> <p>Signature, Name and Date of Contributor</p> <hr/> <p>Signature, Name and Date of Recipient</p>



FY20 In Kind Services

Representing City Go at Events

\$35/hour - 4 hours average per event

CR staff will attend events representing City Go to promote the collaborative and all options available downtown at lunch/learns, celebrations, on-site, campaign events

8 events – \$1120 target of 20 events for FY20

Member Services

1:1 Virtual Consultation and/or Phone Calls \$35 2 hours/event

CR staff connects with individuals via Zoom or other online platform to assist them with the various options of City Go that are available and which options may work best for them.

0 consultations/calls - \$0 target of 15 consultations or phone calls

Design Services

Print Materials \$1,000/piece

Design flyers and handouts promoting City Go wallet offerings

0 Flyers -\$0 target of 10 pieces

Digital Marketing

Co-Branded Paid Advertising – 10-15% of CR Advertising Budget

Paid co-branded City Go and Commuteride advertising promoting for behavior change/mode shift for downtown Boise.

0 ad - \$0 target of \$1500

Co-Branded Emails – \$250

Co-branded City Go and Commuteride emails promoting for behavior change/mode shift for downtown Boise.

Opportunity for specific City Go email campaign.

0 emails - \$0 target of 3 emails

Member Consulting Services

Address Map 8 hours at \$40/hour

Online address map based on information provided by the employer, identifies the appropriate smart commute benefits employers should offer based on their employees location to existing services (e.g., bus routes, vanpools, park and ride lots), and proximity to fellow employees.

0 maps – \$0 target of 1 map

Workplace Assessment 4 hours at \$35/hour

The workplace assessment to assess existing infrastructure (showers, bike racks), services and policies related to assist with smart transportation at your workplace.

0 assessments - \$0 target of 1 assessment



Employee Commute Survey 8 hours at \$35/hour

An employee survey provides insight into employee commute needs. Employers will learn how their employees travel, and what types of incentives might lead them to make a different choice.

0 surveys - \$0 target of 1 survey

Management Interview 2 hours

Management interviews help equip employers with tools to promote smart commuting and provide an opportunity to explain smart commuting benefits for employees and the employer.

0 interviews - \$0 target of 1 interview

Benefit program development – 10 hours at \$40

Services above are priced individually. Combining results together into a benefit program

0 programs - \$0 target of 1 program

May in Motion Sponsorship

In kind sponsor of May in Motion - \$1,000.

Planned but not fulfilled. Cancellation due to COVID-19



BOISE STATE UNIVERSITY
IDAHO POLICY INSTITUTE

Downtown Mobility Collaborative Scope of Work

Client:	Downtown Mobility Collaborative
Client Contact:	Kaite Justice
Client Email:	kjustice@valleyregionaltransit.org
Client Phone:	(208) 258-2750
Title:	Downtown Mobility Collaborative Performance Measurement System
PI:	Matthew May
Co-PI:	If applicable
IRB Status:	Exempt (000-SB19-172)
Start date:	March 2019
Completion date:	December 2020 (<i>anticipated</i>)
Agreement Type:	In-Kind Services (up to \$50,000 per year for two (2) years)
Agreement Initiated by:	Boise State University

Project Overview

Idaho Policy Institute (IPI) will work with the Downtown Mobility Collaborative (DMC) to develop a performance measurement system to track results of DMC work. In addition to identifying key performance metrics, IPI will assist in the collection of baseline data. IPI will also assist in the collection of data at the end of year one of the DMC initiative and facilitate analysis

Task 1: Identification of Performance Metrics (*completed*)

IPI will review academic literature and professional reports to identify potential performance metrics related to transportation modes, commutes, single-occupant vehicle reduction, and smart transportation. IPI will compile metrics into a single list and share that list with DMC. DMC will select final performance metrics from this list in consultation with IPI.

Task 2: Performance Metric Data Collection Instruments (*completed*)

IPI will identify necessary data collection instruments for each of the selected performance metrics, noting which metrics will need to be obtained from partner agencies, which are readily available, and which must be collected through a public survey.



Task 3: Development of Survey Instrument (*completed*)

IPI will work with DMC representatives to develop a survey questionnaire that will enable the collection of performance metric data that would otherwise be unavailable. Survey questionnaire will include demographic information to facilitate subsequent data analysis.

Task 4: Institutional Review Board Approval (*completed*)

Upon DMC approval of survey questionnaire, IPI will initiate Boise State University's Institutional Review Board (IRB) review of IPI's survey research protocol. Protocol is anticipated to be exempt.

Task 5: Distribution of Survey (October 2019)

IPI will load survey questionnaire into the Qualtrics online survey platform. DMC will work with member and partner organizations to distribute links to the survey through either email notices or announcements posted on a website. IPI will provide DMC with individual survey links for each member organization and links for any additional organizations requested by DMC. These individual links will allow IPI to track which distribution a specific response resulted from.

Task 6: Literature Review of Single-Occupancy Vehicle (SOV) Research Methods (*completed*)

IPI will review data collection methodologies related to identification of single-occupancy vehicle (SOV) trips into specific geographic regions (such as a municipal downtown).

Task 7: Collection of Downtown Boise SOV Rates (October 2019)

IPI will identify approximately 10 automatic traffic recorder (ATR) locations surrounding the Boise downtown area. IPI will coordinate available volunteers to facilitate SOV traffic counts on two separate days within a single week. For safety purposes, each location should have no less than two (2) volunteers. DMC members will be asked to volunteer time to assist data collection. IPI will provide instruction to volunteers on data collection methods. On each day, volunteers will monitor morning commutes for 1-2 hours to identify: 1) the total number of vehicle trips during that time period; and 2) the total number of vehicles with more than one occupant. SOV rates will be extrapolated from these counts and applied to ATR counts to provide a more expansive picture.

Task 8: Metric Data Consolidation (October 2019)

IPI will work with DMC representatives to obtain secondary data performance metrics identified in Task 1 from DMC member organizations, subject to availability from said member organizations. These secondary data metrics will be consolidated with survey results to provide baseline data for all



performance metrics identified in Task 1. Final baseline dataset will be shared with DMC representatives.

Task 9: Year 1 Data Update (Sept. 2020 – October 2020)

Task 5 (Distribution of Survey), Task 7 (Collection of Downtown Boise SOV Rates) and Task 8 (Metric Data Consolidation) will be repeated at the end of year 1 of the DMC's initiative to collect updated data.

Task 10: Year 0 to Year 1 Comparison (November 2020 – December 2020)

IPI will analyze collected data and compare baseline (year 0) results with year 1 results. IPI will share written results and updated dataset with DMC representatives.

Boise State – In-kind 2019

Idaho Policy Institute Project

Task #	Task	Hours	\$ Value
Task 1	Identification of performance metrics	29	\$1,690
Task 2	Performance Metric Data Collection Instruments	17	\$927
Task 3	Development of Survey Instrument	21	\$866
Task 4	Institutional Review Board	8	\$383
Task 5	Distribution of Survey	16	\$978
Task 6	Lit Review – SOV Research Methods	73	\$1,458
Task 7	Collection of Downtown Boise SOV Rates	20	\$1,091
Task 8	Metric Data Consolidation (ongoing)	25	\$529
TOTAL		209	\$7,922



D. Self-Sustaining Memo – Under Review

City Go Self-Sustaining Revenue Model

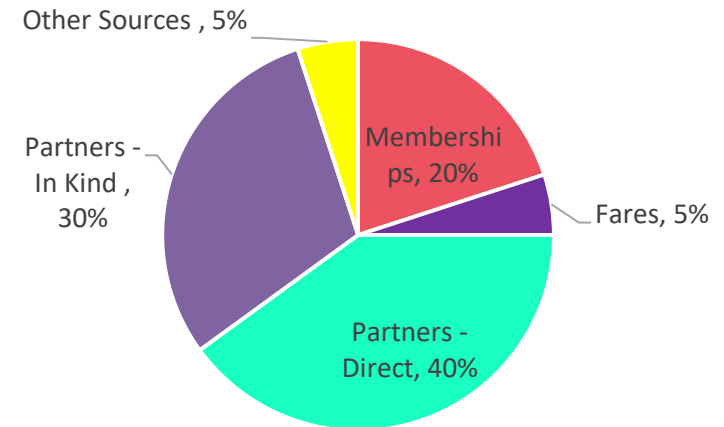
The ideal self-sustaining revenue structure for City Go has diverse funding sources, including revenues from paid memberships and transit fares. Like most successful Transportation Management Agencies, City Go will rely on public and private partner members to shift a portion of their transportation-related funding to City Go. In return, these funding partners should realize financial benefits from their investment in the form of cost off-sets, and additional customer base. In addition, partners receive value-added services from City Go, including benefits to employees, administrative and marketing support, increased ridership, increased employer contract, and critical programs and services needed to meet transportation and sustainability goals. The intent of this model is that, over time, the percentage of revenue provided to City Go through cash contributions from partners will decrease to a lower percentage (approximately 40%).

Value Proposition

Transportation Management Associations can provide significant, and measurable, benefits to their funding members and partners. City Go believes that funding members will realize the following benefits from membership:

1. **Benefits employees** – Employees access multi-modal transportation resources, reduced transportation costs and additional transportation options.
2. **Generates additional revenue for public transportation providers** – Outreach and promotion efforts to businesses and individuals can lead to measurable increases in ridership and public transportation utilization, which supports the growth of long-term fare revenues.
3. **Reductions to negative externalities of single-occupancy vehicle (SOV) trips** – Even small adjustments to the number of SOV trips can have large impacts on emission pollution, traffic congestion, and parking problems.
4. **Cost off-sets, such as reduced need for construction of additional parking spaces, infrastructure and related services**– Reducing the amount of parking necessary for core downtown uses can open land for higher and better uses.

Self-Sustaining Revenue Breakdown

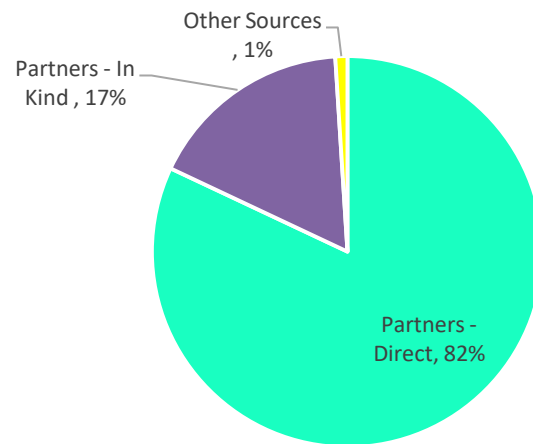




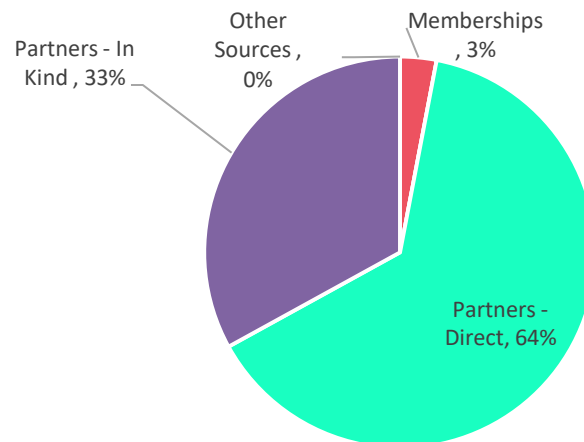
5. **Provides additional administrative and marketing capacity** – Funding partners will increase their administrative and marketing capacity by City Go promoting and selling their services. Additionally, funding partners will receive assistance with the administrative management of employee benefits and will receive marketing and advertising support.
6. **Helps achieve broad organizational mission and sustainability goals** – Partners can utilize the efforts of City Go to highlight their progression toward organizational goals. The long-term performance measure tracking provided by City Go further supports this progression.

City Go Revenue Development

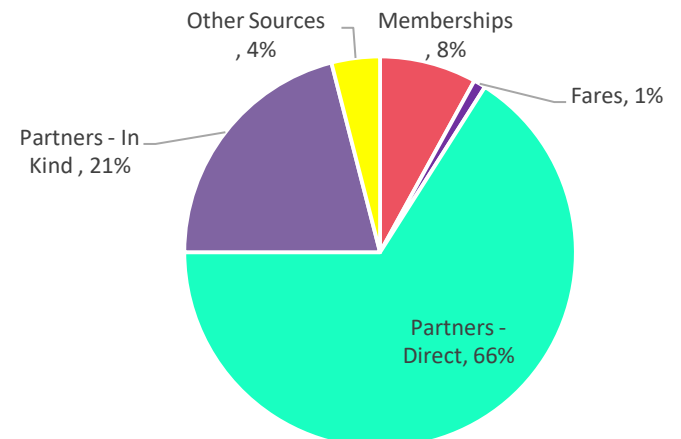
Initial Start Up Revenues, FY 2019



Current Revenues, FY 2020



Anticipated Revenues, FY 2021



E. Strategic Framework

VISION: We believe the future of transportation is shared and sustainable. Therefore, we aim to create a more connected and economically viable downtown area for Boise and its surrounding communities by enhancing shared mobility and transportation services.

MISSION: As a collaborative of public and private partners, we provide access to all shared mobility and transportation options for people traveling into, out of, and around Downtown Boise. We aim to provide solutions that:

- Offer equitable, effective mobility options.
- Reduce the number of single occupancy vehicle (SOV) trips.
- Slow the increase in demand for parking.

FOCUS AREAS

1. **MOBILITY and MEMBERS (Environment change):** Create a viable, attractive, integrated, easy-to-use member-supported mobility system.
 - a. Strategy: Integrate and add mobility services (such as establishing City Go Wallet)
 - b. Strategy: Develop structures for City Go membership and acquire members
2. **PARTNERSHIP for PERFORMANCE (Policy and systems change):** Establish and sustain a transportation management association for Downtown Boise that integrates transportation demand services.
 - a. Strategy: Develop effective, ongoing, partner-based organizational structure
 - b. Strategy: Build a sustainable financial model
 - c. Strategy: Sustain and grow City Go program resources to meet demand
 - d. Strategy: Collect and share data to track performance and system response
3. **COMMUNITY ACTION (Behavioral change):** Raise awareness of available services and increase public support for and use of mobility options and alternatives to SOV trips.
 - a. Strategy: City Go brand and marketing activities (such as City Go website)
 - b. Strategy: City Go educational and outreach opportunities (such as City Go Conversations)

F. Performance Measures

Reach

- **KPI #1:** Percent of public that are aware of mobility options
Target = 15% increase annually
- **KPI #2** Percent of people that have used sustainable commute options
Target = 3% increase annually

Behavior Change

- **KPI #3:** Percent decrease in Single Occupancy Vehicle Trips (survey and mode count)
Target = 10% reduction over 10 years (minimum 1% reduction annually)
- **KPI #4:** Percent of commuters driving alone v. another mode
Target = 10% reduction over 10 years (minimum 1% reduction annually)

Community Support

- **KPI#5:** Percent of employees that access transportation benefits through an employer
Target = 5% increase (approximately 5,000 individuals)

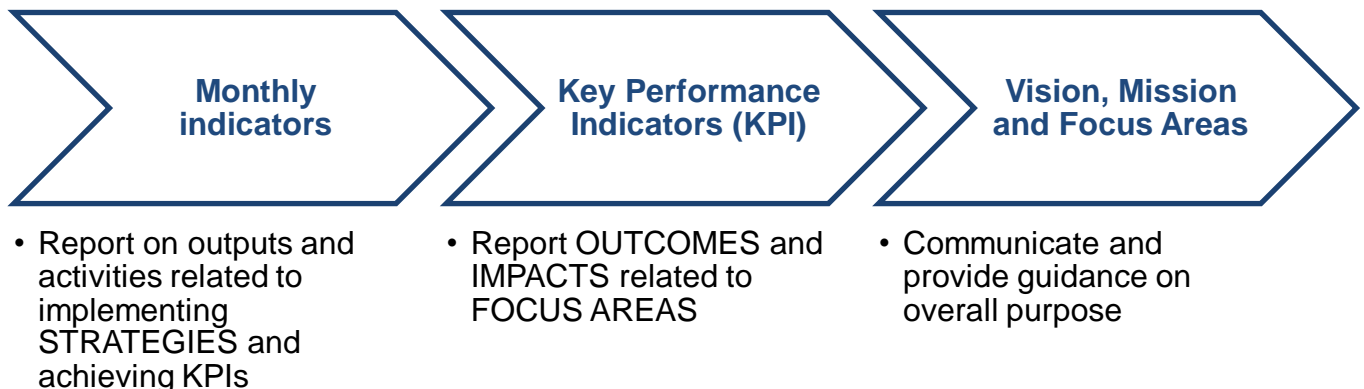
Equity

- **KPI #6:** Percent increase in transportation benefits for low-income individuals
Target = 5% increase

Viability

- Amount of City Go-generated membership revenue (2020)
Target = \$25,000

INDICATOR HIERARCHY



Memorandum of Understanding between VRT, City of Boise City, CCDC, ACHD, and Boise State for the City Go Program

PERFORMANCE MEASURES SCORECARD

Performance Measure	2020 Target	Nov 2019 to April 2020
REACH		
KPI #1: Percent of public that are aware of mobility options		
KPI #2: Percent of people that have used sustainable commute options		
Number of individuals covered under membership	4,500	2,776
Number of active individual members in Member Space	1,000	95
Number of outreach events	75 events attended	12
Number of website visits	15,000	2,609
Number of social media followers	2,000 social media followers	Insta: 349 FB: 73
Social media average post reach	4,000	Insta: 90 FB: 87
Number of direct email subscribers	1,000	225
<i>Under Development: Demographic diversity of members and engagements and/or demographic diversity of customer satisfaction survey</i>		
BEHAVIOR CHANGE		
KPI #3: Percent decrease in Single Occupancy Vehicle Trips		
KPI #4: Percent of commuters driving alone v. another mode		
Commute behavior change	IPI annual survey	
Downtown SOV Counts	-	91%
GreenBike Ridership	500	38
ValleyRide Ridership	15,000	1,184

Memorandum of Understanding between VRT, City of Boise City, CCDC, ACHD, and Boise State for the City Go Program

Performance Measure	2020 Target	Nov 2019 to April 2020
ParkBOI Carpool Ridership		
CommuteRide Vanpool Ridership		
<i>Under Development: track alongside changes in downtown jobs and residents</i>		
COMMUNITY SUPPORT		
KPI #5: Percent of employees that access transportation benefits through an employer.		
Renewed memberships	85%	
Number of business members	20 business members	5
Number of individual members	100 individual members	10
Number of new sustaining business members	3	0
Number of Earned Media	15	6
EQUITY		
KPI #6: Percent increase in options for low income individuals		
Low-income employees with access to transportation benefits		
<i>Under Development: proportionate use by demographic groups</i>		
<i>Under Development: change in transportation cost-burden</i>		
VIABILITY		
Fare revenue generated	\$60,000 in fare revenue	\$4,003
Membership revenue generated	\$25,000 in membership revenue	\$11,140
Number of wallets sold	1,500	81

Memorandum of Understanding between VRT, City of Boise City, CCDC, ACHD, and Boise State for the City Go Program

Performance Measure	2020 Target	Nov 2019 to April 2020
Customer Satisfaction	Annual survey	
GreenBike sign-ups	100	25

G. Governance Structure

ORGANIZATIONAL STRUCTURE, ROLES AND RESPONSIBILITIES

steering committee

who: stakeholders and subject matter experts who make significant financial contributions, offer guidance, give advice on important issues, and provide strategic direction

what: contribute revenues; provide accountability and oversight on budget and program performance; act as conduits and gain approval from respective Boards, Commissions and Councils, as needed.

*Meet quarterly
(more as needed)*

**Steering
Committee**

**Director &
Staff Team**

**Sales & Marketing
Work Group**

**Program Development
Taskforce**

**Technology & Service
Integration Work Group**

work groups and task forces

who: collaborative stakeholder groups with subject matter expertise; convene for a specific purpose; often time-limited

what: develop and help execute plans and strategies in specific performance areas; regularly report progress to program director

*Meet monthly, when convened
(more as needed)*

CityGO Members

members

who: program beneficiaries who have paid into programs at various levels within the membership structure

what: customers and users of programs and services; generate revenues through membership; are consulted and provide input and guidance from the member perspective on program responsiveness and development

*Consulted annually
(more as needed)*

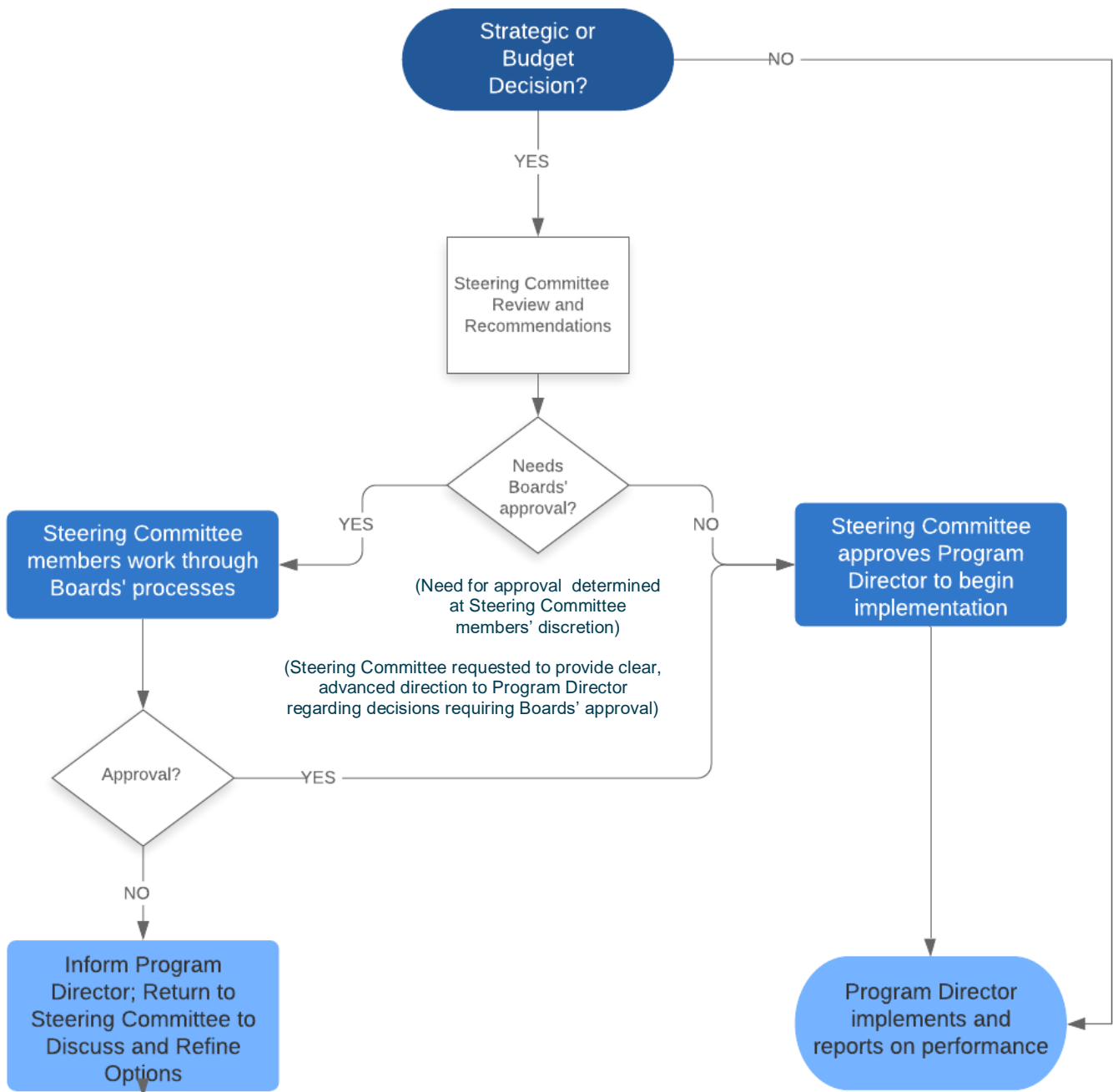
program director

who: subject matter and organizational expert who manages and executes all program aspects

what: implement steering committee direction and direct organizational strategy; oversee day-to-day activities; improve performance; develop organizational culture and hire and supervise staff/volunteer teams; report on finances; act as public “face” of program.

H. Approval Process

APPROVAL PROCESS FLOW



Memorandum of Understanding between VRT, City of Boise City, CCDC, ACHD, and Boise State for the City Go Program

J. Membership Structure



Why we involve members in City Go's organizational structure:

- Engage members in shaping City Go processes, products and initiatives.
- Expand the businesses and individuals using and funding the program.
- Build a large, collaborative, community of partners and people who believe in and advocate for policies and investments that shift behavior to more sustainable commuting options.
- Hear from members on what's working and receive suggestions for continuous improvement.



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AGENDA BILL

Agenda Subject: Prequalification of Contractors for 9 th & Front Garage Stairs Structural Repair Project		Date: October 12, 2020
Staff Contact: Aaron Nelson, Parking & Facilities Manager Kathy Wanner, Contracts Specialist	Attachments: A. Resolution No. 1677 B. SOQ scoring C. RFQ issued August 19, 2020	
Action Requested: Adopt Resolution No. 1677 selecting prequalified contractors for the 9 th & Front Garage Stairs Structural Repair Project.		

Background:

Agency staff has found it desirable for public works contractors to have experience in constructing certain high cost Agency projects. Equally important is a demonstrated ability to handle complex logistics and site conditions in an urban setting, sufficient resources to keep the project moving quickly, and sensitivity to community relations.

To accomplish those goals, the Agency utilizes Idaho Code § 67-2805(2)(b) which provides for a two-stage process for procuring public works construction valued in excess of \$200,000:

- Stage 1: Agencies can examine preliminary supplemental qualifications such as experience constructing similar facilities and overall performance history to prequalify licensed public works contractors prior to a competitive bidding process.
- Stage 2: Invite competitive bids from only licensed public works contractors that have been prequalified at Stage 1.

The 9th & Front Garage Stairs Structural Repair Project will involve the repair to and application of protective elastomeric coating to existing painted ferrous metals, steel shapes, and associated steel components the (2) 8-story stair towers on the 9th & Front Garage. While CCDC did have the original cast-in-place stair towers replaced with precast stair risers and landings reinforced with epoxy-coated rebar, no repairs were made to the frame at that time. Since then, there has been chloride-induced corrosion of the rebar reinforcement within the frames that now needs to be addressed.

The Agency's Request for Qualifications (RFQ) for the Project was issued on August 19, 2020. Legal notice was published in the *Idaho Statesman* newspaper on August 19 and 26, 2020.

Four contractors responded to the RFQ by the 3:00 p.m., September 9, 2020, deadline:

1. ESI – Engineered Structures, Inc.
2. Guho Corp.
3. Watson Associates
4. Western Specialty Contractors

Contractor Licensing

An initial review of the four contractor's licensing information revealed that all were properly licensed to perform the work with the necessary Type 3 Building Construction license or Type 4 Specialty Construction license with skilled trade categories.

Reviewing and Scoring the Statements of Qualifications (SOQ)

In addition to simple licensing and company information, the RFQ (see Attachment 3) requested information on the following prequalification standards:

- Experience constructing similar public works facilities – 30 points possible
- Key personnel – 20 points possible
- Overall performance history – 25 points possible
- References – 15 points possible
- Prior Experience with Capital City Development Corporation – 10 points possible

A four-member Agency staff evaluation team reviewed and scored the SOQs submitted by the four properly-licensed companies. A score of 75 or greater was needed to be eligible to bid the project. All of the companies met that scoring threshold.

Fiscal Notes:

The Agency's FY2021 budget includes sufficient funding for this project.

Staff Recommendation:

Staff recommends that the Agency Board adopt Resolution No. 1677 prequalifying ESI – Engineered Structures, Inc., Guho Corp., Watson Associates and Western Specialty Contractors as eligible to submit competitive bids for the 9th & Front Garage Stair Structural Repairs Project.

Suggested Motion:

I move to adopt Resolution No. 1677 prequalifying ESI – Engineered Structures, Inc., Guho Corp., Watson Associates and Western Specialty Contractors as eligible to submit competitive bids for the 9th & Front Garage Stair Structural Repairs Project.

Attachment A: Resolution 1677

RESOLUTION NO. 1677

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, PREQUALIFYING ESI-ENGINEERED STRUCTURES, INC., GUHO CORP., WATSON ASSOCIATES, AND WESTERN SPECIALTY CONTRACTORS AS ELIGIBLE TO SUBMIT COMPETITIVE BIDS FOR THE 9TH & FRONT GARAGE STAIR STRUCTURAL REPAIRS PROJECT; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (collectively the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, Idaho Code § 67-2805(2)(b) provides for a two-stage process for procurement of public works construction, which includes:

- Stage 1: Allows public agencies to establish preliminary supplemental qualifications for purposes of prequalifying licensed public works contractors prior to a competitive bidding process, and,
- Stage 2: Invites competitive bids from only licensed public works contractors that have been prequalified at Stage 1; and,

WHEREAS, Idaho Code § 67-2805(2)(b) allows a political jurisdiction to examine a public works contractor's qualifications related to:

- Demonstrated technical competence
- Experience constructing similar facilities
- Prior experience with the political subdivision
- Availability of resources, equipment, and personnel
- Overall performance history; and,

WHEREAS, the Agency issued a Request for Qualifications ("RFQ") from licensed public works contractors for the 9th & Front Garage Stair Structural Repairs Project on August 19, 2020, and published notice of the RFQ in the *Idaho Statesman* newspaper on August 19 and 26, 2020; and,

WHEREAS, the deadline for submitting a signed Statement of Qualifications and Required Waiver & Release Form (collectively, the "SOQ") was September 9, 2020, at 3:00 p.m.; and,

WHEREAS, four (4) construction companies provided their SOQs by the September 9, 2020, deadline: ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractors; and,

WHEREAS, Agency staff evaluated the four (4) SOQs and scored each of them according to a scoring method outlined in the RFQ; and,

WHEREAS, Agency staff found that ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractors provided information that was deemed sufficient to meet the 75-point scoring threshold (out of 100 total points possible) for the prequalification standards set forth in the RFQ; and,

WHEREAS, Agency staff recommends the Agency Board prequalify, in accordance with Idaho Code § 67-2805(2)(b), ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractors as eligible to submit competitive bids for the 9th & Front Garage Stair Structural Repairs Project; and,

WHEREAS, the Agency Board finds it in accordance with Idaho Code § 67-2805(2)(b) and in the best public interest to prequalify ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractor as eligible to submit competitive bids for the 9th & Front Garage Stair Structural Repairs Project.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct and incorporated herein.

Section 2: That the Agency Board hereby finds that ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractors provided sufficient information to meet the 75-point scoring threshold for the prequalification standards set forth in the RFQ.

Section 3: That the Agency Board hereby prequalifies, in accordance with Idaho Code § 67-2805(2)(b), ESI-Engineered Structures, Inc., Guho Corp., Watson Associates, and Western Specialty Contractors, as eligible to submit competitive bids for the 9th & Front Garage Stair Structural Repairs Project.

Section 4: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on October 12, 2020. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on October 12, 2020.

URBAN RENEWAL AGENCY OF BOISE CITY

By: _____
Dana Zuckerman, Chair

ATTEST:

By: _____
Lauren McLean, Secretary

Attachment B: SOQ Scoring

9th & Front Garage Stairs Structural Repairs Prequalification RFQ

COMPANY	ESI	Guho	Watson	Western Specialty
Experience constructing similar public works facilities				
Max	30	30	30	30
Matt	21	29	29	30
Aaron	30	30	30	30
Karl	25	25	30	30
Key Personnel				
Max	18	20	20	20
Matt	16	20	20	20
Aaron	20	20	20	18
Karl	15	20	5	20
Overall Performance History				
Max	25	25	25	25
Matt	25	25	15	25
Aaron	25	25	25	25
Karl	25	25	25	25
References (can be same or different from #1 above)				
Max	14	15	0	15
Matt	13	14	14	15
Aaron	12	15	15	15
Karl	10	15	15	10
Prior Experience with CCDC				
Max	5	10	10	0
Matt	5	10	10	0
Aaron	10	10	10	0
Karl	5	10	10	0
<i>Must score 75 points or more to qualify</i>				
Sum divided by 4	87.25	98.25	89.5	88.25

Attachment C: RFQ Issued August 19, 2020



REQUEST FOR QUALIFICATIONS

PUBLIC WORKS CONTRACTORS

PRE-QUALIFICATION FOR 9th & FRONT GARAGE STAIRS STRUCTURAL REPAIRS PROJECT

BOISE, IDAHO

**QUALIFICATIONS MUST BE RECEIVED BY:
3:00 P.M. LOCAL TIME, SEPTEMBER 9, 2020**

REQUEST FOR QUALIFICATIONS
Pre-Qualification for 9th & Front Garage Stairs Structural Repairs Project

August 19, 2020

Capital City Development Corporation (CCDC), the urban renewal agency for the city of Boise, Idaho, will accept Statements of Qualifications from Idaho-licensed public works contractors to be pre-qualified, in accordance with Idaho Code § 67-2805(2)(b), to submit competitive bids for construction of its 9th & Front Garage Stairs Structural Repairs Project in downtown Boise, Idaho. CCDC will prequalify bidders on the following criteria: technical competence; experience constructing similar facilities; prior experience with CCDC; available non-financial resources, equipment, and personnel; and overall performance history based upon the contractor's entire body of work. Only contractors pre-qualified through this process will be allowed to submit a bid for the public works construction project.

Licensed public works contractors seeking pre-qualification must complete and submit the pre-qualification forms provided herein.

Submission deadline is 3:00 P.M. local time, September 9, 2020.

CCDC appreciates your interest in meeting the needs of the agency and the citizens of Boise.



Kathy Wanner
Contracts Specialist



121 N 9TH ST, SUITE 501 BOISE, ID 83702
208-384-4264 WWW.CCDCBOISE.COM

PART 1 – GENERAL INFORMATION

1.1 SCOPE OF WORK

The 9th & Front Garage Stairs Structural Repairs Project will involve repair work on structural concrete members specifically at the two 8-story stair towers. Spalling and disbonded concrete at areas of these elements is occurring as the result to exposure from alkali-silica reactions. Required repair work will include: repair damaged concrete and rebar at damaged members and apply substantial elastomeric, waterproof protective coating(s) to reduce and/or eliminate water and chlorides ability to enter the cement porosity of the structural members.

CCDC estimates the total project costs to be: \$500,000

1.2 RFQ SUBMISSION

The submission package must be submitted electronically by email to: bids@ccdcb Boise.com

Please include this subject line on the email:

RFQ SUBMITTAL: 9th & Front Garage Stairs Structural Repairs

To be considered, the submission package must contain:

Exhibit A: Statements of Qualifications

Exhibit B: Required Waiver & Release

Exhibit A: Statements of Qualifications requires that the Respondent provide other documents containing requested information and answer all Yes / No questions found throughout. Failure to supply the requested information or complete any form may be cause to deem the submission non-responsive.

All required submittal documents must be **signed and dated** and must be submitted via email either in one PDF or a separate PDF of each required document. Electronic signatures are acceptable, provided the signed document is in PDF format and can be opened and read in Adobe Acrobat XI without the need for additional software, applications, or extensions. Scanned signatures are also acceptable. Unsigned submissions will not be accepted. Late or incomplete submissions will not be accepted. Respondent assumes full responsibility for the timely delivery of its submission of all documents via the email process.

Respondent will be responsible for all costs (including site visits where needed) incurred in preparing or responding to this RFQ. All materials and documents submitted in response to this RFQ become the property of CCDC and will not be returned.

1.3 OBJECTIONS

Written objections to prequalification procedures must be received by CCDC at least three (3) business days before the date and time upon which submissions are due. Objections are to be in writing directed to Kathy Wanner, Contracts Specialist, at kwanner@ccdcb Boise.com.

1.4 ADDENDA

In the event it becomes necessary to revise any part of the RFQ, written addenda will be issued. Addenda will be made available by way of the CCDC website: www.ccdcboise.com. It is the Respondent's responsibility to check for addenda prior to submitting a submission package. Respondents are requested to acknowledge all addenda in the space provided on Exhibit A. No addenda will be issued fewer than four (4) business days before the submission deadline unless the deadline is extended.

1.5 RIGHTS RESERVED

CCDC reserves the right to act in the public best interest and in furtherance of the purposes of the Idaho Urban Renewal Law, Chapter 20, Title 50, Idaho Code, and the laws for Purchasing by Political Subdivisions, Chapter 28, Title 67, Idaho Code. CCDC reserves the right to waive any formalities or defects as to form, procedure, or content with respect to its RFQ and any minor irregularities in the submissions received, to request additional data and information from any and all Respondents, to reject any submissions based on real or apparent conflict of interest, to reject any submissions containing inaccurate or misleading information, and to accept the submissions that are in the best interest of CCDC. The issuance of this RFQ and the receipt and evaluation of submissions does not obligate CCDC to take any further action relative to the RFQ. CCDC may in its discretion cancel this process at any time without liability.

1.6 PUBLIC RECORDS

CCDC is a public agency. All documents in its possession are public records subject to disclosure under the Idaho Public Records Act, Chapter 1, Title 74, Idaho Code, and will be available for inspection and copying by any person after the RFQ process is complete.

If any Respondent claims any part of its submission is exempt from disclosure under the Idaho Public Records Act, Respondent must: 1.) Indicate by marking the pertinent document "CONFIDENTIAL"; and, 2.) Include the specific basis for the position that it be treated as exempt from disclosure. Marking the entire submission as "Confidential" is not in accordance with the Idaho Public Records Act and will not be honored. CCDC, to the extent allowed by law and in accordance with these Instructions, will honor a designation of nondisclosure. By claiming material to be exempt from disclosure under the Idaho Public Records Act, Respondent expressly agrees to defend, indemnify, and hold CCDC harmless from any claim or suit arising from CCDC's refusal to disclose such materials. Any questions regarding the applicability of the Public Records Act should be addressed to your own legal counsel prior to submission.

END OF PART 1

PART 2 – QUALIFICATION INFORMATION

2.1 BASIS FOR SELECTION AND PRE-QUALIFICATION

In accordance with Idaho Code § 67-2805(2)(b), this Request for Qualifications will be evaluated as detailed below. Only Respondents who complete all information requested, completely and accurately, and receive a score of 75 points or greater will be eligible to bid on the 9th & Front Garage Stairs Structural Repairs Project.

- Experience constructing similar public works facilities – 30 points possible
- Key personnel – 20 points possible
- Overall performance history – 25 points possible
- References – 15 points possible
- Prior Experience with Capital City Development Corporation – 10 points possible

CCDC may conduct investigations and interviews, if necessary, to determine the performance record and abilities of Respondent to perform the size and type of work to be contracted. By submitting a response to this RFQ, the Respondent is authorizing CCDC to conduct investigations and interviews as needed.

2.2 PROJECT SCHEDULE (*Tentative*)

Prequalification

Request for Qualifications issued	August 19, 2020
Last Day for Objections	September 3, 2020 by 3 p.m.
Qualifications Due	September 9, 2020 by 3 p.m.
Selection of Pre-Qualified Contractors	CCDC Board Meeting: October 12, 2020
<i>Deadline to Appeal</i>	<i>7 days from notice of Board decision</i>

Project Bidding

Invitation to Bid to Pre-Qualified Contractors	October 21, 2020 (<i>anticipated</i>)
Pre-Bid Conference	<i>To be determined</i>
Bid Opening	December 2, 2020 (<i>anticipated</i>)
Bid Award	CCDC Board Meeting: December 8, 2020

Project Construction

Notice to Proceed (Weather Dependent)	Late Winter/Early Spring 2021 (<i>anticipated</i>)
Estimated Construction Duration	Four Months

END OF PART 2

EXHIBIT A

RFQ: 9th & FRONT GARAGE STAIRS STRUCTURAL REPAIRS PROJECT
STATEMENTS OF QUALIFICATIONS (SOQ)
(REQUIRED FOR SUBMISSION)

TO: Capital City Development Corporation
By email: bids@ccdcb Boise.com
Attn: Kathy Wanner, Contracts Specialist
121 N. 9th Street, Suite 501
Boise, Idaho 83702

THE UNDERSIGNED DECLARES, that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting these Qualifications; that the undersigned is informed of all relevant facts surrounding the preparation and submission of these Qualifications; and that the undersigned represents and warrants that all information provided is true, accurate, and complete.

SIGNATURE: **X** _____

Print Name / Title: _____

Name of Company: _____

Company Type: ☐ Corporation ☐ Partnership ☐ Individual ☐ LLC ☐ Other

Business Address: _____

Telephone: _____ Fax: _____

E-mail Address: _____

LICENSE: Idaho Public Works Contractor License # _____

Number of years the Company has been in business: _____

Is the Company a parent or subsidiary of another Company? ☐ Yes ☐ No

If yes, please explain: _____

ADDENDA: Respondent has reviewed and understands all addenda issued with this RFQ:

Addendum No. _____ Dated: _____

Addendum No. _____ Dated: _____

INSTRUCTIONS: Review each page of this Exhibit A.
Provide the documents requested and answer all Yes / No questions found herein.

1. SIMILAR PROJECT EXPERIENCE

Contractor's experience completing similar projects will be evaluated. 30 points possible.
The Contractor (and the Key Personnel) must have the following project experience:

Contractor Requirements

- Successfully completed the construction of at least three (3) projects each with a bid price of \$200,000 or more within the last ten (10) years.
 - All three (3) projects must have involved the completion of cast-in-place reinforced concrete structural structures and / or repair work, and application of protective waterproof coatings at structural concrete surfaces, where applicable, in a facility that was operational during the course of the repair work.

PROVIDE: Provide at least three (3) examples of Respondent's work equal to or exceeding a project cost of \$200,000 within the last ten (10) years.

- All three (3) projects must have involved the completion of cast-in-place reinforced concrete structural structures and / or repair work, and application of protective waterproof coatings at structural concrete surfaces, where applicable, in a facility that was operational during the course of the repair work.

Include all of the following project information to verify and evaluate whether the Contractor has the project experience required: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract value, final contract value, descriptions of the projects, descriptions of the work performed, and descriptions of the additional work performed beyond the original contract value if required.

Three examples provided with complete project information. _____ Yes _____ No

2. KEY PERSONNEL

Experience of Key Personnel will be evaluated. 20 points possible.

The Key Personnel must have the following project experience:

Project Manager Required Experience

- At least three (3) full consecutive years of experience as a construction project manager focused on concrete repair.
- Successfully managed and completed three (3) construction projects each with a bid price of \$200,000 or more within the last ten (10) years. All projects shall be focused on concrete repair.

Project Superintendent Required Experience

- At least three (3) full consecutive years of experience as a project superintendent focused on concrete repair.
- Successfully supervised and completed three (3) construction projects each with a bid price of \$200,000 or more within the last ten (10) years. All projects shall be focused on concrete repair.

PROVIDE: Provide a résumé for each candidate who would fill the positions of Project Manager and Project Superintendent for the 9th & Front Garage Stairs Structural Repair Project. Be sure the résumés include:

- Employment information such as names, dates of employment, addresses, phone numbers, and email addresses that is sufficient to verify and evaluate the Project Manager's and Project Superintendent's employment history.
- All of the following project information to verify and evaluate whether the Project Manager and Project Superintendent have the required project experience: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract values, final contract values, descriptions of the projects, and descriptions of the work performed.

One (1) alternate candidate résumé for each position may be provided in case the primary candidate's employment and project references cannot be reached or the primary candidate's experience requirements do not meet the requirements. Please be sure to indicate "*Alternate*" on any alternate candidate résumés.

Résumés provided with complete contact information. ____ Yes ____ No

3. OVERALL PERFORMANCE HISTORY

Contractor's overall performance history will be evaluated. 25 points possible.

PROVIDE: Provide answers to the following questions; provide documents where requested.

Provide a statement or letter from a surety insurer authorized to do business in the State of Idaho which states that Contractor's current available bonding capacity is sufficient for the project for which it seeks pre-qualification. Surety insurer must have an A.M. Best financial strength rating of "A-" or better.	
In the last five (5) years, have you or any of the company owners, officers, or partners had their Contractor's license revoked?	
In the last five (5) years, have you or any of the company owners, officers, or partners been "defaulted" or "terminated" by an owner (other than for convenience of the owner)?	
In the last five (5) years, have you or any of the company owners, officers, or partners been convicted of a crime involving any federal, state, or local law related to construction, including any act of dishonesty?	
In the last five (5) years, have you or any of the company owners, officers, or partners been convicted of a crime involving the awarding of a contract on a government construction project or the bidding or performance of a government construction contract?	
Is your company currently in bankruptcy proceedings or has the company filed for bankruptcy at any time during the last five (5) years?	
Is your company currently in default on any loan agreement or financing agreement with a bank, financial institution, or other financial entity?	

In the last five (5) years, has your company ever been denied bond coverage by a surety?	
In the last five (5) years, has any surety company made any payments on your company's behalf as a result of default, to satisfy any claims made against a performance or payment bond, in connection with any public or private construction project?	
In the last five (5) years, has any claim against your company concerning your company's work on a construction project been filed in court or submitted to mediation or arbitration?	
In the last five (5) years, has any insurance carrier, for any form of insurance, refused to renew your company's insurance policy?	
In the last five (5) years, has the U.S. Army Corps of Engineers, Environmental Protection Agency, Idaho Department of Environmental Quality, or any other environmental quality control board cited and assessed penalties against your company or the owner of a project on which your company was the contractor and deemed responsible for the penalties?	
Does your company have a written health and safety (H&S) program / procedures? <i>If yes, provide a pdf copy, or an online access link to the program/procedures.</i>	
Does your company have a health and safety training program? <i>If yes, provide a copy of the policy and procedures, in pdf or via online access link.</i>	
Does your company conduct safety meetings during the course of a construction project? <i>If yes, provide a pdf copy of the safety meeting policy and a sample agenda.</i>	

4. REFERENCES

Contractor's References will be evaluated. 15 points possible.

References must be project owners – not subcontractors, building officials, lending institutions, or the like. CCDC may ask questions relative to Contractor's abilities and competence, including any or all of the following:

- Contractor's ability to provide adequate supervision on the project.
 - Contractor's ability to work cooperatively with Owner, Architect, and outside parties.
 - Contractor's ability to manage safety on the job site.
 - Contractor's ability to work in accordance with the contract documents.
 - Contractor's ability to provide timely reports, submittals, and scheduling updates.
 - Contractor's utilization of change order requests
 - Contractor's ability to maintain strong public relations and minimize disruption to businesses and the general public.
 - Contractor's interaction with regulatory agencies and utilities.
 - Contractor's ability to keep the project on schedule.
 - Contractor's ability to manage closeout procedures efficiently and effectively.
- **PROVIDE:** Provide three (3) references that can speak to Contractor's abilities and competence on projects equal to or exceeding a project cost of \$200,000 within the last ten (10) years. All of the projects shall be focused on cast-in place concrete and concrete repair. A project emphasis of constructing the repairs in a facility that was operational during the course of the repair work is desired.

Include all of the following information to verify and evaluate Contractor's References: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract value, final contract value, descriptions of the projects, and descriptions of the work performed.

Contractor may indicate that the References are the same as those that were listed for Section 1 (Similar Project Experience) above, or Contractor may choose to provide different references.

References provided are those in Section 1 above. _____ Yes _____ No

New References are provided with complete contact information. _____ Yes _____ No

5. PRIOR EXPERIENCE WITH CCDC

Experience working with CCDC will be evaluated. 10 points possible.

PROVIDE: Provide information about previous projects completed for Capital City Development Corporation. Include the project names, dates of construction, original contract value, final contract value, descriptions of the projects, descriptions of the work performed, descriptions of the additional work performed beyond the original contract value if required., CCDC Project Manager names, and Contractor's Key Personnel who worked on the projects.

Information provided with complete project information. _____ Yes _____ No

END OF EXHIBIT A

EXHIBIT B

REQUIRED WAIVER & RELEASE (REQUIRED FOR SUBMISSION)

The undersigned Respondent has read this waiver and release and fully accepts Capital City Development Corporation's (CCDC) discretion and non-liability as stipulated herein, and expressly for, but not limited to, CCDC's decision to proceed with a pre-qualification selection process in response to the Request for Qualifications (RFQ) to pre-qualify public works contractors to bid its 9th & Front Garage Stairs Structural Repairs Project.

- A. Discretion of CCDC: The Idaho-licensed public works contractor making a submission to this RFQ agrees that CCDC has the right to, unless contrary to applicable state law:
- 1) Modify or suspend any and all aspects of the process seeking proposals and making any decisions concerning the RFQ;
 - 2) Obtain further information from any person, entity, or group regarding the Respondent, and to ascertain the depth of Respondent's capability and experience for supplying the desired services and in any and all other respects to meet with and consult with any Respondent or any other person, entity, or group;
 - 3) Waive any formalities or defects as to form, procedure, or content with respect to CCDC's RFQ to pre-qualify contractors and any response by any Respondent thereto;
 - 4) Accept or reject any submission received in response to the RFQ, including any submission by the undersigned; or score one proposal over another in accordance with the selection criteria; and
 - 5) Accept or reject all or any part of any materials or statements, including, but not limited to, the nature and type of proposal.
- B. Non-Liability of CCDC:
- 1) The undersigned agrees that CCDC shall have no liability whatsoever of any kind or character, directly or indirectly, by reason of all or any decision made at the discretion of CCDC as identified above.
 - 2) The undersigned, including all team members, have carefully and thoroughly reviewed the RFQ and has found it to be complete and free from ambiguities and sufficient for their intended purpose.

SIGNATURE: **X** _____

Print Name / Title: _____

Name of Firm: _____

Date: _____



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AGENDA BILL

Agenda Subject: Prequalification of Contractors for 10 th & Front Garage Structural Concrete Repairs Project		Date: October 12, 2020
Staff Contact: Aaron Nelson, Parking & Facilities Manager Kathy Wanner, Contracts Specialist		Attachments: A. Resolution No. 1678 B. SOQ scoring C. RFQ issued August 19, 2020
Action Requested: Adopt Resolution No. 1678 selecting prequalified contractors for the 10 th & Front Garage Structural Concrete Repairs Project.		

Background:

Agency staff has found it desirable for public works contractors to have experience in constructing certain high cost Agency projects. Equally important is a demonstrated ability to handle complex logistics and site conditions in an urban setting, sufficient resources to keep the project moving quickly, and sensitivity to community relations.

To accomplish those goals, the Agency utilizes Idaho Code § 67-2805(2)(b) which provides for a two-stage process for procuring public works construction valued in excess of \$200,000:

- Stage 1: Agencies can examine preliminary supplemental qualifications such as experience constructing similar facilities and overall performance history to prequalify licensed public works contractors prior to a competitive bidding process.
- Stage 2: Invite competitive bids from only licensed public works contractors that have been prequalified at Stage 1.

The 10th & Front Garage Structural Concrete Repairs Project will involve partial depth, strip repair of concrete slab over precast beams, removal of scaling, deteriorating concrete, corroded reinforcing steel in slabs over the beams, and miscellaneous partial depth, and vertical/overhead concrete repairs utilizing high quality air entrained concrete and epoxy coated reinforcement; installation of traffic resistance water proofing membrane; replacement of control joints sealants with elastomeric material; and, application of silane sealer to supported floor slab. This work will occur predominantly on the second level.

The Agency's Request for Qualifications (RFQ) for the Project was issued on August 19, 2020. Legal notice was published in the *Idaho Statesman* newspaper on August 19 and 26, 2020.

Three contractors responded to the RFQ by the 3:00 p.m., September 9, 2020, deadline:

1. ESI – Engineered Structures, Inc.
2. Guho Corp.
3. Western Specialty Contractors

Contractor Licensing

An initial review of the three contractor's licensing information revealed that all were properly licensed to perform the work with the necessary Type 3 Building Construction license or Type 4 Specialty Construction license with skilled trade categories.

Reviewing and Scoring the Statements of Qualifications (SOQ)

In addition to simple licensing and company information, the RFQ (see Attachment 3) requested information on the following prequalification standards:

- Experience constructing similar public works facilities – 30 points possible
- Key personnel – 20 points possible
- Overall performance history – 25 points possible
- References – 15 points possible
- Prior Experience with Capital City Development Corporation – 10 points possible

A four-member Agency staff evaluation team reviewed and scored the SOQs submitted by the three properly-licensed companies. A score of 75 or greater was needed to be eligible to bid the project. All three of the companies met that scoring threshold:

Fiscal Notes:

The Agency's FY2021 budget includes sufficient funding for this project.

Staff Recommendation:

Staff recommends that the Agency Board adopt Resolution No. 1678 prequalifying ESI – Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors as eligible to submit competitive bids for the 10th & Front Garage Structural Concrete Repairs Project.

Suggested Motion:

I move to adopt Resolution No. 1678 prequalifying ESI – Engineered Structures, Inc., Guho Corp., and Western Specialty Construction as eligible to submit competitive bids for the 10th & Front Garage Structural Concrete Repairs Project.

Attachment A: Resolution 1678

RESOLUTION NO. 1678

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, PREQUALIFYING ESI - ENGINEERED STRUCTURES, INC., GUHO CORP., AND WESTERN SPECIALTY CONTRACTORS AS ELIGIBLE TO SUBMIT COMPETITIVE BIDS FOR THE 10TH & FRONT GARAGE STRUCTURAL CONCRETE REPAIRS PROJECT; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (collectively the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, Idaho Code § 67-2805(2)(b) provides for a two-stage process for procurement of public works construction, which includes:

- Stage 1: Allows public agencies to establish preliminary supplemental qualifications for purposes of prequalifying licensed public works contractors prior to a competitive bidding process, and,
- Stage 2: Invites competitive bids from only licensed public works contractors that have been prequalified at Stage 1; and,

WHEREAS, Idaho Code § 67-2805(2)(b) allows a political jurisdiction to examine a public works contractor's qualifications related to:

- Demonstrated technical competence
- Experience constructing similar facilities
- Prior experience with the political subdivision
- Availability of resources, equipment, and personnel
- Overall performance history; and,

WHEREAS, the Agency issued a Request for Qualifications ("RFQ") from licensed public works contractors for its 10th & Front Garage Structural Concrete Repairs Project on August 19, 2020, and published notice of the RFQ in the *Idaho Statesman* newspaper on August 19 and 26, 2020; and,

WHEREAS, the deadline for submitting a signed Statement of Qualifications and Required Waiver & Release Form (collectively, the "SOQ") was September 9, 2020, at 3:00 p.m.; and,

WHEREAS, three (3) construction companies provided their SOQs by the September 9, 2020, deadline: ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors; and,

WHEREAS, Agency staff evaluated the three (3) SOQs and scored each of them according to a scoring method outlined in the RFQ; and,

WHEREAS, Agency staff found that ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors provided information that was deemed sufficient to meet the 75-point scoring threshold (out of 100 total points possible) for the prequalification standards set forth in the RFQ; and,

WHEREAS, Agency staff recommends the Agency Board prequalify, in accordance with Idaho Code § 67-2805(2)(b), ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors as eligible to submit competitive bids for the Agency's 10th & Front Garage Structural Concrete Repairs Project; and,

WHEREAS, the Agency Board finds it in accordance with Idaho Code § 67-2805(2)(b) and in the best public interest to prequalify ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractor as eligible to submit competitive bids for the Agency's 10th & Front Garage Structural Concrete Repairs Project.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct and incorporated herein.

Section 2: That the Agency Board hereby finds that ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors provided sufficient information to meet the 75-point scoring threshold for the prequalification standards set forth in the RFQ.

Section 3: That the Agency Board hereby prequalifies, in accordance with Idaho Code § 67-2805(2)(b), ESI-Engineered Structures, Inc., Guho Corp., and Western Specialty Contractors, as eligible to submit competitive bids for the 10th & Front Garage Structural Concrete Repairs Project.

Section 4: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on October 12, 2020. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on October 12, 2020.

URBAN RENEWAL AGENCY OF BOISE CITY

By: _____
Dana Zuckerman, Chair

ATTEST:

By: _____
Lauren McLean, Secretary

Attachment B: SOQ Scoring

10th & Front Garage Structural Concrete Damage Repairs Prequalification RFQ

COMPANY	ESI	Guho	Western Speciality
Experience constructing similar public works facilities			
Max	20	30	30
Matt	30	29	30
Aaron	30	30	30
Karl	25	25	30
Key Personnel			
Max	20	20	20
Matt	21	20	20
Aaron	20	20	18
Karl	15	20	20
Overall Performance History			
Max	25	25	25
Matt	16	25	25
Aaron	25	25	25
Karl	25	25	25
References (can be same or different from #1 above)			
Max	15	15	15
Matt	13	14	15
Aaron	12	15	15
Karl	10	15	10
Prior Experience with CCDC			
Max	5	10	0
Matt	5	10	0
Aaron	10	10	0
Karl	5	10	0
<i>Must score 75 points or more to qualify</i>			
Sum divided by 4	86.75	98.25	88.25

Attachment C: RFQ issued August 19, 2020



REQUEST FOR QUALIFICATIONS

PUBLIC WORKS CONTRACTORS

PRE-QUALIFICATION FOR 10th & FRONT GARAGE STRUCTURAL DAMAGE REPAIRS BOISE, IDAHO

**QUALIFICATIONS MUST BE RECEIVED BY:
3:00 P.M. LOCAL TIME, SEPTEMBER 9, 2020**

REQUEST FOR QUALIFICATIONS
Pre-Qualification for 10th & Front Garage Structural Damage Repairs Project

August 19, 2020

Capital City Development Corporation (CCDC), the urban renewal agency for the city of Boise, Idaho, will accept Statements of Qualifications from Idaho-licensed public works contractors to be pre-qualified, in accordance with Idaho Code § 67-2805(2)(b), to submit competitive bids for construction of its 10th & Front Garage Structural Damage Repairs Project in downtown Boise, Idaho. CCDC will prequalify bidders on the following criteria: technical competence; experience constructing similar facilities; prior experience with CCDC; available non-financial resources, equipment, and personnel; and overall performance history based upon the contractor's entire body of work. Only contractors pre-qualified through this process will be allowed to submit a bid for the public works construction project.

Licensed public works contractors seeking pre-qualification must complete and submit the pre-qualification forms provided herein.

Submission deadline is 3:00 P.M. local time, September 9, 2020.

CCDC appreciates your interest in meeting the needs of the agency and the citizens of Boise.



Kathy Wanner
Contracts Specialist



121 N 9TH ST, SUITE 501 BOISE, ID 83702
208-384-4264 WWW.CCDCBOISE.COM

PART 1 – GENERAL INFORMATION

1.1 SCOPE OF WORK

The 10th & Front Garage Structural Damage Repairs Project will involve partial depth, strip repair of concrete slab over precast beams, 2nd level only. The work will include removal of scaling, deteriorating concrete, corroded reinforcing steel in slabs over the beams, and miscellaneous partial depth, and vertical/overhead concrete repairs. All repairs are to be performed with high quality air entrained concrete and epoxy coated reinforcement. Coat strip and miscellaneous repairs with traffic resistance water proofing membrane; replace control joints sealants with elastomeric material; and, apply silane sealer to supported floor slab. Restripe parking stalls and perform miscellaneous repairs to the south stairs.

All work will be in accordance with project plans and specifications.

CCDC estimates the total project costs to be: \$1,000,000

1.2 RFQ SUBMISSION

The submission package must be submitted electronically by email to bids@ccdcb Boise.com

Please include this subject line on the email:

RFQ SUBMITTAL: 10th & Front Garage Structural Damage Repairs.

To be considered, the submission package must contain:

Exhibit A: Statements of Qualifications
Exhibit B: Required Waiver & Release

Exhibit A: Statements of Qualifications requires that the Respondent provide other documents containing requested information and answer all Yes / No questions found throughout. Failure to supply the requested information or complete any form may be cause to deem the submission non-responsive.

All required submittal documents must be **signed and dated** and must be submitted via email either in one PDF or a separate PDF of each required document. Electronic signatures are acceptable, provided the signed document is in PDF format and can be opened and read in Adobe Acrobat XI without the need for additional software, applications, or extensions. Scanned signatures are also acceptable. Unsigned submissions will not be accepted. Late or incomplete submissions will not be accepted. Respondent assumes full responsibility for the timely delivery of its submission of all documents via the email process.

Respondent will be responsible for all costs (including site visits where needed) incurred in preparing or responding to this RFQ. All materials and documents submitted in response to this RFQ become the property of CCDC and will not be returned.

1.3 OBJECTIONS

Written objections to prequalification procedures must be received by CCDC at least three (3) business days before the date and time upon which submissions are due. Objections are to be in writing directed to Kathy Wanner, Contracts Specialist, at kwanner@ccdcb Boise.com.

1.4 ADDENDA

In the event it becomes necessary to revise any part of the RFQ, written addenda will be issued. Addenda will be made available by way of the CCDC website: www.ccdcboise.com. It is the Respondent's responsibility to check for addenda prior to submitting a submission package. Respondents are requested to acknowledge all addenda in the space provided on Exhibit A. No addenda will be issued fewer than four (4) business days before the submission deadline unless the deadline is extended.

1.5 RIGHTS RESERVED

CCDC reserves the right to act in the public best interest and in furtherance of the purposes of the Idaho Urban Renewal Law, Chapter 20, Title 50, Idaho Code, and the laws for Purchasing by Political Subdivisions, Chapter 28, Title 67, Idaho Code. CCDC reserves the right to waive any formalities or defects as to form, procedure, or content with respect to its RFQ and any minor irregularities in the submissions received, to request additional data and information from any and all Respondents, to reject any submissions based on real or apparent conflict of interest, to reject any submissions containing inaccurate or misleading information, and to accept the submissions that are in the best interest of CCDC. The issuance of this RFQ and the receipt and evaluation of submissions does not obligate CCDC to take any further action relative to the RFQ. CCDC may in its discretion cancel this process at any time without liability.

1.6 PUBLIC RECORDS

CCDC is a public agency. All documents in its possession are public records subject to disclosure under the Idaho Public Records Act, Chapter 1, Title 74, Idaho Code, and will be available for inspection and copying by any person after the RFQ process is complete.

If any Respondent claims any part of its submission is exempt from disclosure under the Idaho Public Records Act, Respondent must: 1.) Indicate by marking the pertinent document "CONFIDENTIAL"; and, 2.) Include the specific basis for the position that it be treated as exempt from disclosure. Marking the entire submission as "Confidential" is not in accordance with the Idaho Public Records Act and will not be honored. CCDC, to the extent allowed by law and in accordance with these Instructions, will honor a designation of nondisclosure. By claiming material to be exempt from disclosure under the Idaho Public Records Act, Respondent expressly agrees to defend, indemnify, and hold CCDC harmless from any claim or suit arising from CCDC's refusal to disclose such materials. Any questions regarding the applicability of the Public Records Act should be addressed to your own legal counsel prior to submission.

END OF PART 1

PART 2 – QUALIFICATION INFORMATION

2.1 BASIS FOR SELECTION AND PRE-QUALIFICATION

In accordance with Idaho Code § 67-2805(2)(b), this Request for Qualifications will be evaluated as detailed below. Only Respondents who complete all information requested, completely and accurately, and receive a score of 75 points or greater will be eligible to bid on the 10th & Front Garage Structural Damage Repairs Project.

- Experience constructing similar public works facilities – 30 points possible
- Key personnel – 20 points possible
- Overall performance history – 25 points possible
- References – 15 points possible
- Prior Experience with Capital City Development Corporation – 10 points possible

CCDC may conduct investigations and interviews, if necessary, to determine the performance record and abilities of Respondent to perform the size and type of work to be contracted. By submitting a response to this RFQ, the Respondent is authorizing CCDC to conduct investigations and interviews as needed.

2.2 PROJECT SCHEDULE (*Tentative*)

Prequalification

Request for Qualifications issued	August 19, 2020
Last Day addenda issued, if needed	September 2, 2020
Last Day for Objections	September 3, 2020 by 3 p.m.
Qualifications Due	September 9, 2020 by 3 p.m.
Selection of Pre-Qualified Contractors	CCDC Board Meeting: October 12, 2020
<i>Deadline to Appeal</i>	<i>7 days from notice of Board decision</i>

Project Bidding

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Pre-Bid Conference	<i>To be determined</i>
Bid Opening	December 1, 2020 (<i>anticipated</i>)
Bid Award	CCDC Board Meeting: December 14, 2020

Project Construction

Notice to Proceed (Weather Dependent)	Late Winter/Early Spring 2021 (<i>anticipated</i>)
Estimated Construction Duration	Four Months

END OF PART 2

EXHIBIT A

**RFQ: 10TH & FRONT GARAGE STRUCTURAL DAMAGE REPAIRS PROJECT
STATEMENTS OF QUALIFICATIONS (SOQ)
(REQUIRED FOR SUBMISSION)**

TO: Capital City Development Corporation
By email: bids@ccdcboise.com
Attn: Kathy Wanner, Contracts Specialist
121 N. 9th Street, Suite 501
Boise, Idaho 83702

THE UNDERSIGNED DECLARES, that he/she holds the position indicated below as a corporate officer or the owner or a partner in the business entity submitting these Qualifications; that the undersigned is informed of all relevant facts surrounding the preparation and submission of these Qualifications; and that the undersigned represents and warrants that all information provided is true, accurate, and complete.

SIGNATURE: **X**_____

Print Name / Title: _____

Name of Company: _____

Company Type: ☐ Corporation ☐ Partnership ☐ Individual ☐ LLC ☐ Other

Business Address: _____

Telephone: _____ Fax: _____

E-mail Address: _____

LICENSE: Idaho Public Works Contractor License # _____

Number of years the Company has been in business: _____

Is the Company a parent or subsidiary of another Company? ☐ Yes ☐ No

If yes, please explain: _____

ADDENDA: Respondent has reviewed and understands all addenda issued with this RFQ:

Addendum No. _____ Dated: _____

Addendum No. _____ Dated: _____

INSTRUCTIONS: Review each page of this Exhibit A.
Provide the documents requested and answer all Yes / No questions found herein.

1. SIMILAR PROJECT EXPERIENCE

Contractor's experience completing similar projects will be evaluated. 30 points possible.
The Contractor (and the Key Personnel) must have the following project experience:

Contractor Requirements

- Successfully completed the construction of at least three (3) projects each with a bid price of \$200,000 or more within the last ten (10) years.
 - All three (3) projects must have been focused on concrete repair and retrofit in a facility that was operational during the course of the repair work.

PROVIDE: Provide at least three (3) examples of Respondent's work equal to or exceeding a project cost of \$200,000 within the last ten (10) years.

All three (3) projects must have been focused on concrete repair and retrofit in a facility that was operational during the course of the repair work.

Include all of the following project information to verify and evaluate whether the Contractor has the project experience required: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract value, final contract value, descriptions of the projects, descriptions of the work performed, and descriptions of the additional work performed beyond the original contract value if required.

Three examples provided with complete project information. _____ Yes _____ No

2. KEY PERSONNEL

Experience of Key Personnel will be evaluated. 20 points possible.

The Key Personnel must have the following project experience:

Project Manager Required Experience

- At least three (3) full consecutive years of experience as a construction project manager focused on concrete repair and retrofit.
- Successfully managed and completed three (3) construction projects each with a bid price of \$200,000 or more within the last ten (10) years. All projects shall be focused on concrete repair and retrofit.

Project Superintendent Required Experience

- At least three (3) full consecutive years of experience as a project superintendent focused on concrete repair and retrofit.
- Successfully supervised and completed three (3) construction projects each with a bid price of \$200,000 or more within the last ten (10) years. All projects shall be focused on concrete repair and retrofit.

PROVIDE: Provide a résumé for each candidate who would fill the positions of Project Manager and Project Superintendent for the 10th & Front Garage Stairs – Structural Repair Project. Be sure the résumés include:

- Employment information such as names, dates of employment, addresses, phone numbers, and email addresses that is sufficient to verify and evaluate the Project Manager's and Project Superintendent's employment history.
- All of the following project information to verify and evaluate whether the Project Manager and Project Superintendent have the required project experience: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract values, final contract values, descriptions of the projects, and descriptions of the work performed.

One (1) alternate candidate résumé for each position may be provided in case the primary candidate's employment and project references cannot be reached or the primary candidate's experience requirements do not meet the requirements. Please be sure to indicate "*Alternate*" on any alternate candidate résumés.

Résumés provided with complete contact information. _____ Yes _____ No

3. OVERALL PERFORMANCE HISTORY

Contractor's overall performance history will be evaluated. 25 points possible.

PROVIDE: Provide answers to the following questions; provide documents where requested.

Provide a statement or letter from a surety insurer authorized to do business in the State of Idaho which states that Contractor's current available bonding capacity is sufficient for the project for which it seeks pre-qualification. Surety insurer must have an A.M. Best financial strength rating of "A-" or better.	
In the last five (5) years, have you or any of the company owners, officers, or partners had their Contractor's license revoked?	
In the last five (5) years, have you or any of the company owners, officers, or partners been "defaulted" or "terminated" by an owner (other than for convenience of the owner)?	
In the last five (5) years, have you or any of the company owners, officers, or partners been convicted of a crime involving any federal, state, or local law related to construction, including any act of dishonesty?	
In the last five (5) years, have you or any of the company owners, officers, or partners been convicted of a crime involving the awarding of a contract on a government construction project or the bidding or performance of a government construction contract?	
Is your company currently in bankruptcy proceedings or has the company filed for bankruptcy at any time during the last five (5) years?	
Is your company currently in default on any loan agreement or financing agreement with a bank, financial institution, or other financial entity?	

In the last five (5) years, has your company ever been denied bond coverage by a surety?	
In the last five (5) years, has any surety company made any payments on your company's behalf as a result of default, to satisfy any claims made against a performance or payment bond, in connection with any public or private construction project?	
In the last five (5) years, has any claim against your company concerning your company's work on a construction project been filed in court or submitted to mediation or arbitration?	
In the last five (5) years, has any insurance carrier, for any form of insurance, refused to renew your company's insurance policy?	
In the last five (5) years, has the U.S. Army Corps of Engineers, Environmental Protection Agency, Idaho Department of Environmental Quality, or any other environmental quality control board cited and assessed penalties against your company or the owner of a project on which your company was the contractor and deemed responsible for the penalties?	
Does your company have a written health and safety (H&S) program / procedures? <i>If yes, provide a pdf copy or an online access link to the program/procedures.</i>	
Does your company have a health and safety training program? <i>If yes, provide a copy of the policy and procedures, in pdf or via online access link.</i>	
Does your company conduct safety meetings during the course of a construction project? <i>If yes, provide a pdf copy of the safety meeting policy and a sample agenda.</i>	

4. REFERENCES

Contractor's References will be evaluated. 15 points possible.

References must be project owners – not subcontractors, building officials, lending institutions, or the like. CCDC may ask questions relative to Contractor's abilities and competence, including any or all of the following:

- Contractor's ability to provide adequate supervision on the project.
- Contractor's ability to work cooperatively with Owner, Architect, and outside parties.
- Contractor's ability to manage safety on the job site.
- Contractor's ability to work in accordance with the contract documents.
- Contractor's ability to provide timely reports, submittals, and scheduling updates.
- Contractor's utilization of change order requests
- Contractor's ability to maintain strong public relations and minimize disruption to businesses and the general public.
- Contractor's interaction with regulatory agencies and utilities.
- Contractor's ability to keep the project on schedule.
- Contractor's ability to manage closeout procedures efficiently and effectively.

PROVIDE: Provide three (3) references that can speak to Contractor's abilities and competence on projects equal to or exceeding a project cost of \$200,000 within the last ten (10) years. All of the projects shall be focused on concrete repair and retrofit in a facility that was operational during the course of the repair work.

Include all of the following information to verify and evaluate Contractor's References: Owner names, addresses, phone numbers, email addresses, dates of construction, original contract value, final contract value, descriptions of the projects, and descriptions of the work performed.

Contractor may indicate that the References are the same as those that were listed for Section 1 (Similar Project Experience) above, or Contractor may choose to provide different references.

References provided are those in Section 1 above. _____ Yes _____ No

New References are provided with complete contact information. _____ Yes _____ No

5. PRIOR EXPERIENCE WITH CCDC

Experience working with CCDC will be evaluated. 10 points possible.

PROVIDE: Provide information about previous projects completed for Capital City Development Corporation. Include the project names, dates of construction, original contract value, final contract value, descriptions of the projects, descriptions of the work performed, descriptions of the additional work performed beyond the original contract value if required., CCDC Project Manager names, and Contractor's Key Personnel who worked on the projects.

Information provided with complete project information. ☐ Yes ☐ No

END OF EXHIBIT A

EXHIBIT B

REQUIRED WAIVER & RELEASE (REQUIRED FOR SUBMISSION)

The undersigned Respondent has read this waiver and release and fully accepts Capital City Development Corporation's (CCDC) discretion and non-liability as stipulated herein, and expressly for, but not limited to, CCDC's decision to proceed with a pre-qualification selection process in response to the Request for Qualifications (RFQ) to pre-qualify public works contractors to bid its 10th & Front Garage Structural Damage Repair Project.

A. Discretion of CCDC: The Idaho-licensed public works contractor making a submission to this RFQ agrees that CCDC has the right to, unless contrary to applicable state law:

- 1) Modify or suspend any and all aspects of the process seeking proposals and making any decisions concerning the RFQ;
- 2) Obtain further information from any person, entity, or group regarding the Respondent, and to ascertain the depth of Respondent's capability and experience for supplying the desired services and in any and all other respects to meet with and consult with any Respondent or any other person, entity, or group;
- 3) Waive any formalities or defects as to form, procedure, or content with respect to CCDC's RFQ to pre-qualify contractors and any response by any Respondent thereto;
- 4) Accept or reject any submission received in response to the RFQ, including any submission by the undersigned; or score one proposal over another in accordance with the selection criteria; and
- 5) Accept or reject all or any part of any materials or statements, including, but not limited to, the nature and type of proposal.

B. Non-Liability of CCDC:

- 1) The undersigned agrees that CCDC shall have no liability whatsoever of any kind or character, directly or indirectly, by reason of all or any decision made at the discretion of CCDC as identified above.
- 2) The undersigned, including all team members, have carefully and thoroughly reviewed the RFQ and has found it to be complete and free from ambiguities and sufficient for their intended purpose.

SIGNATURE:

X

Print Name / Title:

Name of Firm:

Date:



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AGENDA BILL

Agenda Subject: First Amendment to Task Order 19-002, HDR Engineering, Inc. Professional Design Services, for Main & Fairview Transit Stops		Date: October 12, 2020
Staff Contact: Amy Fimbel	Attachments: 1) Resolution 1679 2) Task Order 19-002 Amendment #1	
Action Requested: Approve the first amendment to Task Order 19-002, HDR Engineering, Inc.'s Professional Design Services for Main & Fairview Transit Stops.		

Fiscal Notes:

Task Order 19-002 total not-to-exceed amount of \$98,785 is amended by Resolution 1679 to the amount of \$101,495. The 30th Street District GL account sufficiently funds the amended task order.

Background:

Main Street and Fairview Avenue serve as important transit and bicycle corridors through CCDC's 30th Street urban renewal district. In 2019, ACHD completed a microseal project on Main Street and Fairview Avenue, which included restriping the lanes to make room for buffered bike lanes. The welcomed addition of buffered bike lanes came with unforeseen lane crossing conflicts between buses and bicycles at each transit stop. CCDC hired HDR Engineering, Inc. to design seven bus stops along Main Street and Fairview Avenue between Whitewater Park Blvd and N 16th St that eliminate the safety issues and improve transit system efficiency. After the project is complete, buses will be able to make in-lane stops on Main and Fairview without disrupting the flow of the bicycle lane through the use of transit islands.

CCDC hired HDR Engineering, Inc. (HDR), an On-Call Design Professional, in June 2020 to produce a final design by the end of January 2021. HDR's scope includes the analysis, survey, design, public involvement, and bidding support tasks necessary to develop the needed stop improvements along with associated pedestrian and bike facilities. Stop locations were pre-determined as part of Valley Regional Transit's State Street Alternative Analysis that is currently underway. After the schematic design was complete, the project team directed the design team to move the location of one of the stops to better accommodate bus movements. This first amendment includes additional design and survey services necessary from HDR to complete the design of the newly located stop. The contract termination date has been revised to April 30, 2021 as a result of this additional scope of work. Construction is anticipated to follow in summer 2021.

Agency staff and HDR negotiated the scope of service and the proposed fee that is included in the amended task order. Due to the amended task order's fee amount exceeding the Executive

Director's independent spending authority, staff is requesting board approval of the proposed amendment.

Staff Recommendation:

Staff recommends that the Agency's Board find it in the best interest of the public and the Agency to approve the first amendment of Task Order 19-002, HDR's Professional Design Services for Main and Fairview Transit Stops.

Suggested Motion:

I move to adopt Resolution 1679, approving the first amendment to HDR's Professional Design Services Task Order for Main and Fairview Transit Stops.

RESOLUTION NO. 1679

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, APPROVING AMENDMENT NO. 1 TO TASK ORDER #19-002 BETWEEN THE AGENCY AND HDR ENGINEERING, INC.; AUTHORIZING THE EXECUTIVE DIRECTOR TO EXECUTE AMENDMENT NO. 1; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (collectively the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, the City Council of the City of Boise City, Idaho (the "City"), after notice duly published, conducted a public hearing on the 30th Street Area Urban Renewal Plan (the "30th Street Plan"), and following said public hearing, the City adopted its Ordinance No. 6868 on December 4, 2012, approving the 30th Street Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amendment to the 30th Street Plan ("First Amendment to the 30th Street Plan"), and following said public hearing, the City adopted its Ordinance No. 26-18 on July 24, 2018, approving the First Amendment to the 30th Street Plan de-annexing certain parcels from the existing revenue allocation area and making certain findings; and,

WHEREAS, by its Resolution No. 1602, adopted May 13, 2019, the Agency Board approved a roster of prequalified traffic engineering firms in accordance with Idaho Code Section 67-2320(2)(h), which roster includes HRD Engineering, Inc., for non-exclusive traffic engineering services for the Agency under a five-year contract; and,

WHEREAS, on June 29, 2020, the Agency and HDR Engineering, Inc., executed Task Order #19-002 for certain professional services related to the Main and Fairview Transit Stops Design Project (the "Project") in the amount of \$98,785; and,

WHEREAS, the Agency and HDR Engineering, Inc., find that additional services are needed for the Project in the amount of \$2,710, which, when added to the prior scope and amount authorized by the Executive Director, is a dollar amount which exceeds the Executive Director's independent spending authority for professional services, granted to him by Agency Board Resolution No. 1498; and,

WHEREAS, the Agency Board of Commissioners finds it in the best public interest to approve the Amendment and to authorize the Executive Director to execute same.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, AS FOLLOWS:

Section 1: That the above statements are true and correct.

Section 2: That Amendment No. 1 to Task Order #19-002 between the Agency and HDR Engineering, Inc., attached hereto as Exhibit A and incorporated herein by reference, is approved as to both form and content.

Section 3: That the Agency Board hereby authorizes the Executive Director to execute Amendment No. 1 to Task Order #19-002 with HDR Engineering, Inc. for additional professional services for the Project in the amount of Two Thousand Seven Hundred Ten Dollars (\$2,710), bringing the combined total for Task Order #19-002 to One Hundred One Thousand Four Hundred Ninety-Five Dollars (\$101,495).

Section 4: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on October 12, 2020. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on October 12, 2020.

URBAN RENEWAL AGENCY OF BOISE CITY

By: _____
Dana Zuckerman, Chair

ATTEST:

By: _____
Lauren McLean, Secretary



HDR ENGINEERING, INC.
2019-2024 ON-CALL PROFESSIONAL SERVICES AGREEMENT

**TASK ORDER 19-002
AMENDMENT No. 1**

*Please use the Project Name and **PO# 200085** on all project-related invoices.*

PROJECT NAME: **Main & Fairview Transit Stations & Platforms**

ORIGINAL TASK ORDER DATE: June 29, 2020
Original Task Order Amount: \$98,785
Amendment No. 1 Amount: \$ 2,710

New Task Order Amount: \$101,495

TASK ORDER AMENDMENT No. 1 DATE: _____

Task Order #19-002 is hereby amended as set forth in this Amendment No. 1. All other terms and conditions of Task Order #19-002 remain in full force and effect.

1. Section 3. SERVICES TO BE PERFORMED ("Scope of Services")

In addition to the Scope of Services outlined in Task Order #19-002, CCDC desires CONSULTANT to provide additional design and survey services in order to accommodate transit station relocations as described in CONSULTANT's proposal dated September 29, 2020, attached hereto as Exhibit A.

2. Section 5. PAYMENT

By this Amendment No. 1, CCDC is approving an increase of TWO THOUSAND SEVEN HUNDRED TEN DOLLARS (\$2,710) for a new Task Order total amount of One Hundred One Four Hundred Ninety-Five Dollars (\$101,495).

3. Section 6. SCHEDULE

CCDC desires to extend the milestones on this Task Order as follows:

Schematic Design	September 18, 2020
75% Design Docs	December 11, 2020
Construction Docs	February 12, 2021
Bidding Support	April 30, 2021

4. **Section 7. DELIVERABLES / COPIES OF PRODUCTS**

CONSULTANT shall provide CCDC with the additional work products and services as described in Section 1 above.

5. **CONTRACT TERMS**

Terms of the 2019-24 On-Call Professional Services Agreement executed by CCDC and CONSULTANT shall apply to the services performed and work products created under this Amendment No. 1.

End of Amendment No. 1 to Task Order #19-002

IN WITNESS WHEREOF, CCDC and CONSULTANT have executed this Amendment No. 1 to Task Order #19-002 as of the date last written below.

CAPITAL CITY DEVELOPMENT CORP.

**CONSULTANT
HDR ENGINEERING, INC.**

John Brunelle, Executive Director

Kate Eldridge, VP and Idaho Area Manager

Date: _____

Date: _____

EXHIBITS:

A: Consultant's proposal dated September 29, 2020

Budget Info / For Office Use	
Fund/District	304
Account	6250
Activity Code	19030
PO #	200085
Completion Date	April 30, 2021



SCOPE OF SERVICES– SUPPLEMENTAL # 1

Project Description

Capital City Development Corporation (CCDC), in cooperation with the City of Boise and Valley Regional Transit (VRT) (the Project Team), is seeking to redesign seven (7) bus stops along Main St. and Fairview Ave. between Whitewater Park Blvd. and N 16th St. Actual stop locations will be predetermined by the VRT State Street Alternative Analysis that is currently underway.

This supplemental Scope of Services (SOS) includes additional survey for the west (far-side) side of the Main Street and Whitewater Park Blvd. intersection. Land Solutions, Inc., completing all topographic survey and associated tasks.

All deliverables will be electronic unless otherwise noted.

300 TOPOGRAPHIC SURVEY & BASE MAPPING

Land Solutions will perform topographic survey for the additional area at the west (far-side) side of the Main Street and Whitewater Park Blvd. intersection. This is at VRT's direction to move the stop at this intersection from the east (near-side) to the west (far-side). Land Solutions will update the base mapping and topographic survey collected in the field as well as property boundary research and calculations performed. Land Solutions will send a letter requesting permission to access the property adjacent to the new location to gather topographic information before any survey work is conducted. Topographic survey will be performed at the proposed station location as follows:

- All asphalt- and concrete-paved driving areas within the existing and proposed bus stop locations, including the travel lanes of Main Street, as appropriate
- All passenger boarding areas (perimeter and 20-foot grid)
- All landscaped areas
- All existing topographic features to include buildings, sidewalks, striping, visible utilities, edge of pavement, utilities as marked in the field by a locating company, tops and toes of slope, etc.

Land Solutions will establish a minimum of (1) temporary benchmarks (TBM) throughout the project area in the field and will provide horizontal and vertical location information for all TBMs in the topographic survey deliverable. The TBM's shall be established in locations which minimize disturbance during construction and must be easily accessible to the contractor and/or surveyor. Monuments within the roadway, i.e. Centerline monuments, and intersection monuments as well as chiseled "X" in curbs which will be destroyed during construction shall not be used as TBM's.

Land Solutions will procure all title reports and conduct property research to identify all R/W lines, property lines, and easement lines within the project area. All such line work will be included in the base map.



Assumptions

- Land Solutions will acquire all required title reports for property research. It is anticipated that a maximum of 1 additional title report will be required. The cost of the title reports is included in the estimate.
- Topographic surveying shall be collected at the proposed station location along Main St.
- The survey locations will be limited to a corridor extending from right-of-way to right-of-way (100 feet wide, typically), centered on the roadway at each location. Additional survey width may be required to identify property features along project corridor. Features will be surveyed beyond the ROW where feasible and relevant to the project and will be included in right of entry letters.
- All survey data including found and set monuments shall be converted to the Ada County GIS Coordinate System which is a modified state plane projection unique from standard Idaho State Plane Coordinate. All mapping shall be on the Ada County GIS Coordinate System. A list of physical monuments with the corresponding Ada County GIS coordinates is available at <https://adacounty.id.gov/Development-Services/Surveying-Division/GPS-Control>.
- The feature location surveys for determination of x,y,z coordinate values shall comply with FGDC Geospatial Positioning Accuracy Standards, Part 4: Standards for Architecture, Engineering, Construction (A/E/C), and Facility Management.
- All original field notes and computer files shall become the property of CCDC.
- This scope of work does not include setting property pins or monuments.
- No paper copies of the base map will be provided.

Deliverables

- Updated deliverables from the original scope.

CCDC - Main and Fairview Transit Stations and Platforms - Supplemental No. 1
Land Solutions
9/29/2020

300 Location Surveying and Mapping

	PLS (\$120/hr)	Survey Tech (\$85/hr)	Survey Crew (\$165/hr)	Total Hours
Right of Entry Letters	1			
Field Survey	1	4	4	9
Right-of-Way	4		2	6

500 Design Development

540- Right-of-Way - Legal Descriptions and Exhibits	3			3
Total Man-hours	9	4	6	18
Sub Total	\$1,080.00	\$340.00	\$990.00	\$2,410.00
Title Reports - 1 @ \$300.00 each				\$300.00
Total Estimate				\$2,710.00



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IV. ACTION ITEMS



AGENDA BILL

Agenda Subject: 1715 W. Idaho Street Housing Infill Development RFQ-P		Date: 10/12/2020
Staff Contact: Brady Shinn	Attachments: 1) 1715 W. Idaho Request for Qualifications/Proposal 2) Appendices	
Action: Authorize the Agency to publish the 1715 W. Idaho Request for Qualifications/Proposal on the Agency-owned property located 1715 W. Idaho and administer the RFQ-P under its terms.		

Background:

1715 W. Idaho was purchased by CCDC on July 1, 2020. On July 13th, 2020, the CCDC Board of Commissioners authorized the Agency staff to work alongside a 'Core Values Working Group' to develop a RFQ-P for the site. The RFQ-P draft is ready for review by CCDC's Board of Commissioners, for the purposes of receiving the Board's approval to release the RFQ-P to the general public on the proposed terms and schedule.

The RFQ-P's Working Group comprised of CCDC Board Members, Agency staff, and City of Boise staff. Agency staff received Board member feedback at the June and July 2020 Board meetings, and integrated additional Working Group guidance into this new RFQ-P, attached.

Working Group input incorporated into this site's RFQ-P includes:

- Encourage proposals to prioritize adding housing stock that increases economic diversity in the neighborhood, provides a balanced mix of units serving diverse income demographics and is reflective of the surrounding historical architectural character;
- There are no explicit rent or unit mix requirements. However, CCDC is encouraging proposals that target 80% to 100% AMI. If needed, CCDC will consider creative mixes that allow the whole project to be financially feasible; such as including some market-rate units (over 100% AMI) in order to also include more units that are more affordable (under 80% AMI). As stated above, CCDC encourages most units to be primarily affordable to those who can afford 80% to 100% of AMI. Terminate the existing Conditional Use Permit on the site;
- Encourage as much on-site parking as possible.

CCDC has experience in property disposition through an RFP process. The Afton Condominiums, the Watercooler mixed-use project, and the Ash Street Townhomes are all recent examples of economic development catalyzed through CCDC issuing an RFP on under-utilized land.

The anticipated next steps of the RFQ-P process are shown below:

<u>Event:</u>	<u>Deadline:</u>
RFQ/P Published:	October 15, 2020
Response Deadline:	December 18, 2020
Review and Presentation Period:	January 2021
Board selects advancing Proposal:	February 2021
<i>(ERN Negotiation begins)</i>	
Board approves ERN on selected Proposal:	May 2021
<i>(CCDC Exec. Director executes ERN)</i>	
Board approves DDA on selected Proposal:	June 2021
<i>(CCDC Exec. Director executes DDA)</i>	

1715 Idaho sits on a 0.4-acre property located at 1715 West Idaho Street, mid-block between West 17th and West Idaho Streets, and within the Westside Urban Renewal District. The site is an unimproved lot with a dilapidated basketball court. The site is zoned R3 with a Downtown Design overlay. The R3 zone accommodates 43.5 units per acre and a maximum 45' height limit.

Fiscal Notes:

The property's acquisition costs totaled just under \$613,000 when including due diligence fees and closing costs. Depending on RFP proposals the Agency receives, further due diligence may be required on the site.

Future Participation Program and Capital Improvement Plan funding will be determined based on proposals received.

Staff Recommendation:

Staff recommends Board of Commissioners authorize the Agency to publish the RFQ-P.

Suggested Motion:

Authorize the Agency to publish the 1715 W. Idaho Request for Qualifications/Proposal for the Agency-owned property located 1715 W. Idaho and administer the RFQ-P under its terms.

Attachment #1 – RFQ-P

INVITATION

Capital City Development Corporation (CCDC) is requesting proposals for primarily a housing development on a vacant parcel (the “1715 Property”) located in the West Downtown Neighborhood, in Downtown Boise. CCDC is interested in working with a results-oriented, Development Team (“Development Team”) with a creative idea to redevelop the 1715 Property into residential housing.

The issuance of an RFQ/P for this property is an extension of CCDC Participation Program, Type 5 (originally adopted September 2013) for disposition of CCDC-owned property. The agency’s goal in releasing this RFQ/P is to strengthen the Westside Urban Renewal District and the West Downtown Neighborhood in particular and encourage infill housing downtown.

SUBMISSION DEADLINE: December 18th, 2020, 5:00pm local time

I. About CCDC

CCDC is the urban renewal agency for Boise, Idaho and oversees four downtown urban renewal districts totaling 767 acres, and the Gateway East district which totals 2,643 acres. Since 1985, CCDC has focused on creating a lively, pedestrian-oriented, mixed-use urban center in downtown that now includes office, retail, restaurants, lodging, convention facilities, regional health care, and educational, cultural and entertainment opportunities. CCDC invests resources in development partnerships and creating a distinctive and attractive public realm for private development through investment in streets, streetscaping, utilities, public spaces, public art and cultural facilities. A nine-member Board of Commissioners currently governs CCDC. The Boise City Mayor appoints the Commissioners, subject to Boise City Council confirmation.

II. The Project Summary and Site Information



The Project Site, also referred to as the 1715 Property, is located within the Westside Urban Renewal District. The Project Site is located near Main Street, a short distance from the downtown core and in one of the few original urban neighborhoods near downtown Boise. The neighborhood currently comprises of single family homes and majority of multi-family products are market rate and for-sale.

CCDC desires to use this Request for Proposal to increase economic diversity of housing choices in this neighborhood. The Mayoral transition team’s housing report highlights critical needs for Boise and the greater Treasure Valley, and CCDC wishes this RFP to address Boise’s low economic diversity of housing stock and also remove barriers to entry for production. The site’s transitional neighborhood would be well served by market rate ‘middle income’ housing, which is neither “luxury” or “Affordable.” Typically, these projects serve persons or families who earn 80% to 120% of their locality’s Annual Median Income (AMI).

Therefore, CCDC encourages proposals to represent those underserved economic demographics, have strong representation of units designed to accommodate those who can afford 80-100% of AMI. The table below informally summarizes income levels. CCDC is very welcome to reviewing proposals that serve lower income demographics. ‘Higher income’ demographics are already well represented in the neighborhood and across Boise.

Category and typical occupant(s) income level	% of Median Income (HUD)
<i>Low Income</i> – Most Vulnerable Demographics such as Pensioners and Low-Income occupations (i.e. Artists, Retail, Unskilled Labor, Entry-level Professional and Medical and Labor or Trades)	0 - 80%
<i>Middle Income</i> – Stable Income (i.e. ‘Workforce’ housing, Skilled Labor and Trades, Young Professionals, Young Families, Contract Work)	81 - 120%
<i>Higher Income</i> – Established Income (i.e. Dual Income Families, Business Professionals and Owners, STEM-field occupations)	> 120%

See the below hyperlinks for official public documents that further contextualize the neighborhood and the associated planning goals:

1. [Westside Master Plan \(2004\)](#)
2. [Boise Downtown Design Standards and Guidelines \(2016\)](#)
3. [West Downtown Neighborhood Plan \(2019\)](#)

CCDC acquired the parcels incorporated in the Project Site in 2020. The site is comprised of the following parcels:

- Parcel R5538941262 (0.401 acres)

TOTAL 0.401 acres

The Project Site is mostly unimproved and vacant, although a portion of the site is paved for a basketball court. The Project Site is located on the western side of Idaho Street, in between 17th and 18th Streets. The Project Site is a part of an urban neighborhood envisioned as a transitioning neighborhood that provides affordable rents and prices, is in close proximity to downtown amenities, and according to the Westside Master Plan ("Master Plan"), this area could benefit from additional development that promotes an urban neighborhood with a diversity of housing choices and a lively mix of uses.

PROJECT SITE STATS

Address	1715 W. Idaho Street, Boise, ID 83702
Ownership	Capital City Development Corporation
Site Description	Approximately 0.401 acres
Location	The Project Site is located in the west side of downtown Boise, Idaho. The neighborhood is known as the West Downtown neighborhood, located within the Westside Urban Renewal District.
Legal/Parcel	1715 W. Idaho Street, R5538941262 Lots 8 and 9 in Block 11 and the Westerly 45 feet of Lot 10 in Block 11 o McCarty's Second Subdivision, according to the official plat thereof, filed in Book 2 of Plats at Page(s) 85, official records of Ada County, Idaho
Parking	The Project Site is currently in the P3 parking district, a reduction of specific parking requirements is determined by the proposed use (See Boise City Zoning).
Zoning and Allowed Land Use/ Current Use	Zoned R-3DD, which is Multi-Family Residential (R-3) with a Downtown Design overlay (DD). This zoning district includes the areas immediately surrounding to the site. The area adjacent to the north and west is zoned R-3, and is owned by the City of Boise. The area immediately to the south is General Commercial (C-2) and the area east is Residential Office (R-O) The site is currently vacant.
Design Standards	For more information on City of Boise Design Standards, see the Boise Downtown Design Standards and Guidelines hyperlink above).
Access	The site is bordered to the north by a privately-owned parking lot, to the west by a public alley controlled by ACHD, to the south by a dilapidated single family home, and to the east by West Idaho Street.
Infrastructure	City sewer, water, natural gas, electric, and telephone service is available. DISCLAIMER: Utility descriptions are general. Contact utility providers for more information.

III. PROPOSAL MINIMUM REQUIREMENTS

In order for a proposal to be deemed complete and to be further reviewed it must include the minimum requirements. In the event the minimum requirements have not been met for a submission by the due date of December 18, 2020 the proposal will be deemed incomplete and will not be eligible for further consideration. Written notification confirming whether the proposal is considered complete will be provided to the contact listed in each proposal. If you have any questions regarding these minimum requirements, please contact CCDC's Project Manager as soon as possible.

Submittals must include the following documents to be deemed a complete submittal:

1. The Cover Sheet. Appendix 1.

Download the Cover Sheet, under Appendices, fill out and sign. The individual listed on the Cover Sheet will be contacted if additional information or clarification on the submitted proposal is required.

2. Acknowledgement & Release. Appendix 2.

Download the Acknowledgement & Release Agreement under Appendices, fill out and sign.

3. Development Team Information

- a. Development Team Identification: Include architect, engineer, contractor, developer, proposed development legal entity, etc. Include address, phone numbers and email contacts.
- b. Provide an organizational chart for the development entity.
- c. Confirm whether the development entity has been formed and is registered with the State of Idaho. If it has not yet been legally formed, please confirm when it will be formed.
- d. Identify whether development team has worked together on prior projects and identify and describe those projects briefly.
- e. Include three professional references- including name, title, email and phone number. References cannot be a member of the development team.
- f. Include financial statements of the development entity or, in the event the development entity has not yet formed or has no financial statement, include proof of at least one of the members of the development entity's financial capacity to deliver the proposed project. Additionally, a "letter of creditworthiness" from a financial institution(s) which describes prior credit relationships, prior lending history/ amounts/ range, anticipated parameters for lending on the proposed project, and confirms the member or entity is not in default is also acceptable in lieu of or, in addition to, another form of a financial statement.

4. Portfolio/ Résumé

Include portfolio or resume of developer including any similar housing projects.

5. Project Summary

The summary should be no more than two single sided pages in length and should include a basic description of the housing proposed together with ancillary uses as well as the following information:







- Number of proposed residential units
- Size and configuration of units
- Proposed rents or quantity depending on the type of project with confirmation that the units are residential housing that primarily serves individuals and families earning between 80% and 120% of the area median income in Boise. For-Rent product preferred.
- Rents & Unit Mix: Rents & Unit Mix: There are no explicit rent or unit mix requirements. However, CCDC is encouraging proposals that target 80% to 100% AMI. If needed, CCDC will consider creative mixes that allow the whole project to be financially feasible; such as including some market-rate units (over 100% AMI) in order to also include more units that are more affordable (under 80% AMI). As stated above, CCDC encourages most units to be primarily affordable to those who can afford 80% to 100% of AMI.
 - Short-term rental units are not a desired use and are strongly discouraged.
 - Ownership: Proposed sales prices must be affordable to families earning incomes up to 120% of the AMI based on family size and bedroom size. For example, a two-bedroom unit shall be affordable to a family of three earning less than \$80,760 annually. See the Income Limits Chart below. The assumption is that no more than 35% of income should be utilized for the mortgage payment. Deed covenants are required on for-sale proposals.
 - Income Covenants – CCDC may require income deed covenants for units that serve 120% and below AMI and compliance through the City of Boise.
- Description of any on and off site improvements
- Description of any additional uses proposed and/or amenities included
- Description of any proposed CCDC financial assistance or participation, if any.
- Explain how the project meets the housing goals of this Request and will continue to do so until 2030. CCDC is open to consideration of lien restrictions and/or guarantees or another tool to confirm the units remain available and affordable to individuals and families earning 80% to 120% AMI.

Housing Rents and Sales Prices based on Novogradic & Company LLP's Rent & Income Calculator for Ada County including the Boise City MSA and is effective as of 04/01/2020 according to the website.







These incomes and rents may not meet or relate to federal, state or local requirements but are the basis of CCDC's requirements solely for the purpose of this RFQ/P.

There may be additional methods to meet the intent of serving individuals and families whose income is between 80% and 120% of the area median income for the City of Boise. CCDC may consider other methods as proposed and based on specific proposals but are unknown at this time.

Income Limits Chart – Income limits for Ada County including Boise City MSA effective as of 04/01/2020

Income Limits for 2020 (Based on 2020 AMI Income Limits)				
	Charts	30.00%	80.00%	120.00%
1 Person		15,720	41,920	62,880
2 Person		17,940	47,840	71,760
3 Person		20,190	53,840	80,760
4 Person		22,440	59,840	89,760
5 Person		24,240	64,640	96,960
6 Person		26,040	69,440	104,160

Rent Limits Chart- Rents based on AMI effective as of 04/01/2020

Rent Limits for 2020 (Based on 2020 AMI Income Limits)				
Bedrooms (People)	Charts	30.00%	80.00%	120.00%
Efficiency (1.0)		393	1,048	1,572
1 Bedroom (2.0)		448	1,196	1,794
2 Bedrooms (3.0)		504	1,346	2,019
3 Bedrooms (4.0)		561	1,496	2,244
4 Bedrooms (5.0)		606	1,616	2,424
5 Bedrooms (6.0)		651	1,736	2,604

6. Development Sources and Uses Budget. Appendix 3.

Appendix 3 includes two tabs; both shall be completed. CCDC requires a proposed list of financing sources and a development budget. This may be preliminary but is required to be included with the proposal.

Land Value: the commercial appraised value of the land is the initial purchase price of the property, \$605,000. The commercial land appraisal is dated May 15, 2020 and is **Appendix 9**. The purchase price must be paid in full to CCDC at the time of the land closing and prior to the transfer of the Project Site from CCDC to the selected developer. CCDC has the opportunity but not the obligation to provide a “site write down” also called “discounted land value” based on the findings within a reuse appraisal ("Reuse Appraisal"). The “discounted land value”, if any, would occur at project completion. Please consider this in your preliminary budget and clearly include the final proposed land cost the project will pay if different than the commercial appraised value of \$605,000.

7. Development Timeline

A preliminary development timeline is required and must include major milestones including but not limited to: design review approval, planning and zoning approval, any additional land use entitlements, loan closings, land transfer, construction start, construction completion and a rent/lease up or sales schedule.

8. Completed Green Building Certification Form. Appendix 4.

CCDC intends to award a project committed to using the City of Boise Green Construction Code, or equivalent thereof as a minimum requirement. The Green Building Certification must be signed and completed with the application.

9. Project Drawings

A schematic design showing building massing, site layout and the exterior design of structures proposed on the site. Sketches that represent the elements listed above are all that is necessary; a full drawing set with floor plans, sections, and detailed elevations is not required or desired with this submittal.

A site survey is available as **Appendix 6**.

SUBMISSION DEADLINE: Friday, December 18th, 2020, 5:00PM, local time

Required materials should be organized into a separate PDF files for each section below and submitted on a flash drive or disk. Each PDF file should be named with the name of that section, e.g. the first file should be named “1_Cover Sheet.pdf,” the next file “2_Acknowledgement & Release.pdf” and so on.

All submittals must be *received* by the submission deadline. Proposals received after the Submission Deadline will not be considered.

<u>Document Format:</u> PDF, include Appendix 3 as an Excel Document Submittal should be received by CCDC on a flash drive or disk. <u>Do not email submittals.</u>	<u>Submit all materials to:</u> Brady Shinn, Project Manager Capital City Development Corp. 121 N. 9th Street, Suite 501 Boise, ID 83702 (208) 384-4264 bshinn@ccdcboise.com
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IV. Priorities:

The priorities below are the agency's priorities, rather than requirements and will be used as a basis for selection of the strongest proposal.

- **NEIGHBORHOOD DESIGN & CONTEXT**

Having a unique design which also relates in scale and orientation to the existing neighborhood design and existing neighborhood assets is included in this priority. Designs that complement or enhance existing amenities such as W. Main Street, multi-modal transportation, and the history and diversity of the neighborhood will be preferred. CCDC encourages proposals to include a positive pedestrian experience and have the physical building engage the street level. Additionally, this priority favors proof of neighborhood outreach and support and inclusion of programming that serves the needs of the West End Neighborhood Association as articulated in its impending Master Plan, and as described in the West End Neighborhood planning process and the Westside Urban Renewal Plan.

The existing neighborhood is of 'medium density' character, where the surrounding context is comprised of mostly residential uses, including some one and two story single family homes and multiplexes. West Main Street and the area due south is mostly commercial office, light industrial and some hotels, with planned future developments such as the St. Luke's hospital and other potential large scale developments. Also, West Grove Street and its medium-density office and retail context, is within walking distance of the site.

CCDC desires proposals that promote and enhance the neighborhood's historical architectural character. Therefore, proposals with contemporary architectural styles and materials should complement the existing historical architectural character.

- **CATALYST POTENTIAL**

Proposals that include uses or plan or commit to incorporate or phase underutilized or vacant sites in the neighborhood as part of a future project will be preferred. Proposals adding needed amenities or services to the area, either on-site or in another location will also be preferred. Such

amenities that have been suggested are a small grocery store, café space, live work spaces, art, etc. A long term vision for the area can be included together with specific actions in the proposal which lead to accomplishment of the vision.

- **INVESTMENT**

Projects which invest more in the redevelopment of the Project Site should result in higher property valuation which adds value to the property tax rolls strengthening the tax base. New investment which creates higher property value for the site may also improve the values of property in the vicinity. Additionally, taxable value as a result of CCDC property redevelopment creates resources to advance general urban renewal efforts within the Westside Urban Renewal District. The investment will be viewed based on total development cost and anticipated assessed value. Within this section please confirm the status of the project's uses as private, public or non-profit and whether they will be for sale or rent as well as whether the improvements will be subject to property tax. If there is any space that is not residential please explain the use in detail. The development costs should correspond with those included in the Development Sources and Uses Budget Form, Appendix 3.

- **DEVELOPMENT SCHEDULE**

Priority will be given to projects proposed to be completed within a shorter time frame relative to the overall size of the project as is exemplified in the Development Timeline, Section III.7 in the requirements. Determining the reasonableness of the timeline submitted is at the discretion of CCDC. Strong proposals demonstrate capacity by the development team to meet the general RFP and construction schedule goals.

- **SUSTAINABILITY**

In order to get preference in this area a proposal must commit to exceeding the Boise City Green Construction Code. Projects which do not commit to meeting the Boise City Green Construction Code and that do not include a completed **Green Building Certification Form, Appendix 4** will be deemed incomplete and will not advance

Projects can emphasize sustainability by committing to third party verification programs such as USGBC's LEED program, the Living Building Challenge, Net Zero housing, etc. Projects will be required to meet the stated goals in this section as per the Exclusive Right to Negotiate (ERN) and the Disposition and Development Agreement (DDA). Projects which emphasize sustainability to the greatest extent will be given higher priority in this category. Explain and demonstrate the project's sustainability elements.

- **Local Partnerships and Local Workforce**

CCDC encourages any proposals based out-of-state to highlight their experience in using local development professions such as contractors, subcontractors or trades, materials suppliers, architecture and engineering firms, legal counsel, etc.

V. SELECTION PROCESS

CCDC envisions a four-step process for selection of a proposal for the project site.

Step 1: Request for Qualifications / Proposals

The RFQ/P will be advertised locally in the Boise Metro Area and may include other markets, noticed in the Idaho Statesman, posted on the CCDC website and noticed to known and interested parties. The RFQ/P will be closed on **December 18, 2020 at 5:00pm, local time.**

Step 2: Evaluation of Proposals

The proposals will be reviewed by CCDC staff to confirm they meet the RFPs minimum requirements. The applicant will be notified in writing if their proposal is deemed incomplete and no further review will occur. All proposals that meet the minimum requirements will be preliminarily ranked and submitted to the CCDC Board for review. At the discretion of the CCDC Board, respondents may be asked to present their respective projects to the CCDC Board at a public meeting. Proposals will be judged based on the written submittals and on presentations as applicable. The CCDC Board of Commissioners reserves the prerogative to interview or not interview respondents. The CCDC Board of Commissioners will select a proposal to advance to Step 3, as well as determine the final ranking for all qualified proposals. Note that advancement does not mean a proposal has been approved: a proposal is only selected and approved by the CCDC Board if the proposed development team successfully complete steps 3 and 4, as described below.

Step 3: Exclusive Right-to-Negotiate (ERN)

The next step is for CCDC to enter into an Exclusive Right to Negotiate (ERN) with the selected development entity.

The CCDC Board of Commissioners has sole authority to approve an ERN but is not obligated to consider or approve an ERN under this RFQ/P.

Design Refinement: The ERN allows time for project design and details to be refined and specific development terms to be considered. It is the agency's expectation during this period that, while elements of the design may change, design features will function in the way they were initially proposed. Architectural and interior finish materials, unit and income mixes, density are also design features that must remain consistent with the initial proposal.

Financial Feasibility: Once a proposal is selected, additional work will be done to determine the financial feasibility of the project together with the selected developer's banking institution. Required information may include financial statements from principals in the development entity and equity partners and related financial-credit information. Criminal background checks may be required.

Commercial Appraisal: A commercial appraisal has been completed and establishes a fair market value for purposes of determining an initial purchase price for disposition of the property a schedule of performance for a stipulated project (as described in a DDA agreement in the next step). An update to

this commercial appraisal may be provided by CCDC, if needed. The appraisal dated May 15, 2020 is **Appendix 8**. The initial purchase price for the Project Site (all parcels) is Six Hundred Five Thousand Dollars (\$605,000).

Reuse Appraisal: During the ERN stage, the agency will obtain a reuse appraisal to determine the eligible, if any, discounting of the land value. If, during the ERN phase, a land value discount is both eligible and desired based on the project requirements, the discount (difference in commercial value versus reuse value) can be reimbursed upon successful completion of the project. This approach protects the public's investment in the land should the project fail to be completed.

Next Steps: The ERN also sets a schedule for reaching an agreement which may lead to a Disposition and Development Agreement (DDA).

Step 4: Disposition and Development Agreement (DDA)

If an ERN was entered into with a selected developer CCDC may then prepare a DDA that describes in detail the requirements and conditions precedent to the transfer of the Project Site to the development entity. This will include a Schedule of Performance. CCDC may require certain measures such as a performance bond, developer guaranty or other mechanism to increase the probability for the successful completion of the project.

An early step in the DDA would involve the selected development entity purchasing the property as advised by the commercial appraisal pricing and subject to the development agreement terms/schedule of performance. The initial purchase would convey title including payment for the property prior to commencement of construction. Successful completion of the project may involve a rebate (or "site write down" / "discounted land value") as previously advised by the reuse appraisal, determined by the ERN/DDA process and approved by the CCDC Board of Commissioners.

Upon CCDC satisfaction that the proposal has fulfilled all of the requirements of the steps listed above, the negotiated DDA will return to the CCDC Board of Commissioners for its final approval and selection of the RFP competitive selection process winner.

The CCDC Board of Commissioners has sole authority to approve a DDA but is not obligated to consider or approve a DDA under this RFQ/P.

SCHEDULE

The schedule for each step is approximate and may be adjusted by CCDC in its sole discretion.

RFQ/P Published:	October 15, 2020
Response Deadline:	December 18, 2020
Review and Presentation Period:	January 2021
Board selects advancing Proposal: (ERN Negotiation begins)	February 2021
Board approves ERN on selected Proposal: (CCDC Exec. Director executes ERN)	May 2021
Board approves DDA on selected Proposal: (CCDC Exec. Director executes DDA)	June 2021

VI. RFQ/P CONTACT INFORMATION

- Respondents may contact the Project Manager for this RFQ/P by sending an email to bshinn@ccdcboise.com. Answers to questions may be shared with all Respondents.
- Any changes or updates to the RFQ/P will be sent to the primary contact on the proposal.
- If additional information or clarification on individual proposals is necessary, the listed Contact will be notified.

VII. PUBLIC NATURE OF SUBMISSIONS

This RFQ/P is a public process therefore information and materials collected under the RFQ/P are public records. The information that is received by CCDC may be subject to disclosure under the Idaho Public Records Act (Idaho Code Title 74, Chapter 1). With the potential exception of some credit data, it is anticipated that submissions to this RFQ/P will contain little or no material that is exempt from disclosure under the Idaho Public Records Act. Any questions regarding the applicability of the Public Records Law should be addressed by your own legal counsel PRIOR TO SUBMISSION. CCDC will not provide any opinion or guidance on whether or not any information or materials submitted in response to this RFQ/P would be considered exempt from disclosure under Idaho's Public Records Act. Any proprietary or otherwise sensitive information contained in or with any proposals may be subject to potential disclosure.

CCDC's disclosure of documents or any portion of a document submitted and marked as exempt from disclosure under the Idaho Public Records Act may depend upon official or judicial determinations made pursuant to the Idaho Public Records Act.

Respondents, in replying to this RFQ/P agree to release and hold CCDC harmless from any and all liability for disclosing any material or documents included in any proposals submitted to CCDC.

VIII. CCDC DISCRETION AND AUTHORITY, DISCLAIMERS

CCDC may terminate the RFQ/P process at any time for any reason with no requirement to disclose its reasoning.

CCDC also reserves the right to reject any RFQ/P Respondents at any time in the process, or to terminate any or all negotiations implied in this RFQ/P or initiated subsequent to it.

CCDC may change any part of the RFQ/P process at any time for any reason.

If CCDC is unable to reach a satisfactory agreement with a selected development entity, CCDC may terminate negotiations with a selected development entity and commence negotiations with the next most preferred RFQ/P respondent and so on or, in its sole discretion, determine not to enter into an ERN/DDA with any of the Respondents and terminate the process.

CCDC may accept such proposals as it deems to be in the public interest and furtherance of the purposes of the Idaho Urban Renewal Law, the Westside Plan, or it may proceed with further selection processes, or it may reject any submissions. CCDC will determine, from the information submitted in the responses, the strongest proposal to meet the stated priorities as evaluated under the criteria set forth herein. The CCDC Board will make the final selection.

The issuance of the RFQ/P and the receipt and evaluation of submissions does not obligate CCDC to select a proposal and/or enter into any agreement. Any submission does not constitute business terms under any eventual agreement. CCDC will not pay any costs incurred in responding to this RFQ/P.

IX. APPENDICES GATHERING

1. Cover Sheet – **(REQUIRED WITH SUBMITTAL)**
2. Acknowledgment & Release **(REQUIRED WITH SUBMITTAL)**
3. Development Sources and Uses Budget Form **(REQUIRED WITH SUBMITTAL)**
4. Green Building Certification Form **(REQUIRED WITH SUBMITTAL)**
5. Site Map
6. Site Topographic and Boundary Survey (2020)
7. Phase I Environmental Site Assessment (2020) & Geotechnical Report (2020)
8. Preliminary Title Commitment (2020)
9. Existing Land Appraisal (2020)
10. Sample ERN: 1715 Property
11. Summary of Disposition and Development Agreement
12. Proof of offers on other surrounding properties, if applicable.



Cover Sheet

1715 W. Idaho Street RFQ/P Submittal

Please print or type all required information

Respondent Contact Information

Development Entity

Contact Person

Title

Role in Development Entity

Address

Phone

Email Address

By signing this required Cover Sheet, the Respondent indicates the information in the RFQ/P, including any clarifying information, as contained in the Appendices, has been taken into consideration in the preparation of this proposal.

Signature _____ Date _____

Print or Type Name _____

Print or Type Title _____

Acknowledgment & Release

The undersigned ("Respondent"), on behalf of Respondent and all participants and parties included or subsequently added in/to Respondent's development team, has read and fully accepts the Capital City Development Corporation's ("CCDC"), discretion and non-liability as stipulated herein, expressly for, but not limited to, CCDC's decision to proceed with a selection process by issuing the Request for Qualifications/Proposals for the development of the 1715 Idaho Street property (the "RFQ/P"). Capitalized terms not defined herein shall have the meaning ascribed in the RFQ/P.

Respondent accepts and agrees to the terms and conditions as described or as may be modified as well as the following:

1. CCDC reserves the right in its sole discretion and judgment, for whatever reasons it deems appropriate and at any time:
 - a. To suspend or modify any part of the selection process or terminate the RFQ/P at any time for any reason with no financial or other obligation to Respondent.
 - b. Obtain further information from any person, entity, or group, including, but not limited to, any person, entity, or group responding to the RFQ/P and to ascertain the depth of Respondent's capability and desire to develop the Site;
 - c. Waive any formalities or defects as to form, procedure, or content with respect to its RFQ/P and any submission by any respondent;
 - d. Accept or reject any submission or part thereof received in response to the RFQ/P, including any statement submitted by the undersigned, or select any one submission over another;
 - e. Accept or reject all or any part of any materials, plans, proposals or statements included in a submission, including, but not limited to, the nature and type of submission.
2. CCDC is governed by state law as provided in Title 50, Chapter 20, and in Title 50, Chapter 29 of the Idaho Code, and other state and federal regulations that may apply, and Respondent acknowledges that the RFQ/P selection process and any assistance in the development of the Site from CCDC must conform to all applicable laws, rules and regulations.
3. CCDC may, in its discretion, conduct public hearings during the RFQ/P selection process that would require disclosure of the Respondent's proposed project and related details to the public and the media.
4. CCDC may accept or reject any proposal or statement and/or information received in response to the RFQ/P, including any proposal, statement, or information submitted by the undersigned, or select one developer over another.
5. Respondent understands that by responding to the RFQ/P, its proposed project may be subject to review and comment by CCDC staff and consultants.
6. Respondent agrees to waive any formalities or defects as to form, procedure, or content with respect to the RFQ/P and any responses by any respondent thereto.

7. Respondent consents to the acquisition of information by CCDC in conjunction with this RFQ/P, and waives all claims, and releases CCDC from any liability in the acquisition of this information and use of this information.
8. Respondent agrees that CCDC staff, officers or board and the City of Boise shall have no liability whatsoever of any kind or character, directly or indirectly, by reason of all or any decisions made at the discretion of CCDC or the City of Boise with respect to the RFQ/P.
9. Non-Liability of CCDC. Respondent agrees that CCDC shall not have any liability whatsoever of any kind or character, directly or indirectly, by reason of all or any decision made at the discretion of CCDC as identified above.
10. Respondent, including all team members, have carefully and thoroughly reviewed the RFQ/P and have found the RFQ/P and all attachments thereto to be complete and free from ambiguities and sufficient for their intended purpose.
11. Respondent participates in the RFQ/P process at its own risk.

By: _____

Its: _____

Date: _____



Source of Funds (Construction and Permanent Financing)

PROJECT NAME: _____

Please complete gray cells only.

Construction Financing

List Individual Sources of Construction Financing

Lender Name or Source of Funds		Amount of Funds	Estimated Interest Rate	Name and Telephone Number of Contact Person	
1					
2					
3					
4					
5					
6					
7					
TOTAL SOURCE OF FUNDS		_____ \$0.00	(Amount must equal all development costs)		

Permanent Financing

(For rental projects only)

For Rental Project - List Permanent Financing for the Development

(Do not include construction financing.)

Lender Name or Source of Funds		Amount of Funds	Estimated Interest Rate	Amortization Period	Loan Term
1					
2					
3					
4					
5					
6					
7	Developer Equity				
TOTAL SOURCE OF FUNDS		_____ \$0.00			

Green Building Certification

To: Capital City Development Corporation (CCDC)

Re: RFQ/P for a Workforce Housing Development,
1715 W. Idaho Street, Boise, Idaho

My signature below legally binds this development known as _____ to meet or exceed the Boise City Green Construction Code, Boise City Code, Title 4, Chapter 7 (the "Code"). Or in the event the Code does not pertain to the construction type, the developer will obtain written confirmation from a Boise City Building Official that the project meets or exceeds the intent of the Code. By my signature below, I acknowledge for myself and the developer / company that this condition is a requirement of submission of the RFQ/P and that it is a condition that must be satisfied in order to receive any benefit of the RFQ/P, including a site write down.

Signature: _____

Print Name: _____

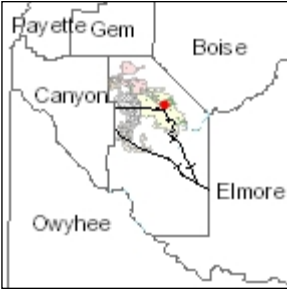
Title: _____

Developer / Company: _____

Date: _____

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.

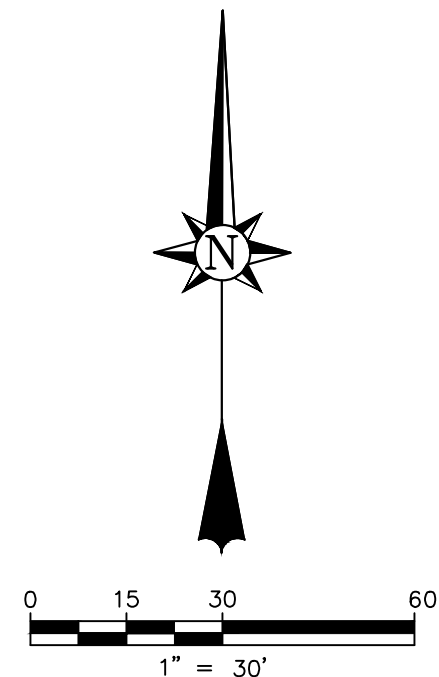


Legend

- Railroad
- Roads (<2,000 scale)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Alley
 - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

TOPOGRAPHIC MAP

FOR CCDC
LOTS 8-10, BLOCK 11, MCCARTHY'S 2ND ADDITION,
BOOK 02 OF PLATS, PAGE 85, ADA COUNTY RECORDS.
LYING WITHIN THE SE 1/4 OF THE SE 1/4 OF SECTION 4, T.3N., R.2E., B.M.
BOISE CITY — COUNTY OF ADA — STATE OF IDAHO



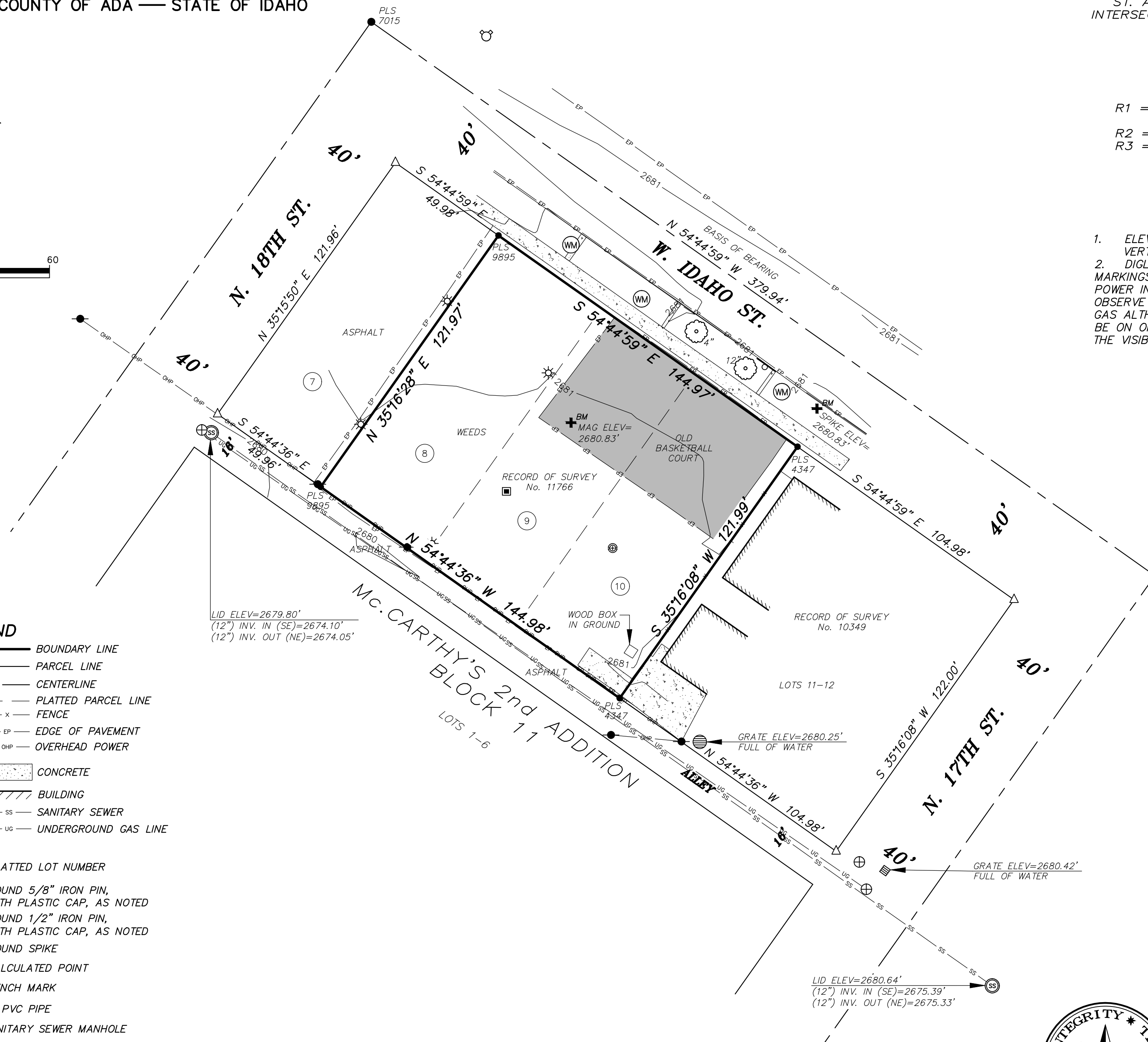
LEGEND	
	BOUNDARY LINE
	PARCEL LINE
	CENTERLINE
	PLATTED PARCEL LINE
	FENCE
	EDGE OF PAVEMENT
	OVERHEAD POWER
	CONCRETE
	BUILDING
	SANITARY SEWER
	UNDERGROUND GAS LINE

	WATER METER		PLATTED LOT NUMBER
	UTILITY POLE		FOUND 5/8" IRON PIN, WITH PLASTIC CAP, AS NOTED
	LIGHT POLE		FOUND 1/2" IRON PIN, WITH PLASTIC CAP, AS NOTED
	SIGN		FOUND SPIKE
	DECIDUOUS TREE		CALCULATED POINT
	FIRE HYDRANT		BENCH MARK
	METAL POST		2" PVC PIPE
	GAS VALVE		SANITARY SEWER MANHOLE
	DROP INLET		

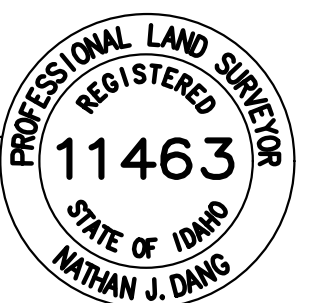
BASIS OF BEARING
N 54°44'59" W BETWEEN FOUND MONUMENT AT
THE INTERSECTION OF N. 17 ST. & W. IDAHO
ST. AND THE FOUND MONUMENT AT THE
INTERSECTION OF N. 18TH ST. & W. IDAHO ST.

REFERENCES
R1 = MCCARTHY'S 2ND ADDITION
BOOK 02 OF PLATS, PAGE 85
R2 = RECORD OF SURVEY No. 11766
R3 = RECORD OF SURVEY No. 10349

MAPPING NOTES
1. ELEVATIONS BASED ON NAVD 88
VERTICAL DATUM.
2. DIGLINE REQUEST #2020211322. WE FOUND
MARKINGS FROM CENTURY LINK AND IDAHO
POWER INDICATING NO UTILITIES. WE DID NOT
OBSERVE ANY MARKINGS FOR WATER, SEWER OR
GAS ALTHOUGH WE PRESUME THESE UTILITIES TO
BE ON OR NEAR THE SITE AND HAVE SHOWN
THE VISIBLE UTILITY STRUCTURES HEREON.



Nathan J. Dang,
P.L.S. 11463



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Boise, Idaho 83702
(208) 488-4227

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JOB NO. 20-187
DRAWN BY: SKR
SHEET: 1 OF 1



Geotechnical Investigation

Odyssey Flats Tibbs Condos

1715 Idaho Street

Boise, Idaho


January 13, 2020

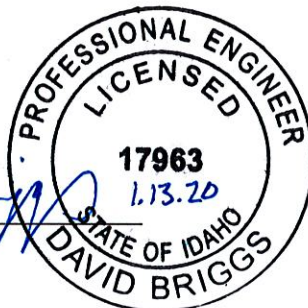


Geotechnical Investigation
Odyssey Flats Tibbs Condos
Boise, Idaho

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Table of Contents

1	INTRODUCTION	1
1.1	Project Description.....	1
1.2	Scope of Work	1
1.3	References.....	2
1.4	Application of This Report	2
2	METHODS OF STUDY.....	3
2.1	General Reconnaissance	3
2.2	Field Explorations.....	3
2.3	Field and Laboratory Testing.....	3
3	INTERPRETATION.....	4
3.1	Geology.....	4
3.2	Flooding	4
3.3	Subsurface Profile.....	4
3.4	Undocumented Fill.....	4
3.5	Groundwater	5
3.6	Site Ground Motion	5
3.7	Corrosion Potential	5
4	RECOMMENDATIONS AND CONCLUSION.....	6
4.1	General Recommendations	6
4.2	Earthwork.....	6
4.2.1	Erosion Potential.....	6
4.2.1	Wet Weather Construction.....	7
4.2.2	Temporary Excavations	7
4.2.3	Subgrade Preparation for Foundations and Slab-On-Grade	7
4.2.4	Lateral Earth Pressure /Temporary Shoring	9
4.2.5	General Fill	9

4.2.6	Structural Fill	10
4.2.7	Backfilling Utilities Trenches	11
4.3	Foundations	11
4.3.1	Spread footings (Excavate and Replace)	11
4.4	Interior Slab-on-Grade	14
4.5	Subsurface infiltration of stormwater and drainage	15
5	CLOSURE.....	17
5.1	Limitations	17
5.2	Review of Plans and Specifications	18

APPENDICES

Appendix A – Figures

- Figure 1 – Vicinity Map
- Figure 2 - Exploration Map
- Figure 3 – Soil Improvements

Appendix B – Boring Logs (B-1, B-2, B-3)

- Laboratory Results
- Soils Classification Chart

Appendix C – Additional Reports

- Soil Map
- Map Unit Description
- Structural Engineers Association (SEA), OSHPD, U.S. Seismic Design Maps

Appendix D – Important Information about this Geotechnical Report

1 INTRODUCTION

1.1 PROJECT DESCRIPTION

ABCO Engineering (ABCO) has performed our geotechnical engineering evaluation for the proposed Odyssey Flats Tibbs Condos project located at 1715 Idaho Street in Boise, Idaho. A vicinity map showing the site location is included as Figure 1, Appendix A.

The project site is currently an undeveloped 18,300 SF lot consisting of three addresses 1715, 1711 and 1709 that will be combined into one lot by others. A northeastern portion of the existing lot is currently covered by 2-inches of asphalt. The remainder of the property is flat undeveloped ground. Historic images provided by Google Earth show the property covered by construction in the past. No details regarding the previous construction were available at the time of this report.

We understand the project will consist of the design and construction of a 3-story slab-on-grade wood framed condominium. The condominium is anticipated to consist of 18 units, an elevated patio on the back and ground level covered parking in the back as well. No structural loading information was available at the time of this report. We understand a seepage bed is proposed to underlie the front green area or northeastern portion of the project. We understand the project does not include below grade construction, retaining walls or water features.

The work performed for this report was authorized on November 21, 2019, by Mark Fledderjohann with Mussell Construction, Inc. and was conducted in accordance with our site investigation proposal dated November 20, 2019.

Loose to medium dense soil conditions and undocumented fill material were both encountered within the upper 4.5 feet of the soil profile within the footprint of the proposed building. Designers and Contractors should review each section of this report carefully to make sure these observed conditions are incorporated into their respective scopes of work. Temporary shoring may be required for footing construction based on recommendations provided in this report.

1.2 SCOPE OF WORK

The purpose of our evaluation was to explore the subsurface soil conditions at the project site and prepare geotechnical recommendations to assist project planning, design and construction. This report was prepared solely for geotechnical purposes and does not address any geo-environmental issues. To accomplish our evaluation, ABCO performed the following services:

- Coordinate access to the site with you and contact Dig Line to clear utilities.
- Subcontract with Haz-Tech Drilling to observe the drilling of 3 borings (B-1, B-2, B-3) to 31.5 feet below existing grade surface (BGS). A field engineer described and classified the subsurface conditions encountered referencing ASTM D 2487, ASTM D 2488, and the Unified Soil Classification System (USCS).
- Collect disturbed split spoon samples. Soil samples were obtained for identification and laboratory testing.
- Measured infiltration rate and installed a temporary 2-inch diameter piezometer in boring B-3 at 14-feet BGS.
- Backfilled borings with spoils from the holes.
- Accomplish laboratory testing to assess characteristics of the soil encountered.

1.3 REFERENCES

The following information was provided to or used by ABCO Engineering and serves as the basis of our understanding of the project site conditions and project scope:

1. Site Plan Prepared by Network Architects dated January 7, 2019
2. Geotechnical Engineering – Foundation Design, John N Cernica, 1995
3. OSHPD Seismic Design Maps, Structural Engineers Association (SEA)
4. National Resource Conservation Services (NRCS). Web Soil Survey, 2017
5. Geotechnical Engineer's Portable Handbook, Second Edition, Robert W. Day, McGraw Hill, 2012

1.4 APPLICATION OF THIS REPORT

Appendix D contains important information relating to the role of ABCO Engineering on this project and the appropriate use of this report.

This report is intended to provide geotechnical information to the project owner and project designers. This report may be provided to the contractor as reference information but is not intended to be a substitute for properly prepared contract drawings and specifications. ABCO Engineering requests the opportunity to review final drawings and specifications for comparison with our understanding of the site conditions and project geotechnical requirements.

2 METHODS OF STUDY

2.1 GENERAL RECONNAISSANCE

ABCO Engineering reviewed the drawing prepared by Network Architects referenced in Section 1.3 to research site, determine boring spacing and identify soils data based on NRCS mapping information.

2.2 FIELD EXPLORATIONS

The subsurface soil conditions were explored by performing 3 soil borings (B-1, B-2, B-3) in the footprint of the proposed building. Borings were advanced to a depth of 31.5 feet BGS. The borings were performed utilizing a CME-75, truck-mounted drill rig using a hollow-stem auger. Soil samples were collected from the borings at selected depths by driving a 1.5 inch inside diameter (I.D.) Standard Penetration Test (SPT) sampler at selected depths with a 140-pound automatic hammer free falling a distance of 30 inches in general conformance with American Society of Testing Materials (ASTM) D1586. Resistance to sampler penetration was noted as the number of blows over each 6 inches on the boring logs.

Each soil sample was classified in general accordance with the Unified Soil Classification System (USCS) presented in ASTM D 2487 and D2488. The approximate location of the soil borings is shown on Figure 2 – Exploration Map in Appendix A. Logs of the subsurface conditions were recorded at the time of the field work by ABCO Engineering and is presented in Appendix B.

2.3 FIELD AND LABORATORY TESTING

Laboratory testing was performed on select samples collected during the field exploration to evaluate physical and engineering characteristics of the site soils. The following laboratory test was used to develop the design geotechnical parameters included in this report:

- Full Gradation with 200 Wash

3 INTERPRETATION

3.1 GEOLOGY

Studies completed by the U.S. Department of Agriculture National Resource Conservation Service (Web Soil Survey), indicate that the underlying soil consists of Urban land. No information regarding existing soil properties is available on the United States Department of Agriculture (USDA) site.

3.2 FLOODING

The likelihood of flooding of the proposed building area is not available on the NRCS site. The proposed construction should be graded to route all storm water away from the proposed construction.

3.3 SUBSURFACE PROFILE

A generalized subsurface profile was developed for this project to provide a basis for discussion of soil conditions for the proposed facilities. This profile is based on the field test data and exploration logs conducted by ABCO Engineering.

Table 1 - Generalized Subsurface Profile*	
Stratum	Generalized Description
I	<u>FILL</u> : POORLY GRADED SAND (SP) with gravel, POORLY GRADED GRAVEL (GP-GC) with sand: Encountered between the surface and 4.5 feet BGS. Consisting of reddish brown, dark brown, black, dark gray, loose to medium dense, (N-Value = 8 to 25 blows per foot (bpf)), moist
II	<u>NATIVE</u> : POORLY GRADED SAND (SP) with gravel: Encountered between 4.5 and 7.0 ft BEG. Consists of light gray, loose, moist. (N-Value= 7 to 9 bpf), moist.
III	POORLY GRADED GRAVEL (GP) with sand: Encountered between 4.5 and 31.5 ft BGS, consisting of reddish brown, light brown to gray, and brown, medium dense to very dense, moist, (N-Value = 15 to 50+ bpf)

*See the logs of exploration (Appendix B) for detailed subsurface information.

3.4 UNDOCUMENTED FILL

Undocumented fill was encountered during this subsurface investigation between the surface and 4.5 feet BGS. Fill classification on site was based on the soil investigation performed. If a more precise classification of on-site fill is needed, we recommend additional field exploration, such

as excavating test pits, be performed with ABCO or the responsible engineer. Please review section 4.2.3 Subgrade Preparation for Buildings and Slab-On-Grade recommendations.

3.5 GROUNDWATER

Groundwater was encountered in borings B-1, B-2, and B-3 between 8 and 10 feet below the existing ground surface (BGS). A 2-inch diameter perforated temporary observation well was installed in boring B-3 to 14 feet BGS. The borings were backfilled at the completion of the excavation with spoils from the borings. It should be noted that groundwater levels may fluctuate seasonally in response to precipitation, land use, irrigation and other factors. We recommend the ground water elevation be monitored to be sure it does not impact proposed foundation design and construction. Groundwater control may be needed during construction if the bottom of excavation is near or below the ground water elevation. Seasonal monitoring of the groundwater fluctuation is beyond the scope of this report.

3.6 SITE GROUND MOTION

This project site is classified as Site Class D, for use with the 2012-2015 International Building Code (IBC). A more detailed report of the specific site ground motion by the Structural Engineers Association (SEA) of California can be found in Appendix C.

3.7 CORROSION POTENTIAL

The NRCS soil survey (Ref 2) did not have any information regarding the potential for soil to corrode concrete and steel. It is recommended that uncoated steel should not be placed directly on the soil.

4 RECOMMENDATIONS AND CONCLUSION

4.1 GENERAL RECOMMENDATIONS

Based on the results of our field investigations, it is our opinion that the site is suitable for the proposed construction provided the recommendations in this report are followed during design and construction. Based on field observations and test results, foundation loads may be applied to the native soils on site. Existing on-site undocumented fill and low bearing native soil should be removed prior to beginning site development. The geotechnical design recommendations presented in this section are derived from borings and laboratory test data across the site.

If any revisions in the nature, design, or location of the proposed construction are made at a later date that significantly alter the present definition of the project, the recommendations within the following sections shall be subject to review by ABCO Engineering and may be modified as deemed necessary. A review of additional information may require the need for additional subsurface exploration, laboratory testing and engineering analysis.

We recommend ABCO or the responsible Geotechnical Engineer be retained to provide construction monitoring to verify the subsurface conditions and that the report recommendations are incorporated into the actual construction. Such observation is an important part of the geotechnical design process and can help reduce the potential for soil engineering or construction related errors or omissions.

4.2 EARTHWORK

4.2.1 Erosion Potential

Land disturbance from construction activities will increase the potential for erosion. Sediment leaving a construction site is considered a pollutant by the Environmental Protection Agency (EPA). The EPA Clean Water Act requires that projects with earth disturbances greater than 1-acre in area prepare a stormwater prevention and pollution plan (SWPPP). Since the approximate earth disturbance across the proposed project site is less than 1-acre, an Erosion Sediment Control Plan (ESCP) will be required and must be prepared and submitted to the City of Boise. The preparation of an ESCP is not included in the scope of this geotechnical work.

4.2.1 Wet Weather Construction

We recommend construction be undertaken during dry weather conditions. If site preparations and grading is undertaken during wet conditions, the on-site soils will be susceptible to pumping or rutting during compaction and may prove to be difficult to work with. Wet weather earthwork should be performed by low-pressure, track-mounted equipment that spread and reduce the vehicle load. Earthwork should not be performed immediately after or until the soil has had the opportunity to dry sufficiently to allow construction traffic. All soft and disturbed soil should be excavated to undisturbed soil and backfilled with engineered fill. Compaction of engineered fill should be sufficiently controlled to avoid pumping of the underlying soil and be performed in accordance with Section 4.2.3 and 4.2.6 of this report. During wet weather, surface water should not be permitted to pond near the top or flow into excavations.

4.2.2 Temporary Excavations

Safety at the construction site is the sole responsibility of the Contractor, who selects and directs the means, methods and sequencing of the construction operations. The Contractor will need to evaluate and select appropriate construction methods and procedures that comply with the applicable local, state and federal safety regulations (including the current OSHA Excavation and Trench Safety Standards) for any temporary site excavations. The soils observed in the investigation primarily consisted of sand, silts and clays and best classify as type B and must be sloped no steeper than 1H:1V. If side slopes of excavations are steeper than OSHA criteria, they will require trench boxes or some other type of lateral support and protection.

4.2.3 Subgrade Preparation for Foundations and Slab-On-Grade

Preparation of subgrade soil for foundation placement and slab-on-grade floors should first include removal of on-site topsoil and existing undocumented fill. Our soil investigation encountered undocumented fill to approximately 4.5 feet BGS.

Temporary shoring may be required to accommodate subgrade preparation or foundation construction due to the proximity of the proposed building to the adjacent existing structures and property lines. The Contractor should be responsible for the construction means and methods including the design and construction of temporary shoring. Recommended soil parameters for temporary shoring are provided in section 4.2.4 of this report.

ABCO recommends undocumented fill and low bearing native soil, in the building footprint, be excavated out and replaced with soil improvements consisting of compacted structural fill as shown in Figure 3 in the Appendix A. Improved soil spread footings may be proportioned to bear

on native poorly graded sand (SP) with gravel with N-values on the order of 7 bpf or better encountered encountered at approximately 4.5 feet BGS. If allowable soil bearing pressures are not sufficient for the proposed structural design, footings may be prepared to bear on poorly graded gravel (GP) with sand with N-values on the order of 17 bpf or better encountered at approximately 7.0 feet BGS. Soil meeting requirements set in this report are suitable for the proposed foundations and may be utilized provided the following recommendations are followed:

1. Excavate to required footing subgrade elevation ensuring all Stratum I undocumented fill and low bearing soil below proposed footings is removed.
2. Provide compaction effort on the footing subgrade soil using a jumping jack, plate compactor, or equivalent. Any cobbles or boulders (3-inches or greater) not allowing for a smooth compaction surface should be removed and replaced with approved Structural Fill.
3. If any pumping or instability is observed during compaction and probing, over-excavate the disturbed subgrade and replace with granular structural fill as discussed in Section 4.2.6.
4. Place and compact structural fill as necessary to achieve final grades in accordance with the *Structural Fill* section of this report.
5. A separation distance of 12 inches or greater should be maintained between the subgrade elevation and top of groundwater.

The following should be performed for preparation of slab-on-grade:

1. Excavate and remove existing undocumented fill in the footprint of the slab-on-grade to 4.5 feet BGS to firm native subgrade.
2. Proof-roll the exposed compacted native subgrade soil with a minimum of 5 passes of a minimum 5-ton smooth drum or sheepsfoot roller. Any cobbles or boulders (3-inches or greater) not allowing for a smooth proof-rolling surface should be removed and replaced with approved Structural Fill.
3. If any pumping or instability is observed during proof-rolling, over-excavate the disturbed subgrade and replace with granular structural fill as discussed in Section 4.2.6.
4. Backfill to grade with structural fill according to Section 4.2.6

All building and slab-on-grade areas should be stripped of vegetation prior to construction. The finish surface of all buildings and slab-on-grade areas should be graded adequately to drain towards storm water conveyance or disposal facilities. Vegetation and topsoil may be stockpiled on the site and used as topsoil. Do not use stripped soil as general or structural fill.

4.2.4 Lateral Earth Pressure /Temporary Shoring

Backfill material for temporary shoring should be clean granular material. The soil parameters provided in Table 2 are recommended for temporary shoring for the soils encountered at the site.

Table 2 – Lateral Earth Pressures (non-submerged conditions)

Lateral Earth Pressure Case	Equivalent Fluid Pressure (EFP)
At Rest (K_0)	57 psf/ft of depth
Active (K_a)	40 psf/ft of depth
Passive (K_p)	250 psf/ft of depth

Assumed moist unit weight of in situ soil (γ): 100 pcf
Assumed angle of internal friction for in situ soil (ϕ): 25°

The earth pressure values provided in Table 2 are ultimate values and the designer should apply appropriate reduction factors for design. The lateral earth pressure values provided in Table 2 are for properly drained backfill and do not include hydrostatic pressures that can develop if groundwater or surface water is trapped behind a structure.

Over compaction behind the shoring should be avoided, as increased compaction effort can result in lateral pressures higher than those provided in this report. Heavy compaction equipment or other construction loads should not be allowed within 4 feet of the retaining walls. Hand operated, or lightweight compaction equipment should be utilized for compacting retaining wall backfill in these areas.

4.2.5 General Fill

Fill placed outside of slab-on-grades, footings and hardscapes should meet the requirements for general fill. General fill used for site grading may be obtained from approved borrow sources. General fill shall classify according to ASTM D2487 as GW, GP, GC, GM, SW, SP, SC, SM, ML (or combinations of these such as SP-SM) materials. In addition, the general fill material shall have a maximum particle size less than 4 inches and shall be free of excess moisture, organic matter and debris.

Materials that are frozen, contaminated, contain excess moisture, organic matter (such as strippings or roots), trash, debris, stones larger than 4 inches, or that classify by ASTM D2487 as

CH, MH, PT, OL, and OH are not suitable for general fill. After the removal of all vegetation and prior to any placement of general fill, the exposed subgrade should be uniformly scarified to a minimum depth of 10 inches, moisture-conditioned as necessary, and compacted to a minimum of 97 percent of the maximum dry density in accordance with ASTM D 698.

After site preparation is completed, general fill should be placed in 8-inch maximum loose horizontal lifts and compacted to at least 97 percent of the maximum dry density as determined by the ASTM D 698 – Standard Proctor compaction test. Each lift should be documented for density and moisture.

4.2.6 Structural Fill

Fill placed below the bottom of slab-on-grade floors, footings, hardscapes should meet the requirements for structural fill. Some soils encountered on the site that tested as loose appeared to meet the requirements for structural fill described below. Structural backfill materials may be onsite or can be obtained from approved borrow sources and should consist of clean, hard, granular material conforming to the following:

<u>Sieve Size</u>	<u>Percent Passing</u>
4-inch	100
No. 4	70-90
No. 200	5-15

Liquid Limit less than 30%.
Plasticity Index less than 12.
Maximum Moist Unit Weight 125 lbs per cubic foot

Materials that are frozen, contaminated, contain excess moisture, organic matter (such as shavings or roots), trash, debris, stones larger than 4 inches are not suitable for structural backfill. If the existing materials contain oversize particles, trash, organics, or other deleterious materials, those materials shall be removed by screening prior to placement as structural fill.

After excavating to native soils, compact any of the native materials disturbed prior to placement of fill. After site preparation is completed, structural fill should be placed in 10-inch maximum loose horizontal lifts and compacted to at least 97 percent of the maximum dry density as determined by the ASTM D698 – Standard Proctor compaction test. Each lift should be documented for density and moisture.

4.2.7 Backfilling Utilities Trenches

Non-organic materials obtained from required project excavations may be used to backfill utilities trenches. Backfill should be placed in uniform horizontal layers not exceeding 10 inches in loose thickness.

In structural areas including roadways and buildings, each layer of the utility trench backfill should be compacted to at least 97 percent of the maximum laboratory dry density as determined by ASTM D698. In non-structural areas, each layer should be compacted to at least 92 percent of the maximum laboratory dry density as determined by ASTM D 698. Jetting or flooding of the backfill material in utility trenches should not be permitted.

4.3 FOUNDATIONS

ABCO should be present prior placement of structural fill or concrete on prepared subgrade to verify the subgrade is prepared according to the recommendations presented in this report. Foundation concrete placement should never be attempted following a significant rain or snow event and the subgrade should never be allowed to freeze prior to concrete placement.

Water standing in foundation excavations must be removed prior to concrete placement. The condition of the subgrade and careful construction procedures are critical to foundation and slab stability and long-term performance of the structure. Based on the results of the subsurface investigation, spread footings may be placed on the native subgrade soils.

We understand that all structural foundations on site will consist of rectangular or square spread footings, or continuous strip footings.

4.3.1 Spread footings (Excavate and Replace)

We recommend that spread footings be proportioned in general accordance with Figure 4 Allowable Bearing Capacity vs Effective Footing Width at 4.5 ft BGS.

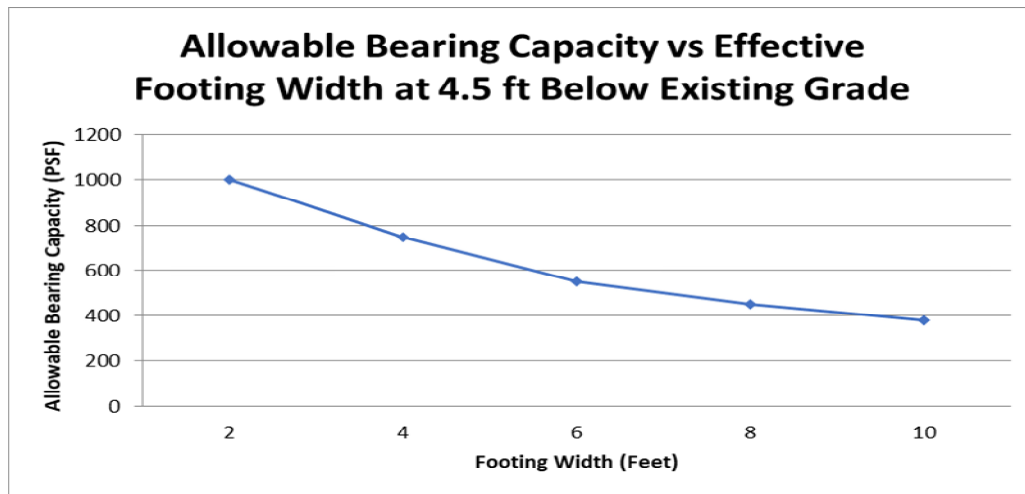


Figure 4 – Allowable Bearing Capacity at Approximately 4.5 feet BGS

If the bearing capacities provided in Figure 4 do not provide sufficient bearing capacity, we recommend the contractor place footings on properly prepared poorly graded gravel (GP) at approximately 7.0 feet BGS. Figure 5 provides allowable bearing capacities vs effective footing widths at 7.0 ft BGS.

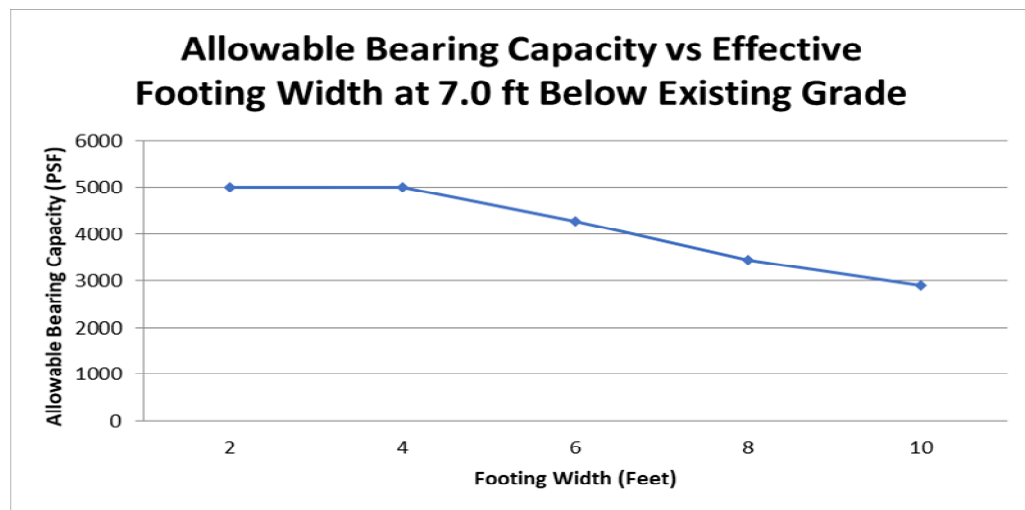


Figure 5 – Allowable Bearing Capacity at Approximately 7.0 feet BGS

The bearing capacity recommendations provided in Figures 4 and 5 are only valid if the recommendations in this report are followed. Spread footing foundations should be prepared according to the following.

- Footings have a maximum width of 10 feet.

- All footings should bear on scarified, moisture conditioned, and compacted native soil as discussed in section 4.2.3 or better, or structural fill compacted as described in Section 4.2.6.
- The bottom of spread footings are placed at least 2 feet below the finished grades for frost protection.
- The native subgrade material of the foundation excavations are observed and probed by ABCO or the responsible geotechnical engineer prior to placement of any structural backfill. If upon inspection, the bottom of excavation appears excessively soft and potentially unstable for subsequent placement of structural backfill, then additional over-excavation may be required as directed by the geotechnical engineer.
- Structural fill placed as described in Section 4.2.6 of this report.
- Any loose or frozen soil or standing water at the base of footing excavations should be removed and replaced with structural fill.
- All structural fill placed beneath footings should extend a minimum of 1-foot horizontally for each 2 feet of thickness placed beneath the footing. The horizontal dimension is measured from the edge of footing.
- Concrete placed on native soil or structural fill can utilize a friction coefficient of 0.4 to resist lateral loads. This coefficient must be reduced by 1/3 if concrete is not cast directly on soil, such as for pre-cast panels.

Spread footings designed in accordance with these criteria would be expected to experience maximum post construction settlement of 1 inch or less, with differential settlements of ½ of 1 inch or less. A one-third increase of the net allowable bearing pressure may be used for transient wind or seismic loads. The recommended allowable bearing capacity charts (Figures 4 and 5) provided should be verified or amended once details of the proposed construction are available. Soil in the area of boring B-3 may be able to support higher loads at a more shallow elevation, possibly resulting in a construction savings. ABCO, or the responsible geotechnical engineer, should be on site during foundation preparation and to evaluate if the foundation subgrade in the area of boring B-3 may be modified.

A greater allowable bearing capacity may be utilized by extending spread footings deeper or utilizing a deep foundation option. Analysis for deep foundations was not included as part of this geotechnical report.

4.4 INTERIOR SLAB-ON-GRADE

Slab-on-grade floors may be used at the site. Prior to constructing slab-on-grade floors, the subgrade must be properly prepared. First, organic topsoil, vegetation, or loose fill material must be stripped from the building area and subgrades must be prepared according to Section 4.2.3 of this report. A modulus of subgrade reaction of 150 pci can be assumed for design purposes for slab floors placed over properly prepared floor slab areas supported on firm native soils or properly compacted structural fill.

If the interior floors will be covered with moisture sensitive floor coverings, a vapor barrier should be used. Minimum sections for slab-on-grade floors with moisture sensitive floor coverings are shown in the table below. If moisture sensitive floor coverings are not used, omit the blotter, vapor retarder and the choker. The sections shown in Table 2 are minimum recommended thicknesses.

Table 3 -Interior Slabs-on-Grade with Moisture Sensitive Floor Covering	
Layer	Minimum Thickness (inches)
Concrete with Reinforcement	Computed by Structural Engineer
Blotter	3-1/2
Vapor Retarder	----
Choker	1/2
Granular Base	8
Compacted Subgrade	8

- The purpose of the blotter layer is to absorb excess moisture from the concrete to permit the earliest placement of impermeable floor coatings (urethane, epoxy, or acrylic terrazzo) or floor-covering adhesive. Blotter should be a well-graded 3/8-inch-minus granular material. Blotter should be lightly moist and compacted with two passes of a vibratory plate or vibratory roller. The blotter layer should not be allowed to become saturated prior to placement of the concrete slab.

- Vapor retarder should meet the requirements of a Class A vapor retarder according to ASTM E 1745. The vapor retarder should be sealed to the foundations, at seams and pipe penetrations with sealant tape according to the manufacturer's recommendations.
- Choker should be a clean sand material. The choker layer minimizes puncturing of the vapor retarder by the granular base material.
- Granular base should be placed as a leveling course over the subgrade. The granular base should be compacted to at least 97 percent of the maximum dry density as determined by ASTM D698.
- Compacted subgrade in the building construction area should be prepared as described in Section 4.2.3 of this report.

The concrete should not be placed directly on the vapor retarder. Some buildings are constructed by placing the slab floors directly on the vapor retarder. This has some advantages but also increases several risks due to drying shrinkage, settling and increased slab curl. We recommend reviewing the American Concrete Institute report ACI 302.1R-1 and evaluate the procedures recommended and associated risks prior to changing the design recommendations with respect to use of a blotter layer.

Special precautions should be taken during the placement and curing of all concrete slabs. Excessive slump caused by a high water-cement ratio of the concrete and/or improper curing procedures used during either hot or cold weather could lead to excessive shrinkage, cracking or curling in the slabs. We recommend that all concrete placement and curing operations be performed in accordance with the American Concrete Institute (ACI) Manual and under the observation of International Conference of Building Officials (ICBO) certified technicians. To reduce the effects of differential movement, it is recommended that floor slabs be separated from all bearing walls and columns with expansion joints. We anticipate concrete slabs will be lightly loaded. The concrete strength, slab thickness, reinforcement, joint design, and joint layout should be addressed in the contract documents.

4.5 SUBSURFACE INFILTRATION OF STORMWATER AND DRAINAGE

ABCO understands that subsurface infiltration of stormwater will take place on site. ABCO performed infiltration tests in boring B-2 and B-3 within the native poorly graded gravel (Stratum III) material encountered at approximately 4.5 to 7 feet BGS. An infiltration rate greater

Geotechnical Engineering Evaluation
Odyssey Flats Tibbs Condos
Boise, Idaho
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File No. 191526

than 8-inches per hour (in/hr) was measured. We recommend using an infiltration rate of 8 in/hr for design purposes in Stratum III material.

5 CLOSURE

5.1 LIMITATIONS

Recommendations contained in this report are based on our field explorations, laboratory tests, and our understanding of the proposed construction. The study was performed using a mutually agreed upon scope of work. It is our opinion that this study was a cost-effective method to evaluate the subject site and evaluate some of the potential geotechnical concerns. More detailed, focused, and/or thorough investigations can be conducted. Further studies will tend to increase the level of assurance; however, such efforts will result in increased costs. If the Client wishes to reduce the uncertainties beyond the level associated with this study, ABCO Engineering should be contacted for additional consultation.

The soils data used in the preparation of this report were obtained from the field explorations made for this investigation. It is possible that variations in soils exist between the points explored. The nature and extent of soil variations may not be evident until construction occurs. If any soil conditions are encountered at this site that differ from those described in this report, our firm should be immediately notified so that we may make any necessary revisions to our recommendations. In addition, if the scope of the proposed project development changes from the project description given in this report, our firm should be notified.

The recommendations made in this report are based on the assumption that an adequate program of testing, observation, and engineering consultation will be made during construction to verify compliance with the report findings and recommendations. This should include, but not necessarily be limited to, observations and testing described within this report, and engineering consultation as may be required during construction. These observation and testing items are critical with regards to the conclusions and recommendations provided in this report. If these items are not adequately performed during construction, then the Client agrees to assume ABCO Engineering's responsibility for any potential claims that may arise during or after construction. Critical observations and testing include the following:

- stripping of existing vegetation;
- approval of building foundation excavations by our geotechnical engineer;
- proper preparation of improved soil under building foundations;
- approval of excavations for infiltration facilities by our geotechnical engineer.

The report has been prepared for specific application to this project in accordance with the generally accepted standards of practice at the time the report was written. No warranty, express or implied, is made.

This report may be used only by the Client and for the purposes stated, within a reasonable time from its issuance. Land use, site conditions (both on- and off-site), or other factors including advances in man's understanding of applied science may change over time and could materially affect our findings. Therefore, this report should not be relied upon after 24 months from its issue. ABCO Engineering should be notified if the project is delayed by more than 24 months from the date of this report so that a review of site conditions can be made, and recommendations revised, if appropriate.

It is the CLIENT'S responsibility to see that all parties to the project, including the designer, contractor, subcontractors, etc., are made aware of this report in its entirety. The use of information contained in this report for bidding purposes should be done at the Contractor's option and risk. Any party other than the Client who wishes to use this report shall notify ABCO Engineering of such intended use by executing the "Application for Authorization to Use" which follows this document as an appendix. Based on the intended use of the report, ABCO Engineering may require that additional work be performed and that an updated report be issued. Non-compliance with any of these requirements by the Client or anyone else will release ABCO Engineering from any liability resulting from the use of this report by any unauthorized party.

5.2 REVIEW OF PLANS AND SPECIFICATIONS

ABCO requests the opportunity to review the final plans and specifications for this project to determine if the final design complies with this report prior to submittal to review agencies.

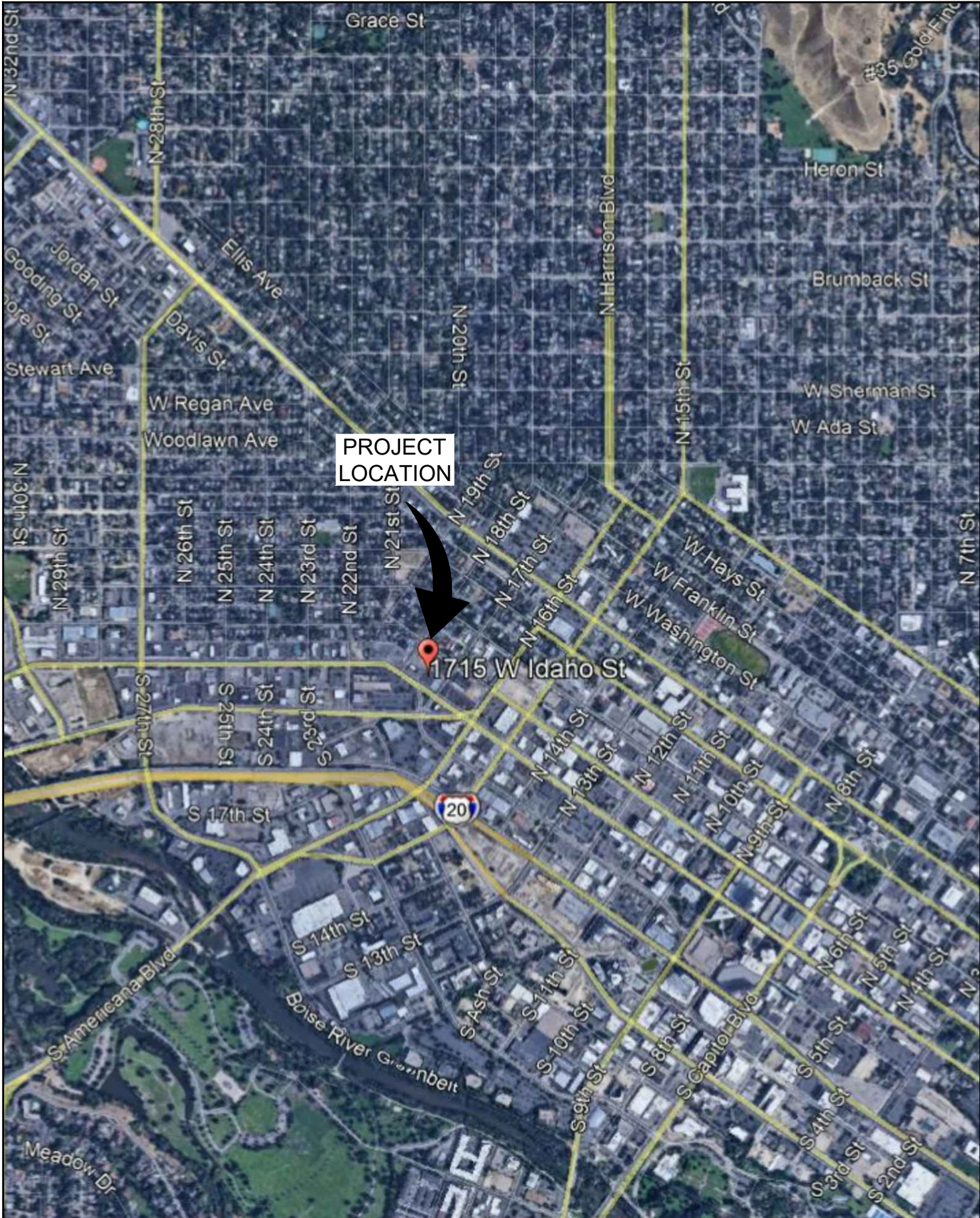
Geotechnical Engineering Evaluation
Odyssey Flats Tibbs Condos
Boise, Idaho
January 13, 2020
File No. 191526

APPENDIX A

FIGURE 1 – VICINITY MAP

FIGURE 2 - EXPLORATION MAP

FIGURE 3 – SOIL IMPROVEMENTS



VICINITY MAP
 ODYSSEY FLATS TIBBS CONDOS
 1715 IDAHO STREET
 ADA COUNTY BOISE, ID
 MUSSELL CONSTRUCTION, INC.

File Number: 191526

Sheet Number:

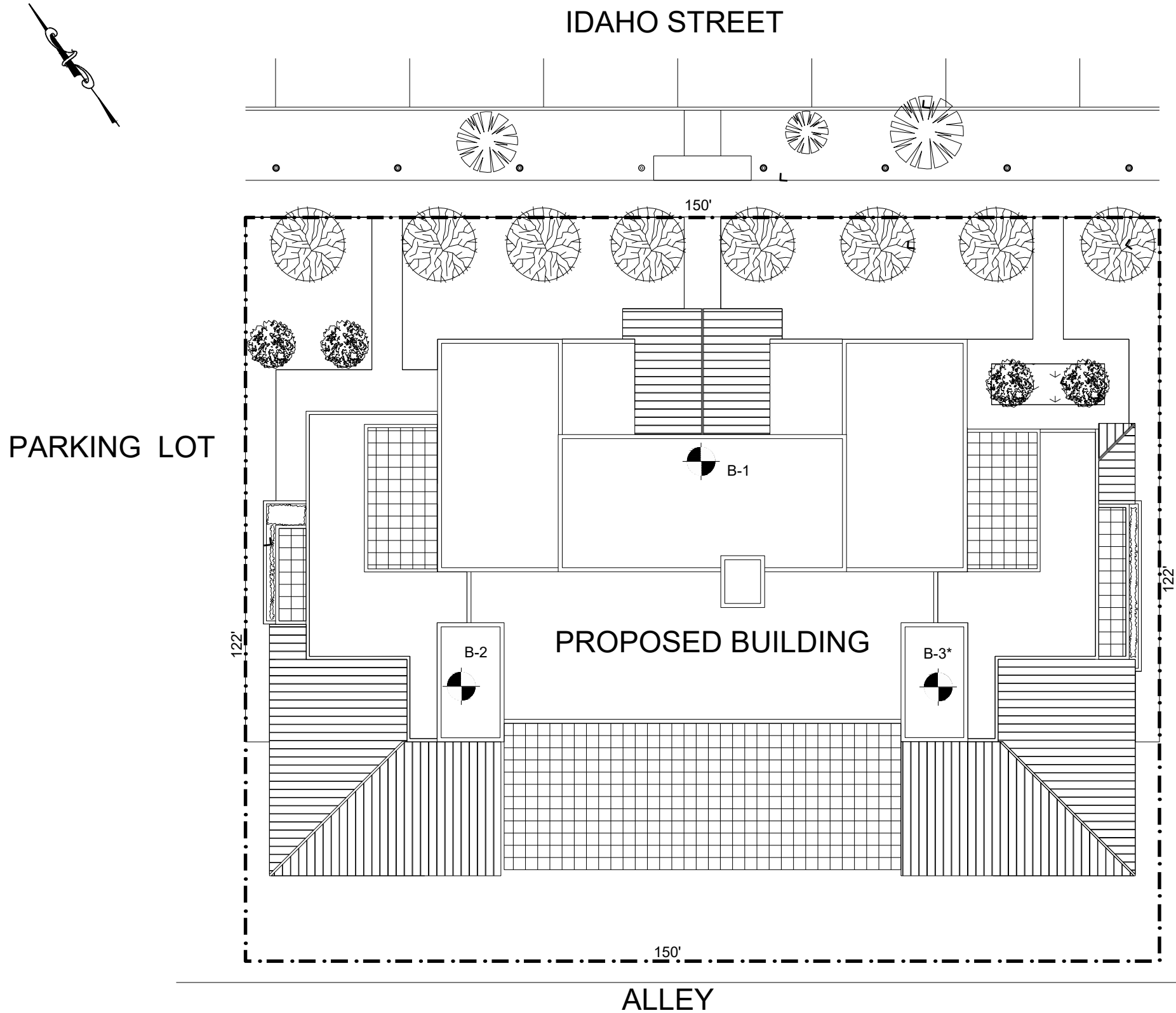
Designed By: D. BRIGGS

Drawn By: D. BRIGGS

Date: DECEMBER 2019

FIGURE 1

PLOTTED BY: DAVID BRIGGS DATE PLOTTED: 12/30/2019 11:28:09 AM PATH: A:\ABCO ENGINEERING\JOBS LANDED\191526--ODYSSEY FLAT'S TIBBS CONDOS (MUSSELL CONSTRUCTION)\GEO\TECHNICAL REPORT\CAD\191526 - 99 - EXPLORATION MAP.DWG



CALL BEFORE YOU DIG!

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.
2. CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EARTH DISTURBING ACTIVITIES ON SITE, AND REQUEST LOCATE OF UNDERGROUND UTILITIES.



*The 811 logo is a registered trademark of the CGA.

LEGEND

APPROXIMATE SPT SOIL BORING LOCATIONS

B-3*



MONITORING WELL
INSTALLED



119 N. Midland Blvd.
Nampa, Idaho 83651
Phone (208) 955-8126

EXPLORATION MAP
ODYSSEY FLATS TIBBS CONDOS
1715 IDAHO STREET
ADA COUNTY
BOISE, ID
MUSSELL CONSTRUCTION INC.

REVISIONS	DESCRIPTION	
	NO.	DATE

FILE NUMBER:
191526

DESIGNED BY:
DAVID BRIGGS
DRAWN BY:
D. BRIGGS
DATE
December 2019

SHEET NUMBER:

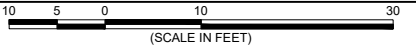
FIGURE 2

2 OF 2

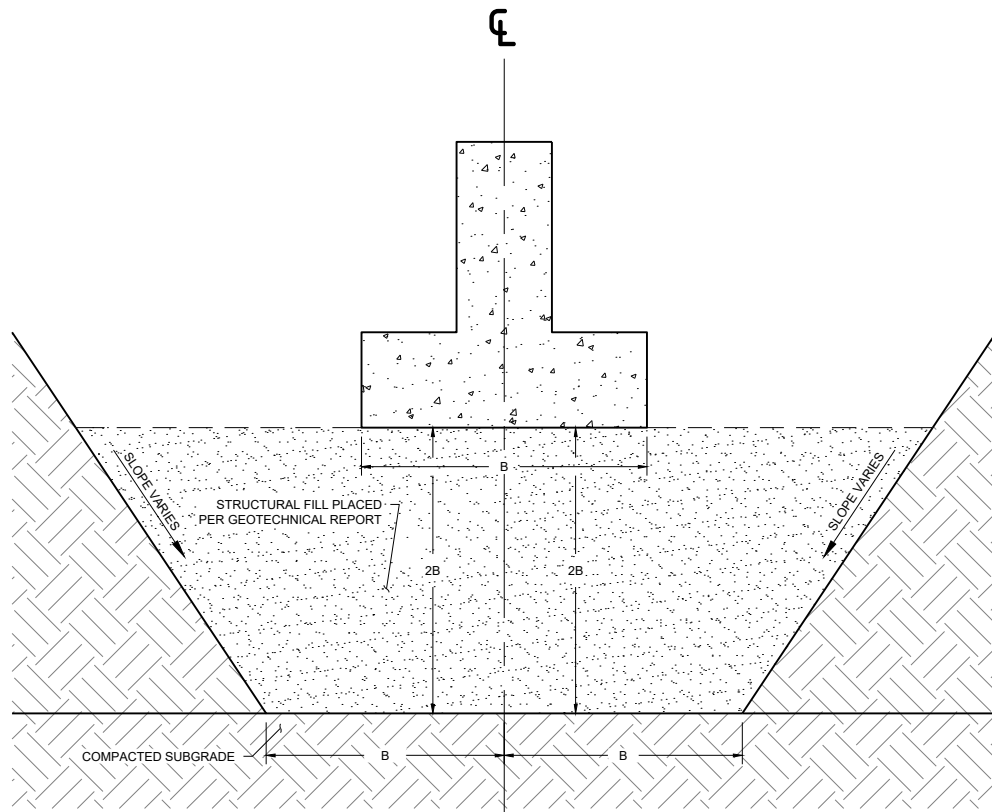
EXPLORATION MAP

1:10 (22x34 FULL SIZE)

Drawing modified from Network Architects Composite Design #1 dated 1.7.19



PLOTTED BY: DAVID BRIGGS DATE PLOTTED: 4/15/2019 11:46:24 AM PATH: 18-4657 - FIGURE 3 - OVER EXCAVATED DETAIL.DWG



SOIL IMPROVEMENT DETAIL

NTS



SOIL IMPROVEMENT DETAIL

File Number:

Designed By: A. LYMAN

Drawn By: T SIGMAN

Date: JANUARY 2019

Sheet Number:

FIGURE 3

Geotechnical Engineering Evaluation
Odyssey Flats Tibbs Condos
Boise, Idaho
January 13, 2020
File No. 191526

APPENDIX B

BORING LOGS (B-1, B-2, B-3)
LABORATORY RESULTS
SOILS CLASSIFICATION CHART

Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-1
Water: 9.5 FT
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLIT SPN
Sheet: 1 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
				ASPHALT	2-inches (0.17 feet)
1	SS	4		FILL: POORLY GRADED SAND (SP) with gravel, About 60% medium coarse grained sand, about 40% gravel, reddish brown, loose, moist	Decomposed granite fragments
		4			
		5			
2					
3	SS	4			
	Rec: 8"	4			
		4			
4					
5					
6	SS	4		NATIVE: POORLY GRADED SAND (SP) with gravel, 88% fine to coarse sand, 7% gravel, 5% fines, light gray, loose, moist.	
	Rec: 11"	3			
		4			
7					
8	SS	8		POORLY GRADED GRAVEL (GP) with sand, about 90% gravel, about 10% medium coarse sand, reddish brown, medium dense, moist to saturated.	
	Rec: 6"	6			
		11			
9					
10					
11	SS	8			
	Rec: 6"	8			
		7			
12					
13					
14					
15					
16	SS	18		POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light gray to light brown, dense to very dense, moist to saturated.	Sand heave. Water added when augers at 15 feet and each time before pulling center rods.
	Rec: 11"	18			
		17			
17					
18					
19					
20	SS	11-17-19			
	Rec: 9"				


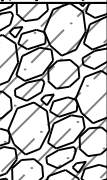

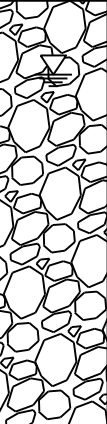
Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-1
Water: 9.5 FEET
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLIT SPN
Sheet: 2 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
21	SS Rec: 9"	11 17 19		POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light gray to light brown, dense to very dense, moist to saturated.	
22					
23					
24					
25					
26	SS Rec: 14"	13 19 25			
27					
28					
29					
30					
31	SS Rec: 10"	44 50/5.5"		Boring Terminated at 31.5 feet	
32					
33					
34					
35					
36					
37					
38					
39					
40					

Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-2
Water: 8.0 FT
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLT SPN
Sheet: 1 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
1	SS Rec: 12"	6 9 7		FILL: POORLY GRADED SAND (SP) with gravel, About 55% medium coarse grained sand, about 45% gravel, dark brown, medium dense, moist	Roots
2					
3	SS Rec: 5"	5 7 5		FILL: POORLY GRADED GRAVEL (GP-GC) with sand and clay, About 55% gravel, about 38% medium coarse grained sand, about 7% low plasticity clay, black, medium dense, moist	
4					
5					
6	SS Rec: 5"	4 4 5		NATIVE: POORLY GRADED SAND (SP) with gravel, about 85% fine to coarse sand, about 10% gravel, about 5% fines, light gray, loose, moist.	
7					
8	SS Rec: 12"	16 31 41		POORLY GRADED GRAVEL (GP) with sand, about 90% gravel, about 10% medium coarse sand, light brown, dense, moist to saturated.	Infiltration test performed through auger at 7 feet. Infiltration rate > 8 in/hr.
9					
10					
11	SS Rec: 5"	18 20 18			
12					
13					
14					
15					
16	SS Rec: 14"	12 20 20		POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light brown to light gray, dense, moist to saturated.	Sand heave. Water added when augers at 15 feet and each time before pulling center rods.
17					
18					
19					
20	SS Rec: 10"	13-20-26			

Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-2
Water: 8.0 FEET
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLIT SPN
Sheet: 2 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
21	SS Rec: 10"	13 20 26		POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light brown to light gray, dense, moist to saturated.	
22					
23					
24					
25					
26	SS Rec: 10"	10 17 49			
27					
28					
29					
30					
31	SS Rec: 16"	32 40 32			
32				Boring Terminated at 31.5 feet	
33					
34					
35					
36					
37					
38					
39					
40					

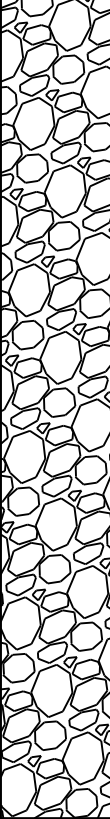
Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-3
Water: 10.0 FT
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLT SPN
Sheet: 1 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
1	SS Rec: 14"	3 7 7		FILL: POORLY GRADED SAND (SP), About 95% fine to medium coarse grained sand, reddish brown to dark gray, medium dense, moist	Roots, rock fragments, slight organic odor, trace gravel
2					
3	SS Rec: 8"	7 10 15			
4					
5	SS Rec: 6"	9 17 23		NATIVE: POORLY GRADED GRAVEL (GP) with sand, about 90% gravel, about 10% medium coarse sand, light brown, dense, moist to saturated.	Granite Fragments 2-inch diameter temporary PVC pipe installed at 14 ft. Infiltration test performed through PVC pipe. Observed approx. 1 in/sec infiltration.
6					
7					
8	SS Rec: 5"	28 30 13			
9				POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light brown to gray, dense, moist to saturated.	Sand heave. Water added when augers at 15 feet and each time before pulling center rods.
10	SS Rec: 7"	17 50/5.5"			
11					
12					
13					
14					
15	SS Rec: 14"	20 15 16			
16					
17					
18					
19					
20	SS Rec: 14"	23-16-14			

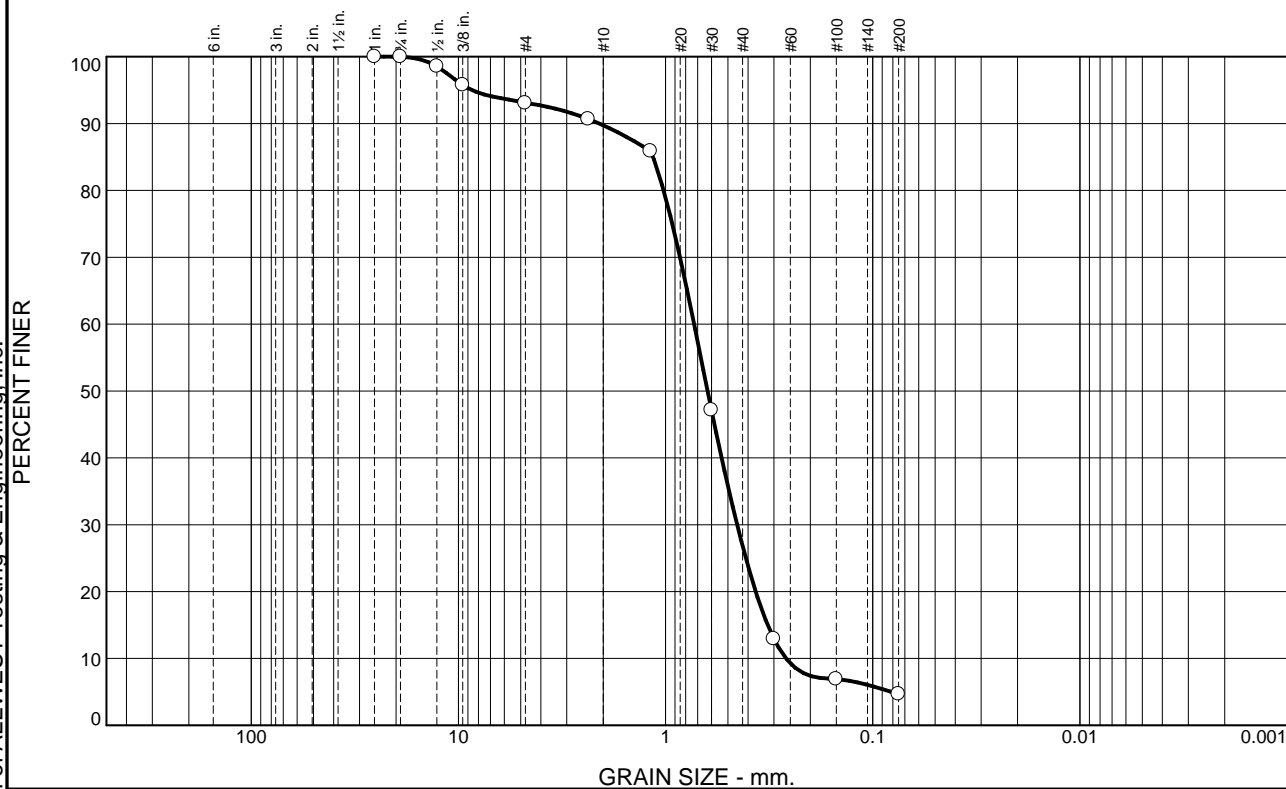
Project: ODYSSEY FLATS
Project No: 191526
Location: 1715 IDAHO STREET
Logged on: 12/5/2019
Logged by: DHB

Boring #: B-3
Water: 10.0 FEET
Driller Info: HAZ-TECH DRILLING; CME-75
Equipment: 4" in.- 8" out. DIA. HOLLOW AUGER; 1.5" SPLIT SPN
Sheet: 2 of 2

DEPTH (ft)	SAMPLE TYPE.	NO. BLOWS	SYMBOL	DESCRIPTION	COMMENTS
21	SS Rec: 14"	23 16 14		POORLY GRADED GRAVEL (GP) with sand, about 70% gravel, about 30% medium coarse sand, light brown to light gray, dense to very dense, moist to saturated.	
22					
23					
24					
25					
26	SS Rec: 13"	9 21 21			
27					
28					
29					
30					
31	SS Rec: 15"	14 32 39			
32				Boring Terminated at 31.5 feet	
33					
34					
35					
36					
37					
38					
39					
40					

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Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0	0	7	3	63	22	5	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1"	100		
3/4"	100		
1/2"	99		
3/8"	96		
#4	93		
#8	91		
#16	86		
#30	47		
#50	13		
#100	7		
#200	4.7		

* (no specification provided)

Material Description

Poorly Graded Sand

Atterberg Limits

PL= --

LL= --

PI= --

Coefficients

D₉₀= 2.0899

D₈₅= 1.1508

D₆₀= 0.7285

D₅₀= 0.6269

D₃₀= 0.4516

D₁₅= 0.3215

D₁₀= 0.2620

C_u= 2.78

C_c= 1.07

Classification

USCS= SP

AASHTO= --

Remarks

Sample delivered on 12/13/19 by D. Briggs
Odyssey Flats - ABCO Project No. 191526
1715 Idaho Street

Location: B-1

Sample Number: S519-938

Depth: 5-6.5'

Date: 12/16/19

**ALLWEST
TESTING & ENGINEERING**
Meridian, Idaho

Client: ABCO Engineering
Project: ABCO Engineering 2019 Misc. Testing

Project No: 519-047

Figure

Tested By: C. Downes

Checked By: J. Varozza

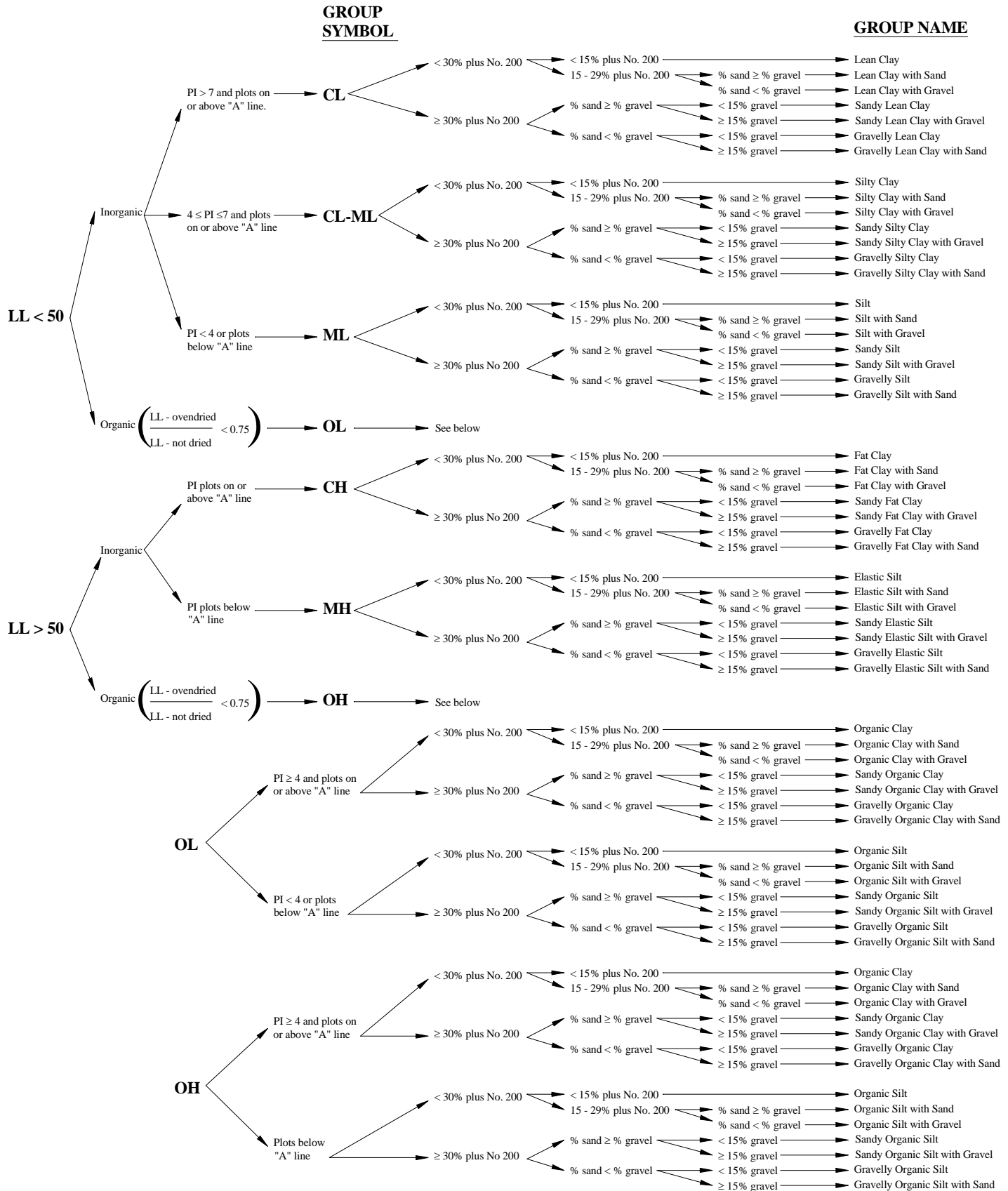
General Legend and Notes for Logs of Exploration

<u>SYMBOL</u>	<u>DESCRIPTION</u>
BG	Small-volume bag sample
BK	Large-volume bulk sample
SS	Standard split-spoon sample (reference ASTM D 1586)
RS	Oversized split-spoon sample with an outside diameter of 3 inches. 6 inch rings inserted in the sampler. Blow counts are not corrected to N-Values unless noted separately on the logs
ST	Thin-walled (Shelby) tube sample with an inside diameter of 2.88 inches unless otherwise noted on the logs (reference ASTM D 1587)
PT	Piston tube sample with an inside tube diameter of 2.88 inches unless otherwise noted on the logs (reference ASTM D 1587)
RS	Ring sample with an inside diameter of 2.42 inches unless otherwise noted on the logs (reference ASTM D 3550)
CR	Core barrel sample (reference ASTM D 2113)
ω	Water content
LL	Liquid Limit
PL	Plastic Limit
PI	Plasticity Index
∇	Indicates the measured groundwater level
PP	Pocket Penetrometer (tsf)
MC	Moisture Content

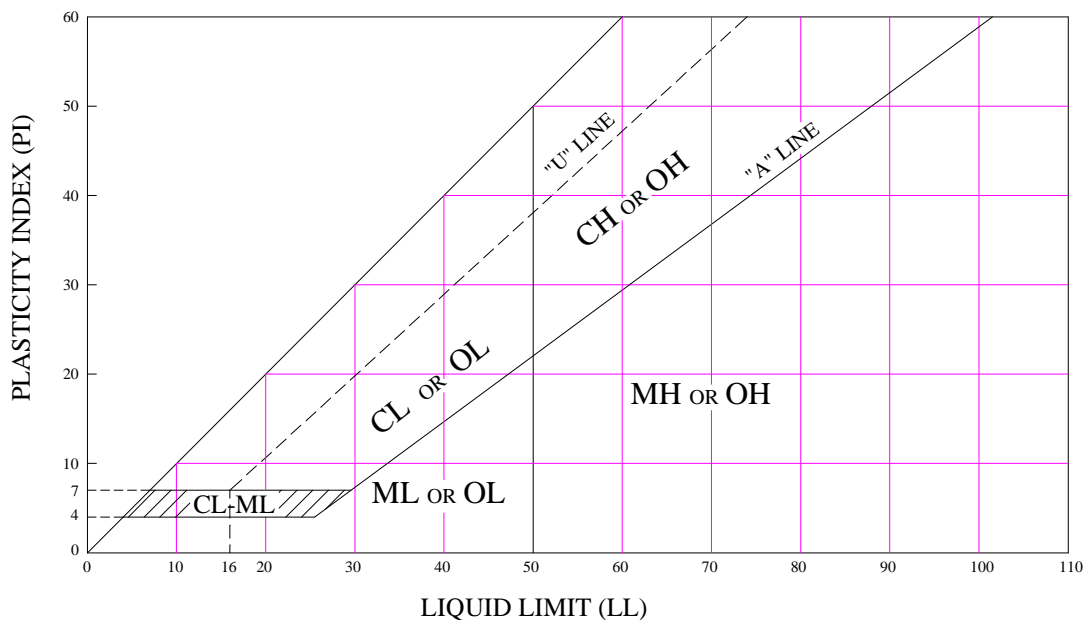
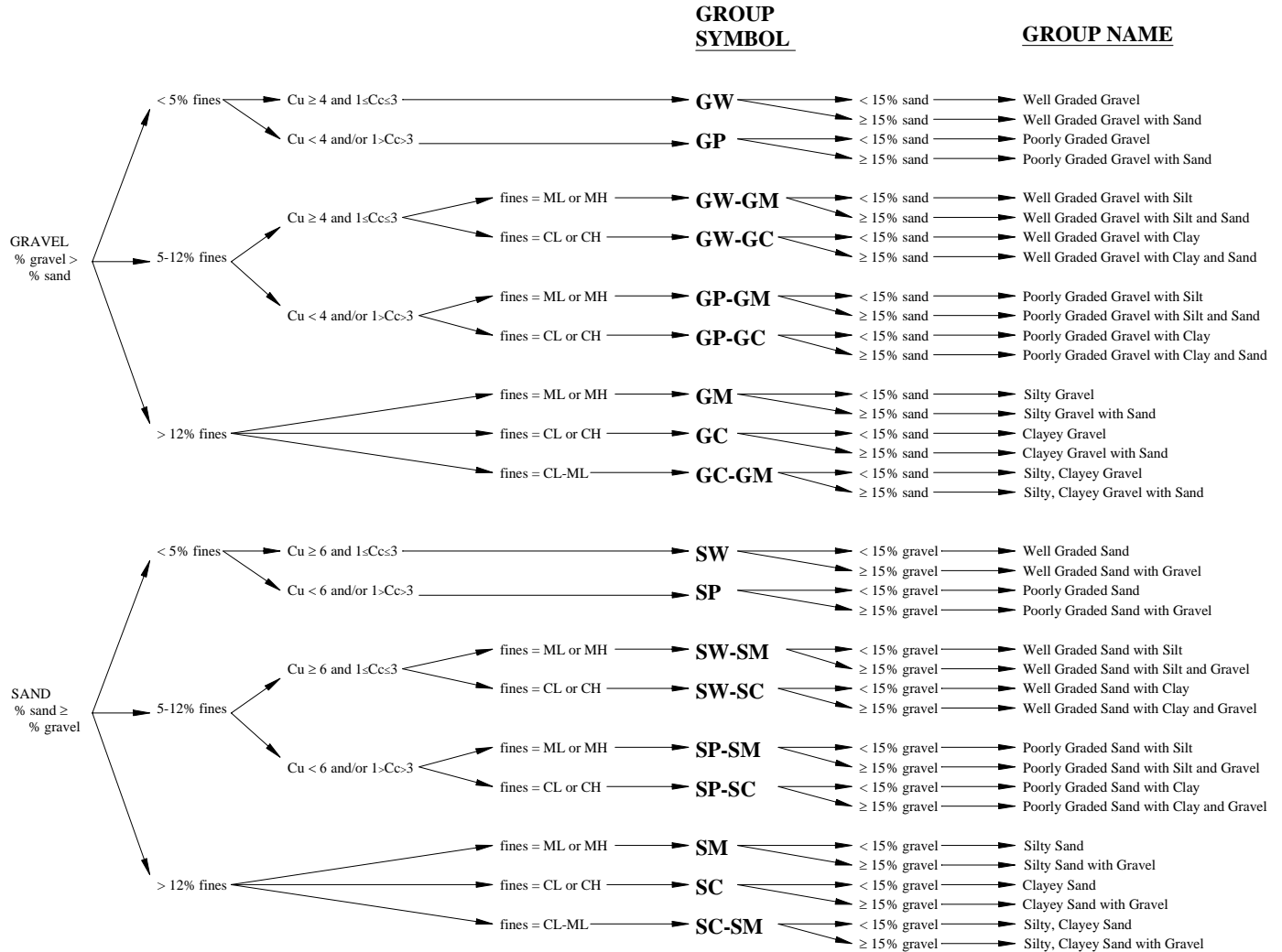
Note:

1. Soil samples recovered were identified, described, and classified in the field using ASTM D 2488 (Unified Soil Classification System) as a guide.

ASTM D2487 Soils Classification Chart



ASTM D2487 Soils Classification Chart (cont.)



Geotechnical Engineering Evaluation
Odyssey Flats Tibbs Condos
Boise, Idaho
January 13, 2020
File No. 191526

APPENDIX C

**ADDITIONAL REPORTS
NRCS SOILS MAP
SEA SEISMIC MAPS**


Soil Map—Ada County, Idaho
(Odyssey Flats Tibbs Condos)




Soil Map—Ada County, Idaho
(Odyssey Flats Tibbs Condos)


MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)


Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit


 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot


 Landfill

 Lava Flow

 Marsh or swamp


 Mine or Quarry

 Miscellaneous Water


 Perennial Water


 Rock Outcrop


 Saline Spot


 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other


 Special Line Features

Water Features


 Streams and Canals

Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Ada County, Idaho

Survey Area Data: Version 7, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 1, 2018—Sep 30, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
9000	Urban land, 0 to 1 percent slopes	0.4	100.0%
Totals for Area of Interest		0.4	100.0%

Ada County, Idaho

9000—Urban land, 0 to 1 percent slopes

Map Unit Composition

Urban land: 90 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Urban Land

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Hydric soil rating: Unranked

Data Source Information

Soil Survey Area: Ada County, Idaho

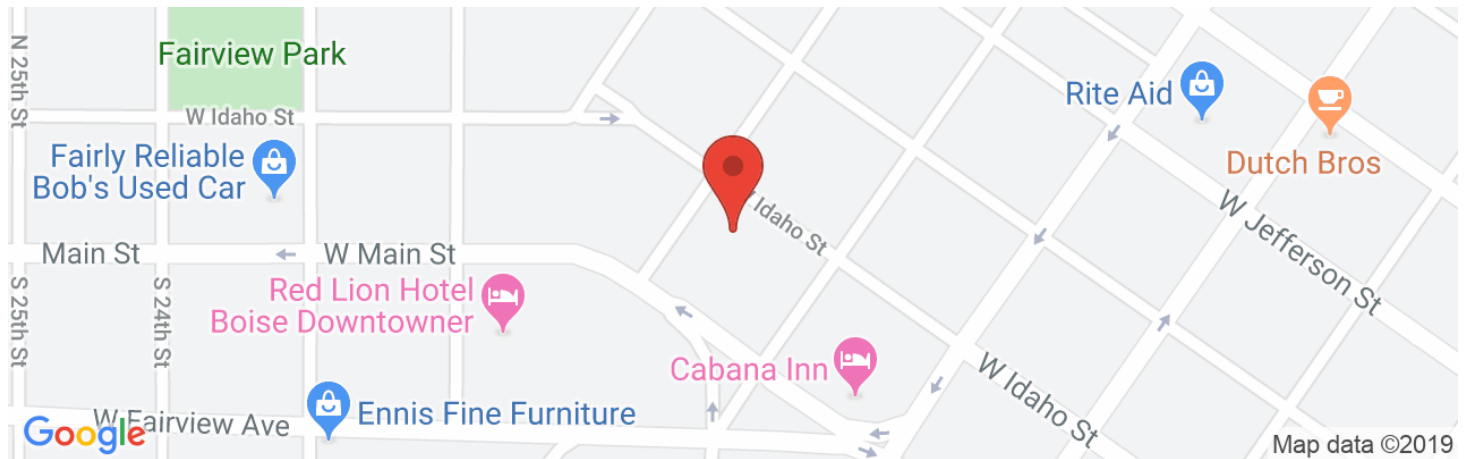
Survey Area Data: Version 7, Sep 16, 2019



ODYSSEY FLATS

1715 W Idaho St, Boise, ID 83702, USA

Latitude, Longitude: 43.621932, -116.21434499999998



Date	12/31/2019, 3:10:46 PM
Design Code Reference Document	ASCE7-10
Risk Category	II
Site Class	D - Stiff Soil

Type	Value	Description
S_S	0.312	MCE_R ground motion. (for 0.2 second period)
S_1	0.106	MCE_R ground motion. (for 1.0s period)
S_{MS}	0.483	Site-modified spectral acceleration value
S_{M1}	0.252	Site-modified spectral acceleration value
S_{DS}	0.322	Numeric seismic design value at 0.2 second SA
S_{D1}	0.168	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	C	Seismic design category
F_a	1.551	Site amplification factor at 0.2 second
F_v	2.376	Site amplification factor at 1.0 second
PGA	0.122	MCE_G peak ground acceleration
F_{PGA}	1.556	Site amplification factor at PGA
PGA_M	0.19	Site modified peak ground acceleration
T_L	6	Long-period transition period in seconds
S_{sRT}	0.312	Probabilistic risk-targeted ground motion. (0.2 second)
S_{sUH}	0.332	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
S_{sD}	1.5	Factored deterministic acceleration value. (0.2 second)
S_{1RT}	0.106	Probabilistic risk-targeted ground motion. (1.0 second)
S_{1UH}	0.11	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S_{1D}	0.6	Factored deterministic acceleration value. (1.0 second)
PGA_d	0.5	Factored deterministic acceleration value. (Peak Ground Acceleration)
C_{RS}	0.939	Mapped value of the risk coefficient at short periods
C_{R1}	0.966	Mapped value of the risk coefficient at a period of 1 s

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APPENDIX D

IMPORTANT INFORMATION ABOUT YOUR GEOTECHNICAL ENGINEERING REPORT

INFORMATION ABOUT YOUR GEOTECHNICAL REPORT

This engineering report is based on a subsurface exploration plan designed to incorporate a unique set of project-specific factors such as the general type of the structure involved. The explorations locations and depths are based on the structure size and configuration. Other factors include proposed site features such as overhead utilities, and existing trees. To help avoid costly problems, consult the geotechnical engineer to determine how any factors which change subsequent to the date of the report may affect its recommendations.

This report should not be used without consulting a Geotechnical Engineer if

- Changes are made to the type of construction
- Changes are made to the size, foundation loading or location of proposed structures
- Changes are made to the location the structures or other site features
- If the report is intended to use for any other property

We cannot accept responsibility for problems which may develop if this report is used for any purpose other than the project described here in. Additionally, we cannot be held responsible if we are not consulted after factors considered in this report's development have changed.

This engineering report is prepared to meet the needs of specific individuals. Use by any other persons for any purpose, or by the client for a different purpose, may result in problems. No individual other than the client should apply this report for its intended purpose without first conferring with the geotechnical engineers. No person should apply this report for any purpose other than that originally contemplated without first conferring with the geotechnical engineer.

The site exploration described in this report identifies actual subsurface conditions only at the points where samples are taken, when they are taken. Data obtained through excavation, sampling and subsequent laboratory testing are extrapolated by our analysis to derive an opinion about overall subsurface conditions. The information derived is used to estimate the likely reaction of the subsurface soil to the proposed construction activity, and appropriate foundation design. Even under optimal circumstances actual conditions may differ from those inferred to exist, because no geotechnical engineer, no matter how qualified, and no subsurface exploration program, no matter how comprehensive, can reveal all that is hidden below the surface. Understand that the actual interface between materials may be far more gradual or abrupt than a report indicates. Actual conditions in areas not sampled may differ from predictions. To help mitigate the unknown a geotechnical engineer should be retained to help interpret conditions encountered during construction, perform appropriate testing, and recommend solutions.

Subsurface conditions may change with time. Natural forces are constantly changing and this geotechnical engineering report is based on conditions that existed at the time of the subsurface exploration. Do not base construction decisions on a geotechnical engineering report whose adequacy may have been affected by time. Additionally, natural events such as floods, earthquakes or changes in groundwater elevations may affect the soils at the site.

Final exploration logs (boring logs) are included in this report and were developed based upon our interpretation of field logs and laboratory evaluation of field samples. The logs should not be separated from the engineering report or redrawn for inclusion in other engineering or construction documents. Always provide access to the complete geotechnical engineering report to contractors or designers. We cannot accept responsibility for problems which may develop if this report is misinterpreted because of unauthorized or incomplete reproduction.

**Craig A. Simon, P. E.
CAS & Associates, LLC
4894 Lakeview Place
Boise, Idaho 83714
208 853-5841**

May 26, 2020

Mr. Brady Shinn
Capital City Development Corporation
121 North 9th Street, Unit 501
Boise, Idaho 83702

RE: Phase I Environmental Site Assessment (ESA) of:
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street
Boise, Idaho 83702
Ada County Parcel ID: R5538941262

Dear Mr. Shinn:

CAS & Associates, LLC (CAS) has completed a Phase I Environmental Site Assessment (ESA) of the above-referenced property. The ESA was conducted in accordance with the ASTM International (ASTM) *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* E1527-13 (the Standard), the All Appropriate Inquiries (AAI) Rule 40 CFR Part 312, CAS's letter of engagement, and generally accepted industry standards.

This report was prepared solely for the use of Capital City Development Corporation (hereinafter "Client" or "User") and any party specifically referenced in Section 1.6 - User Reliance. No other party shall use or rely on this report or the findings herein, without the prior written consent of CAS.

Findings, Opinions and Conclusions

- This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the Property.
- No significant data gaps were identified that would CAS's ability to identify RECs at the Property.


- CAS did not identify any historical recognized environmental condition (HRECs) in connection with the Property.
- The investigation did not reveal any business environmental risks (BERs) associated with the Property and standard ASTM scope considerations. And,
- CAS also conducted a preliminary evaluation for asbestos-containing material (ACM), radon, lead-based paint (LBP), drinking water quality, mold, floodplains and wetlands that are ASTM Non-Scope Considerations. This investigation has revealed no concerns relating to these ASTM Non-Scope Considerations in connection with the Property.

Recommendations

- No further investigations or actions are recommended.
-

Mr. Shinn, following your review of the Phase I ESA report please contact me if you have any questions or wish additional information.

Respectfully submitted,

A handwritten signature in cursive script that reads "Craig A. Simon".

Craig A. Simon, P.E.

**Professional Engineer and Environmental Specialist
CAS & Associates, LLC
Boise, Idaho**

PHASE I ENVIRONMENTAL SITE ASSESSMENT (ESA)

**Land Parcel (0.406 +/- Acres)
1715 West Idaho Street
Boise, Idaho 83702
Ada County Parcel ID: R5538941262**

***Prepared For:*
Mr. Brady Shinn
Capital City Development Corporation
121 North 9th Street, Unit 501
Boise, Idaho 83702**

***Prepared By:*
Craig A. Simon, P.E.
CAS & Associates, LLC
4894 Lakeview Place
Boise, Idaho 83714
208 853-5841**

May 26, 2020

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
1. INTRODUCTION	3
1.1. <i>Purpose</i>	3
1.2. <i>Scope of Services</i>	4
1.3. <i>Significant Assumptions</i>	5
1.4. <i>Limitations and Exceptions</i>	6
1.5. <i>Special Terms and Conditions</i>	7
1.6. <i>User Reliance</i>	7
2. GENERAL PROPERTY DESCRIPTION	8
2.1. <i>Location and Legal Description</i>	8
2.2. <i>Site and Vicinity General Characteristics</i>	8
2.3. <i>Current Uses of the Property</i>	10
2.4. <i>Description of Property Improvements</i>	10
2.5. <i>Current Uses of Adjoining Properties</i>	11
3. USER PROVIDED INFORMATION	12
3.1. <i>Title Records</i>	12
3.2. <i>Environmental Liens and Activity and Use Limitations</i>	13
3.3. <i>Specialized Knowledge</i>	13
3.4. <i>Commonly Known or Reasonable Ascertainable Information</i>	13
3.5. <i>Valuation Reduction for Environmental Issues</i>	13
3.6. <i>Reason for Performing the Phase I ESA</i>	13
4. INTERVIEWS/MUNICIPAL INFORMATION	14
4.1. <i>Property Owner, Operator, and/or Escort</i>	14
4.2. <i>Local Government Officials</i>	14
4.3. <i>Other Contacts</i>	14
5. RECORDS REVIEW	15
5.1. <i>Environmental Record Sources</i>	15
5.2. <i>Records Review Summary</i>	19
6. HISTORICAL USE INFORMATION	20
6.1. <i>Aerial Photographs</i>	20
6.2. <i>Fire Insurance Maps</i>	20
6.3. <i>Property Tax Files</i>	21
6.4. <i>Recorded Land Title Records</i>	21
6.5. <i>USGS Topographic Map</i>	22
6.6. <i>Local Street Directories</i>	22
6.7. <i>Building Department Records</i>	22

6.8.	<i>Zoning/Land Use Records</i>	22
6.9.	<i>Previous Assessments</i>	23
6.10.	<i>Other Historical Sources</i>	23
6.11.	<i>Data Gaps</i>	23
6.12.	<i>Prior Use History Summary</i>	23
7.	PROPERTY RECONNAISSANCE	25
7.1.	<i>Methodology and Limiting Conditions</i>	25
7.2.	<i>Visual Observations</i>	25
7.3.	<i>Visual Observation Summary</i>	26
8.	ASTM NON-SCOPE CONSIDERATIONS	27
8.1.	<i>Asbestos</i>	27
8.2.	<i>Radon</i>	27
8.3.	<i>Lead-Based Paint</i>	28
8.4.	<i>Drinking Water</i>	28
8.5.	<i>Microbial Contamination</i>	28
8.6.	<i>Flood Plains and Wetlands</i>	28
9.	FINDINGS, OPINIONS AND CONCLUSIONS	29
10.	RECOMMENDATIONS	30
11.	DEVIATIONS AND ADDITIONAL SERVICES	31
12.	WRITTEN DECLARATION OF ENVIRONMENTAL PROFESSIONAL	32

APPENDICES

APPENDIX 1.....	Property Diagrams & Topographic Maps
APPENDIX 2.....	Photographs
APPENDIX 3.....	Supporting Documentation
APPENDIX 4.....	Regulatory Records
APPENDIX 5.....	Historical Documentation
APPENDIX 6.....	Previous Reports
APPENDIX 7.....	Personnel Qualifications
APPENDIX 8	Analytical Results
APPENDIX 9.....	Client-Requested Documents

EXECUTIVE SUMMARY

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street
Boise, Idaho 83702
Ada County Parcel ID: R5538941262

At the request of the Client, CAS & Associates, LLC (CAS) has performed a Phase I Environmental Site Assessment (ESA) of the above-referenced Property. The ESA was conducted in accordance with ASTM Standard Practice E1527-13. This ESA also includes a preliminary evaluation of certain ASTM non-scope considerations.

The Subject Property consists of an undeveloped land parcel at street addresses 1715 West Idaho Street, Boise, Idaho 83702 (and consisting of former addresses 1709, 1711 and 1715 West Idaho Street). It is located west of central Boise City within a mixed residential, commercial and light industrial area. The Subject Property measures approximately 150 feet (northwest to southeast) by 120 feet (northeast to southwest). The Property is flat and covered with an asphalted basketball court and native/invasive grasses. The Property is currently undeveloped but has been used for residential buildings historically.

Property Diagrams and Topographic Maps are provided in Appendix 1 of this report. Photographs of the Property are provided in Appendix 2.

Findings, Opinions and Conclusions

- This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the Property.
- No significant data gaps were identified that would CAS's ability to identify RECs at the Property.
- CAS did not identify any historical recognized environmental condition (HRECs) in connection with the Property.
- The investigation did not reveal any business environmental risks (BERs) associated with the Property and standard ASTM scope considerations. And,

- CAS also conducted a preliminary evaluation for asbestos-containing material (ACM), radon, lead-based paint (LBP), drinking water quality, mold, floodplains and wetlands that are ASTM Non-Scope Considerations. This investigation has revealed no concerns relating to these ASTM Non-Scope Considerations in connection with the Property.

Recommendations

- No further investigations or actions are recommended.

1. INTRODUCTION

1.1. Purpose

CAS was retained to conduct this ESA of the Property to assist a prospective purchaser in conducting their pre-acquisition due diligence. The ESA was designed to provide the potential purchaser of the Property an objective, professional opinion of environmental risks, if any, associated with the Property through the identification of RECs, CRECs, and HRECs to the extent feasible pursuant to the process prescribed in the Standard.

The term REC is defined in the Standard as “as the presence or likely presence of any hazardous substances or petroleum products in, on or at a property: (1) due to a release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. De minimis conditions are not recognized environmental conditions.”

A REC resulting from a past release that has been addressed to the satisfaction of the applicable regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of formal or implied controls, is considered a Controlled Recognized Environmental Condition (CREC).

A past release of any hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority or meets an unrestricted use criteria established by a regulatory authority that does not subject the property to any formal or implied controls, is considered an HREC. While HRECs will be identified in this report, HRECs generally do not require additional investigation or action.

The ASTM Standard recognizes that there may be environmental issues or conditions at a property that parties may wish to consider, such as the presence of ACM, LBP or radon. This assessment was designed to address these other business environmental risk (BER).

This ESA is intended to permit the potential purchaser to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability (hereinafter, the “landowner liability protections,” or “LLPs”): that is, the practice that constitutes “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice” as defined at 42 U.S.C. §9601(35) (B). It is still the purchaser’s responsibility to perform all other requirements to qualify for LLPs.

1.2. Scope of Services

This ESA was conducted in accordance with ASTM *Standard Guide for Environmental Site Assessments: Phase I Environmental Site Assessment Process* E1527-13 (Standard), the All Appropriate Inquiry (AAI) Rule 40 CFR Part 312, and any additional requirements of Client. While the AAI rule still references the E1527-05 as demonstrating compliance with AAI, the USEPA's position is that the revised standard includes improvements to the previous standard and its use will provide greater clarity with regard to potential contamination at a property; therefore the USEPA recommends that environmental professionals and prospective purchasers use E1527-13 standard.

The scope of services for this assessment included an evaluation of the following:

- Physical characteristics of the Property based on a review of referenced sources such as topographic maps and available geologic, soils and hydrologic reports
- Information of properties, with the specified minimum search distances from the Property, available in the agency databases specified in Section 8.2.1 of the ASTM Standard and in local environmental records
- Current and past uses of the Property and surrounding area through an evaluation of historical sources specified in Section 8.3.4 of the ASTM Standard, such as aerial photographs, fire insurance maps, city directories, interviews and prior reports.
- Current Property conditions based on visual observations during the Property reconnaissance and interviews with individuals familiar with current and past operations

The ASTM Standard recognizes that there may be environmental issues or conditions at a property that parties may wish to consider. These are considered ASTM Non-Scope Considerations. The scope of services for this assessment included the following:

- Asbestos Containing Material (ACM) Screening, consisting of a review of available analytical data, the age of the improvements, dates of renovation, and other relevant information. The level of this preliminary assessment was not intended to comply with the survey requirements of the Asbestos Hazard Emergency Response Act (AHERA) 40 CFR Part 763, National Emission Standard for Hazardous Air Pollutants (NESHAP) 40 CFR 61; the General Duty Clause, 29 USC 654, Section 5; or other federal, state or local regulation.

- Radon Screening, based on available analytical results, published regional average levels, the usage of the buildings, and the type of construction and mechanical systems present. This evaluation was not designed or intended to comply with any regulatory agency requirements. Sampling, if any, was conducted using short-term radon detectors. The results of such testing are intended solely as a screen and may not be indicative of long-term average radon levels.
- Lead-Based Paint (LBP) Screening based on available analytical data, the age of the improvements, dates of renovation, and the current and proposed usage of the property. This evaluation was not designed or intended to comply with survey requirements outlined in Housing and Urban Development (HUD) regulations or other federal, state or local regulation.
- Lead in Drinking Water Evaluation based on available analytical data, a determination of the source of the drinking water supply and a review of publically available compliance data reports.
- Water Intrusion/Water and Mold Impacted Building Materials Screening based on visual observations for signs of water intrusion, water damage, and suspect mold growth and interviews with property representatives. These observations were limited to the areas walked and should not be considered a comprehensive survey of the Property. A finding in this report that “mold is not a significant concern” or “no significant mold was identified” should not be interpreted as the building is free of mold.
- Flood Plains and Wetlands Evaluation based solely on a review of available Federal Emergency Management Association (FEMA) Flood Insurance Rate Maps (FIRM) or equivalent, wetland maps and visual observations. This assessment is not intended to be a formal flood plain determination or wetland delineation, and no warranty is made thereof.

1.3. Significant Assumptions

- CAS assumes the Property has been correctly and accurately identified by the User, designated representative of the User, property contact, property owner, and property owner’s representatives.
- CAS assumes that the User and any of its designated representatives, including but not limited to, property contacts, property escorts, and property brokers, used good faith in answering questions about and in obtaining information for the Property.

- Groundwater flow and depth to groundwater, unless otherwise specified by on-site well data, or well data from adjacent sites, are assumed based on contours depicted on the United States Geological Survey topographic maps.

1.4. Limitations and Exceptions

- The scope of work completed was designed solely to meet the needs of CAS's Client. CAS shall not be liable for any unintended usage of this report by another party. In addition, based on the ASTM guidelines, the ESA is only valid if completed within 180 days of an acquisition or the transaction necessitating the ESA.
- No ESA can wholly eliminate uncertainty regarding the potential for RECs in connection with a property. This ESA was designed to reduce, but not eliminate the potential for RECs at the property, within reasonable limits of time and cost. The ESA is not intended to be exhaustive or all-inclusive and does not represent a guarantee of the identification of all possible environmental risk.
- An ESA is intended to be a non-intrusive investigation and generally does not include sampling or testing of air, soil, water, or building materials. No destructive testing was completed, and concealed areas, such as behind walls or within machinery, were not accessed. Any testing, including that for ACM, LBP and radon, is designed solely to meet the needs of the ESA, not to meet any local, state or federal regulations and should not be utilized as such. Any test results obtained are for the personal use of the Client only and are not intended for submittal to any regulatory agency.
- Information in this report is based on personal interviews, government records, published resources, and various historical documents. Accuracy and completeness of information varies among information sources and is often inaccurate or incomplete. The information utilized in this ESA is from sources deemed to be reliable; however, no representation or warranty is made as to the accuracy thereof. CAS will have no on-going obligation to obtain and include information that was not reasonably ascertainable, practically reviewable, or provided to CAS in a reasonable timeframe to formulate an opinion and complete the assessment by the agreed upon due date.
- Unless specifically identified in the scope of work, the ESA excludes ASTM Non-Scope Considerations.

- The ESA includes some information that may be relevant to regulatory compliance, but is not intended and shall not be construed as a compliance audit and cannot be considered a verification of regulatory compliance. While the general environmental setting of the property is described, this assessment is not intended to be a formal flood plain or wetland determination, and no warranty is made thereof. Depending on its past, present or future intended use, the property under review may or may not be subject to regulation and permitting under environmental and health and safety laws, such as, but not limited to, the Clean Air Act, the Clean Water Act, the Solid Waste Disposal Act, the Occupational Safety and Health Act, and other federal, state and local regulations. CAS assumes no responsibility or liability respecting regulatory permitting or compliance issues.
- Client is advised that if the ESA is obtained with the intent of qualifying the purchaser as an innocent landowner, contiguous property owner, or bona fide prospective purchaser under CERCLA, there will be continuing obligations of due care and responsiveness and additional legal requirements that likely apply to such status. CAS accepts and undertakes no responsibility as to such requirements and advises that counsel be separately consulted with respect to such requirements.

1.5. Special Terms and Conditions

There are no special terms and conditions associated with the assignment.

1.6. User Reliance

This investigation was conducted on behalf of and for the exclusive use of Capital City Development Corporation (Client). This report, and the findings contained herein, shall not, in whole or part, be disseminated or conveyed to or used by any other party without the prior written consent of CAS.

2. GENERAL PROPERTY DESCRIPTION

2.1. Location and Legal Description

Property Name: Undeveloped Land Parcel
Property Address: 1715 West Idaho Street (Consisting of 1715, 1711 and 1709 West Idaho Street)
City, State: Boise, Idaho 83702
Zip Code:
Legal: CAS was not provided a legal description of the Property. The legal description as provided on the Ada County Assessor's webpage (<http://www.adacountyassessor.org/propsys/ViewParcel.do?yearParcel=2019R5538941261>) is as follows:

Owner (2019 Assessment Notice): 1709-15 West Idaho LLC, 8 South Idaho St. Suite C, Dillon, Montana 59725
Primary Owner: Cinco Port LLC (Assessor's webpage)
Parcel: R5538941262
Address: 1715 W. Idaho Street, Boise, Idaho 83702
Parcel Status: Active Removed in 2019
Zone Code: R-3DD
Tax Code Area: 01-6
Instrument Number: 2018110988
Property Description: Lot 8 Blk 11, McCarty's 2nd Add
Land Group Type: Sub
T/R/Sec: 3N2E03

2.2. Property and Vicinity General Characteristics

CAS attempted to determine the general physical setting of the Property and vicinity. Information regarding the topography, surface water, geology, and hydrology is used to evaluate the likelihood of hazardous substances or petroleum products migrating onto the Property from adjacent properties, within the Property or from the Property to off-site receptors. The information was obtained from readily accessible sources that describe the general area in which the Property is located. No subsurface investigation or other testing was conducted at the Property. Actual conditions may vary from general conditions in the area.

Property Elevation: The Property is situated at approximately 2,682 feet above

mean sea level.

Topography:	The Property is generally flat.
USGS Topographic Map:	The Property is covered by the United States Geologic Survey (USGS) Topographic Map, 43116-E2 Boise Idaho (2017), 7.5 minute series. A portion of the topographic map is included in Appendix 1.
On-Site Water Bodies:	No surface water bodies were observed on the Property.
Nearest Surface Water Body:	Based on the United States Geologic Survey (USGS) Topographic Map, 43116-E2 Boise Idaho (2017), 7.5 minute series, the nearest surface water body is the Boise River located approximately 3,000 feet southwest of the Property.
Geology and Soils:	According to the US Department of Agriculture Soil Conservation Service (SCS) soils are expected to be USDA Soil Name: Urban Land, Miscellaneous Area
Depth to Groundwater:	Groundwater is expected at eight to ten feet below ground surface based on a recently installed piezometric well installed on the site.
Anticipated Flow Direction:	Groundwater at the Property is expected to flow towards the northwest (to the Boise River).
Basis of Flow Direction:	According to the USEPA <i>Groundwater Handbook, Vol. 1 Groundwater and Contamination, September 1990</i> , the water table typically conforms to surface topography. This means that the direction of flow for shallow groundwater is generally from higher elevations to lower elevations. Localized flow direction, however, may vary as a result of tide, rainfall, development, geologic characteristics, nearby surface water bodies, underground utilities such as storm drains, septic systems and sewers, or other influences such as the presence of high volume wells.

2.3. Current Uses of the Property

Property Usage: Undeveloped. Community/local basketball court. Asphalt.
Former residences (3) have been recently demolished (2019).

Tenants: No tenants

2.4. Description of Property Improvements

Property Size: 0.406 acres
Source: Ada County Assessor's Office

Number of Buildings: None

Number of Stories: NA

Date of Construction: NA

Building Size: NA

Source of Heating/Cooling: NA

Utility Providers:

- Drinking Water Suez Water of Idaho
- Electricity Idaho Power
- Natural Gas Intermountain Gas
- Fuel Oil NA
- Sewage Disposal City of Boise
- Storm Water NA

- Solid Waste NA

Date of Utility Connection: When original residences were constructed on the Subject Property. Exact date unknown.

2.5. Current Uses of Adjoining Properties

Adjoining properties, based on the ASTM Standard, are properties the border of which is contiguous or partially contiguous with that of the Property, or that would be contiguous or partially contiguous with that of the Property but for a street, road, or other public thoroughfare separating them. The following adjoining properties were noted.

North: The adjoining properties to the north are: a concrete sidewalk and a landscaped strip between the sidewalk and West Idaho Street and residential units further north (on the south side of West Idaho Street).

East: The adjoining property to the east is an unoccupied residential unit, 1717 West Idaho Street. A shop/warehouse building is located south of the unoccupied residential building and appears to be utilized by Rock Hard Granite's operations.

South: The adjoining property to the south is an alleyway. South of the alleyway is Rock Hard Granite, 1718 West Main Street, Boise, Idaho and New Life Apostolic Church at 102 North 18th Street, Boise, Idaho.

West: The adjoining property to the west is asphalted automobile parking lot (1719 West Idaho Street, Boise, Idaho).

3. USER PROVIDED INFORMATION

The Standard lays out the responsibilities of the User of the report in order for the User to satisfy the all appropriate inquiry, into previous ownership of the property, requirement in order to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability, herein after landowner liability protections. These responsibilities include:

- Review title and judicial records for environmental liens or activity and use limitations (AULs)
- Provide any specialized knowledge or experience with the property that is material to RECs at the property
- Provide actual knowledge of any environmental lien or AULs encumbering the property or in connection with the property
- Provide reason for purchase price being significantly lower than fair market value, if applicable
- Provide any commonly known or reasonably ascertainable information within the local community about the property that might relate to RECs in connection with the property
- Identify the reason the ESA is being performed

A "User Questionnaire", completed on May 20, 2020 by the User (Mr. Brady Shinn, Capital City Development Corporation) is included in Appendix 3 of this report.

A "Pre-Survey Environmental Questionnaire" was also forwarded to Mr. Shinn Brady (User's representative) for completion by the Property's owner or someone with knowledge relating to it. Said "Pre-Survey Environmental Questionnaire" was not returned to CAS prior to the completion of this Phase I ESA. A copy of the "Pre-Survey Environmental Questionnaire" may be found within Appendix 3.

3.1. Title Records

User did not provide CAS with recorded land title records.

3.2. Environmental Liens and Activity and Use Limitations

User indicated that they had no knowledge of lien records or Activity and Use Limitations (AULs), filed under federal, tribal, state or local law, for the Property.

3.3. Specialized Knowledge

User indicated that they had no specialized knowledge that would relate to the presence of RECs in connection with the Property.

3.4. Commonly Known or Reasonable Ascertainable Information

User indicated that they were not aware of any commonly known or reasonably ascertainable information within the local community that is material to RECs in connection with the Property.

3.5. Valuation Reduction for Environmental Issues

The User indicated that, to the best of their knowledge, there was no decrease in the purchase price due to environmental issues.

3.6. Reason for Performing the Phase I ESA

The User of this report is a prospective purchaser of the Property. CAS was retained by the User to conduct this ESA to permit the User to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability (hereinafter, the “landowner liability protections,” or “LLPs”): that is, the practice that constitutes “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice” as defined at 42 U.S.C. §9601(35) (B).

4. INTERVIEWS/MUNICIPAL INFORMATION

4.1. Property Owner, Operator, and/or Escort

Because the Property is undeveloped, CAS conducted their May 18, 2020 Property Inspection unescorted.

A "Pre-Survey Environmental Questionnaire" was forwarded to Mr. Shinn Brady (User's representative) for completion by the Property's owner or someone with knowledge relating to it. Said "Pre-Survey Environmental Questionnaire" was not returned to CAS prior to the completion of this Phase I ESA.

4.2. Local Government Officials

Based on the information obtained from the interviews conducted and the standard historical sources reviewed, CAS did not conduct additional interviews with local government officials.

4.3. Other Contacts

Based on the information obtained from the interviews conducted and the standard historical sources reviewed, CAS did not conduct additional interviews with other contacts.

5. RECORDS REVIEW

CAS ordered a report from EnviroSite Corporation (EnviroSite) containing the standard environmental record sources identified in ASTM E1527-13 as well as any additional environmental record source determined to be: 1) reasonably ascertainable; 2) sufficiently useful, accurate and complete; and 3) generally obtained, pursuant to local good commercial or customary practice in initial ESAs in the type of commercial real estate transaction involved. A detailed description of the records reviewed and a listing of all of the identified sites are provided in Appendix 4. Accuracy and completeness of record information varies among information sources, including governmental sources. Record information is often inaccurate or incomplete. While CAS cannot warrant the accuracy of the information, it has made a reasonable effort to compensate for mistakes or insufficiencies in the information reviewed that are obvious in light of other information of which CAS has actual knowledge.

The purpose of the records review is to help identify RECs in connection with the Property. This includes both indications of the storage, use, generation, disposal, or release of hazardous substance at the Property and the potential for contaminants to migrate onto the Property from off-site sources via soil, groundwater, or vapor.

In evaluating the potential for a vapor encroachment condition (VEC), CAS attempted to determine if there was information indicating that chemicals of concern were located within the critical distance, defined as the lineal distance between the nearest edge of the contaminated plume and the nearest target property boundary. Based on ASTM E2600-10 Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions, the critical distance is equal to 100 feet, with the exception of dissolved petroleum hydrocarbons, which have a critical distance of 30 feet. If non-aqueous phase petroleum hydrocarbons are present, the 100 feet distance is utilized. If a VEC was identified, CAS attempted to determine if the VEC represented a REC.

5.1. Environmental Record Sources

- Property

The Property was not identified on the environmental record sources reviewed.

- Surrounding Properties:

Note: The Table below presents the database names identified by EnviroSite within 0.25 miles of the Subject Property. The full listing of Database Names (within one mile of the Subject Property) may be found within Appendix 3, <i>Government Records Report</i> 2020.

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

Map ID	Database Name	Site Name	Address	Dist.	Direction	Elev.
1	ALL SITES - ID	MEADOW GOLD DAIRIES	208 N 17TH ST	0.042	E	2,683
1	FA - ID	MEADOW GOLD DAIRIES	208 N 17TH ST	0.042	E	2,683
1	LUST - ID	MEADOW GOLD DAIRIES	208 N 17TH ST	0.042	E	2,683
1	UST - ID	MEADOW GOLD DAIRIES	208 N 17TH ST	0.042	E	2,683
2	ALL SITES - ID	KBCI-TV	140 N 16TH ST	0.102	ESE	2,684
2	FA - ID	KBCI-TV	140 N 16TH ST	0.102	ESE	2,684
2	LUST - ID	KBCI-TV	140 N 16TH ST	0.102	ESE	2,684
2	UST - ID	KBCI-TV	140 N 16TH ST	0.102	ESE	2,684
3	ALL SITES - ID	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	0.111	SW	2,681
3	FA - ID	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	0.111	SW	2,681
3	LUST - ID	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	0.111	SW	2,681
3	UST - ID	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	0.111	SW	2,681
4	ALL SITES - ID	ALS CAR CARE INC GROVE	1645 GROVE ST	0.116	S	2,682
4	ECHO	ALS CAR CARE INC GROVE	1645 GROVE ST	0.116	S	2,682
4	FRS	ALS CAR CARE INC GROVE	1645 GROVE ST	0.116	S	2,682
4	RCRA_VSQQ	ALS CAR CARE INC GROVE	1645 GROVE ST	0.116	S	2,682
4	SHWS - ID	ALS CAR CARE INC GROVE	1645 GROVE ST	0.116	S	2,682
5	ALL SITES - ID	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	0.141	W	2,680
5	ECHO	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	0.141	W	2,680
5	FRS	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	0.141	W	2,680
5	RCRA_NONGEN	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	0.141	W	2,680
5	SHWS - ID	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	0.141	W	2,680
6	ALL SITES - ID	ALSCOTT PROPERTY	NE CORNER 17TH ST & FRONT ST	0.149	SSW	2,681
A7	ALL SITES - ID	EYES OF THE WORLD	1576 W GROVE ST	0.150	SSE	2,682
A7	BROWNFIELDS - ID	EYES OF THE WORLD	1576 W GROVE ST	0.150	SSE	2,682
A7	SHWS - ID	EYES OF THE WORLD	1576 W GROVE ST	0.150	SSE	2,682
A8	ECHO	FORMER ECONOMY CLEANERS AND LAUNDRY INC	1576 W GROVE ST	0.150	SSE	2,682
A8	FRS	FORMER ECONOMY CLEANERS AND LAUNDRY INC	1576 W GROVE ST	0.150	SSE	2,682
A8	RCRA_NONGEN	FORMER ECONOMY CLEANERS AND LAUNDRY INC	1576 W GROVE ST	0.150	SSE	2,682
A9	ALL SITES - ID	IDAHO TRUST BANK	SE CORNER 16 ST & GROVE ST	0.152	SSE	2,682

Phase I Environmental Site Assessment (ESA)**Land Parcel (0.406 +/- Acres)****1715 West Idaho Street, Boise, Idaho 83702****Ada County Parcel ID: R5538941262****May 26, 2020**

Map ID	Database Name	Site Name	Address	Dist.	Direction	Elev.
A10	BROWNFIELDS-ACRES FED	1576 WEST GROVE	1576 WEST GROVE	0.152	SSE	2,682
A10	BROWNFIELDS	1576 WEST GROVE	1576 WEST GROVE	0.152	SSE	2,682
A10	FRS	1576 WEST GROVE	1576 WEST GROVE	0.152	SSE	2,682
A11	FA - ID	DEAN'S GOODYEAR TIRE CENTER	1515 GROVE ST	0.173	SSE	2,683
A11	UST - ID	DEAN'S GOODYEAR TIRE CENTER	1515 GROVE ST	0.173	SSE	2,683
B12	FA - ID	BOISE FIRE STATION #5	212 S 16TH ST	0.175	S	2,682
B12	UST - ID	BOISE FIRE STATION #5	212 S 16TH ST	0.175	S	2,682
B13	FA - ID	FRONT STREET STATION #22	1600 FRONT	0.177	S	2,681
B13	LUST - ID	FRONT STREET STATION #22	1600 FRONT	0.177	S	2,681
B13	UST - ID	FRONT STREET STATION #22	1600 FRONT	0.177	S	2,681
B14	ALL SITES - ID	FRONT ST STATION NO 22	1600 FRONT	0.177	S	2,681
B15	ALL SITES - ID	BOISE FIRE STATION NO 5 DEANS GOODYEAR TIRE CENTER	212 S 16TH ST 1515 GROVE ST	0.177 0.185	S SSE	2,682 2,683
B17	ALL SITES - ID	MCGUFFIN FUEL & FEED	1601 FRONT ST	0.185	S	2,681
B17	FA - ID	MCGUFFIN FUEL & FEED	1601 FRONT ST	0.185	S	2,681
B17	LUST - ID	MCGUFFIN FUEL & FEED	1601 FRONT ST	0.185	S	2,681
B17	UST - ID	MCGUFFIN FUEL & FEED	1601 FRONT ST	0.185	S	2,681
C18	ALT FUELING	FAIRLY RELIABLE BOB'S	2304 MAIN ST 1786 W. STATE STREET	0.196	W	2,679
D19	SWRCY - ID	CARTRIDGE WORLD	STREET	0.203	NE	2,689
C20	ALL SITES - ID	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	ECHO	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	FA - ID	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	FRS	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	LUST - ID	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	RCRA_VSQG	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	SHWS - ID	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C20	UST - ID	FAIRLY RELIABLE BOBS	2304 W MAIN ST	0.204	W	2,679
C21	ALT FUELING	STINKER STORE #23	2323 W MAIN ST	0.204	W	2,679
E22	ALL SITES - ID	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	0.205	SSE	2,683
E22	ECHO	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	0.205	SSE	2,683
E22	FRS	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	0.205	SSE	2,683
E22	RCRA_NONGEN	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	0.205	SSE	2,683
E22	SHWS - ID	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	0.205	SSE	2,683
F23	FED	CCDC 2	1413 W. IDAHO ST.	0.206	ESE	2,689

Phase I Environmental Site Assessment (ESA)**Land Parcel (0.406 +/- Acres)****1715 West Idaho Street, Boise, Idaho 83702****Ada County Parcel ID: R5538941262****May 26, 2020**

Map ID	Database Name	Site Name	Address	Dist.	Direction	Elev.
F23	FRS	CCDC 2	1413 W. IDAHO ST.	0.206	ESE	2,689
E24	ALL SITES - ID	ALLOWAY LIGHTING	1420 W GROVE ST	0.212	SE	2,683
E24	SHWS - ID	ALLOWAY LIGHTING	1420 W GROVE ST	0.212	SE	2,683
D25	ALL SITES - ID	17TH & STATE ST MARKETPLACE	NW CORNER OF 17TH & STATE ST	0.222	NE	2,690
D25	SHWS - ID	17TH & STATE ST MARKETPLACE	NW CORNER OF 17TH & STATE ST	0.222	NE	2,690
F26	ALL SITES - ID	WATERCOOLER BUILDING	1401 W IDAHO ST	0.224	ESE	2,690
F26	BROWNFIELDS - ID	WATERCOOLER BUILDING	1401 W IDAHO ST	0.224	ESE	2,690
F27	FED					
F27	BROWNFIELDS	CCDC 1	1401 W. IDAHO ST.	0.224	ESE	2,690
F27	FRS	CCDC 1	1401 W. IDAHO ST.	0.224	ESE	2,690
E28	ALL SITES - ID	FARM STORE	1414 GROVE	0.224	SE	2,683
E28	BROWNFIELDS - ID	FARM STORE	1414 GROVE	0.224	SE	2,683
E28	FA - ID	FARM STORE	1414 GROVE	0.224	SE	2,683
E28	UST - ID	FARM STORE	1414 GROVE	0.224	SE	2,683
E29	BROWNFIELDS- ACRES	FARM STORE - AKA BIG CITY	1414 W. GROVE			
E29	FED	COFFEE	STREET	0.224	SE	2,683
E29	BROWNFIELDS FED	FARM STORE - AKA BIG CITY	1414 W. GROVE			
E29	FED	COFFEE	STREET	0.224	SE	2,683
E30	BROWNFIELDS		1414 W. GROVE			
E30	BROWNFIELDS	THE FARM STORE SITE	STREET	0.224	SE	2,683
G31	FA - ID	NORTH END 76	1522 STATE ST	0.237	ENE	2,692
G31	UST - ID	NORTH END 76	1522 STATE ST	0.237	ENE	2,692
G32	ALL SITES - ID	JUNG ENTERPRISES	1522 STATE ST	0.237	ENE	2,692
G32	FA - ID	JUNG ENTERPRISES	1522 STATE ST	0.237	ENE	2,692
G32	HIST UST - ID	JUNG ENTERPRISES	1522 STATE ST	0.237	ENE	2,692
C33	FA - ID	STINKER STORE #23	2323 MAIN	0.237	W	2,679
C33	UST - ID	STINKER STORE #23	2323 MAIN	0.237	W	2,679
C34	ALL SITES - ID	STINKER STATION NO 23	2323 MAIN	0.237	W	2,679
H35	ALL SITES - ID	L & L FURNITURE INC	2310 W FAIRVIEW AVE	0.237	WSW	2,678
H35	ECHO	L & L FURNITURE INC	2310 W FAIRVIEW AVE	0.237	WSW	2,678
H35	FRS	L & L FURNITURE INC	2310 W FAIRVIEW AVE	0.237	WSW	2,678
H35	RCRA_NONGEN	L & L FURNITURE INC	2310 W FAIRVIEW AVE	0.237	WSW	2,678
H35	SHWS - ID	L & L FURNITURE INC	2310 W FAIRVIEW AVE	0.237	WSW	2,678
H36	FA - ID	L & L FURNITURE	2310 FAIRVIEW	0.237	WSW	2,678
H36	LUST - ID	L & L FURNITURE	2310 FAIRVIEW	0.237	WSW	2,678
H36	UST - ID	L & L FURNITURE	2310 FAIRVIEW	0.237	WSW	2,678
E37	FA - ID	AMERICAN LINEN	1402 GROVE	0.246	SE	2,685

Map ID	Database Name	Site Name	Address	Dist.	Direction	Elev.
E37	LUST - ID	AMERICAN LINEN	1402 GROVE	0.246	SE	2,685
E37	UST - ID	AMERICAN LINEN	1402 GROVE	0.246	SE	2,685
E38	ALL SITES - ID	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	0.246	SE	2,685
E38	BROWNFIELDS - ID	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	0.246	SE	2,685
E38	SHWS - ID	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	0.246	SE	2,685

In CAS's professional judgment, none of the Surrounding Properties identified by Envirosearch within a one-mile radius of the Subject Property represents a REC in connection with the Subject Property.

5.2. Records Review Summary

CAS did not identify environmental records indicating a release of hazardous substances or petroleum products at the Property or the migration of hazardous substances or petroleum products from an off-site property to the Property via soil, groundwater or vapor that would be considered a REC or a VEC with respect to the Property.

6. HISTORICAL USE INFORMATION

The objective of consulting historical sources is to develop a history of the previous uses of the property and surrounding area, in order to help identify the likelihood of past uses having led to RECs in connection with the Property.

6.1. Aerial Photographs

Aerial photographs, which are of a sufficient resolution to allow identification of development and activities of areas encompassing the Property, can be used in documenting the historical usage of a property. CAS reviewed the following aerial photographs for years 1953, 1971, 1981, 1986, 1987, 1992, 1998, 2004, 2009, 2011, 2013, 2015 and 2017, copies of which are included in Appendix 5:

Dates: 1953 through 2004 aerial photographs

Source of Aerial: Envirosearch

Property: The Property appears to have structures, of unknown utility, in place. Photo quality is poor.

Adjoining Properties: Residential and commercial.

Dates: 2009 through 2017

Source of Aerial: Envirosearch

Property: The Property appears as bare land. The structures noted between 1953 and 2004 have been razed. An asphalted area on the northern portion of the Property appears (?) evident (photo quality is poor).

Adjoining Properties: Residential and commercial.

6.2. Fire Insurance Maps

Fire insurance maps are maps that were produced for private fire insurance map companies that indicate uses of properties at specified dates and that encompass the property. These maps are often available at local libraries, historical societies or private resellers. CAS ordered historical fire insurance maps of the Property from Envirosearch. The

maps for years 1912, 1949 and 1956 were provided by EnviroSite and reviewed by CAS and are included in Appendix 5:

Date:	1912
Type	Sanborn
Property:	The Property is depicted as having two residences plus two strand-alone garages/sheds.
Adjoining Properties:	Residential
Date:	1949
Type	Sanborn
Property:	The Property is depicted as having three residences plus two strand-alone garages/sheds.
Adjoining Properties:	Residential/Commercial/Industrial
Date:	1956
Type	Sanborn
Property:	The Property is depicted as having three residences plus three strand-alone garages/sheds
Adjoining Properties:	Residential/Commercial/Industrial

6.3. Property Tax Files

Tax files are files kept for property tax purposes by the local jurisdiction where the property is located and may include records of past ownership, appraisals, maps, sketches, and photographs. CAS did not review the property tax files for the Property due to the sufficient prior use history obtained through the other standard historical sources.

6.4. Recorded Land Title Records

Land title records are records of historical fee ownership, which may include leases, land contracts and AULs on or of the property recorded in the place where land title records

are, by law or custom, recorded for the local jurisdiction in which the property is located, often such records are kept by a municipal or county recorder or clerk. Such records may be obtained from title companies or directly from the local government agency. A chain of title was not provided to CAS.

6.5. USGS Topographic Maps

CAS reviewed the USGS 7.5-minute series topographic maps dated 1954, 1972, 2010, 2013, 2017 and 2020 covering the Property.

No details are shown for the Property and no special hazards, such as sinkholes, oil and/or gas wells, gravel pits, landfills, pipelines, mineral production, open pits, stockpiled soils or railroad tracks and spurs, were indicated on the Property or an adjoining property.

6.6. Local Street Directories (1927 – 2018)

Local street directories were published by private or sometimes government sources and show ownership and/or use of properties by reference to street addresses. CAS ordered a city directories search from Envirosearch, which is included in Appendix 5. A summary of the findings is as follows:

Property:	1709, 1711 and 1715 West Idaho Street
Utility	Residential (Various occupants)

Based on the city directory review, no environmentally sensitive listings were identified for the Property address or for an adjoining property.

6.7. Building Department Records

Building department records generally consist of local government records indicating permission of the local government to construct, alter, or demolish improvements on the property. Often building department records are located in the building department of a municipality or county. CAS did not review the building department records for the Property due to the sufficient prior use history obtained through the other standard historical sources.

6.8. Zoning/Land Use Records

Zoning or land use records generally consist of local government records indicating the uses permitted by the local government in particular zones within its jurisdiction. The records may consist of maps and/or written records. The records are often located in the

planning department of a municipality or county. CAS reviewed zoning/land use records for the Property at the Ada County Assessor's website. Based on these records, the Property is zoned R-3DD.

6.9. Previous Assessments

CAS was not provided with previous environmental assessments of the Property.

6.10. Other Historical Sources

Other historical sources include sources that are credible to a reasonable person and that identify past uses of the property. This category includes, but is not limited to: miscellaneous maps, newspaper archives, internet sites, community organizations, local libraries, historical societies, current owners or occupants of neighboring properties, or records in the files and/or personal knowledge of the property owner and/or occupants. CAS did not review other historical sources for the Property based on prior use history obtained through the other standard historical sources.

6.11. Data Gaps

After reviewing the above sources of information regarding historical uses of the Property, CAS encountered the following data gaps:

- While CAS was able to document the historical uses of the Property back prior to 1940, the Property was already developed at the earliest documented source.
- Some of the intervals between documented sources exceeded five years.

Neither of the data gaps affected CAS's ability to identify RECs in connection with the Property.

6.12. Prior Use History Summary

- The Property was developed with buildings having detached garages/sheds from 1912 through 1956, pursuant to historical Fire Insurance Maps (for 1912, 1949 and 1956).
- Historical aerial photographs (for 1953, 1971, 1981, 1986, 1987, 1992, 1998, 2004, 2009, 2011, 2013, 2015 and 2017) show structures on the Property between 1953 through 2004. The Property is bare (vacant) beginning in 2009.

- Local Street Directories (1927-2018) indicate that the buildings on the Property have been utilized for residential utility only.
- The Property is currently undeveloped (vacant).

CAS did not identify any RECs either on or adjacent to the Subject Property after reviewing the above sources of information regarding historical uses of the Property.

7. PROPERTY RECONNAISSANCE

Date of Reconnaissance: May 18, 2020

Assessor: Craig A. Simon, P.E.

The Assessor's qualifications are provided in Appendix 7.

Property Escort: CAS was unescorted during the property reconnaissance.

Areas Accessed: All

7.1. Methodology and Limiting Conditions

The property reconnaissance consisted of visual observations of the Property, adjoining properties as viewed from the Property boundaries, and the surrounding area based on visual observations made from adjacent public thoroughfares. At the time of the reconnaissance, weather conditions were clear. No significant inaccessible areas, limitations or physical obstructions were encountered during the reconnaissance.

7.2. Visual Observations

During the property reconnaissance, CAS looked for the following visual indications of environmental concern at the Property. Consistent with the ASTM Standard, the efforts were made to identify the presence of the following items, which could indicate the potential presence of RECs on the Property. Photographs of the Property are provided in Appendix 2.

OBSERVATION	YES	NO
Hazardous Substances and/or Petroleum Products in Connection with Identified Uses		X
Aboveground and Underground Storage Tanks		X
Strong, Pungent or Noxious Odors		X
Pools of Liquids		X
Drums and Containers of Hazardous or Unidentified Substances and Petroleum Products		X
Electrical or Hydraulic Equipment Likely to Contain Fluids		X
Heating, Ventilation and Air Conditioning Equipment		X
Interior Stains or Corrosion Other than from Water		X

OBSERVATION	YES	NO
Floor Drains, Sumps, Oil/Water Separators and Clarifiers		X
Pits, Ponds or Lagoons		X
Exterior Stained Soils or Pavement		X
Stressed Vegetation		X
On-site Solid Waste Disposal or Unknown Fill		X
Waste Water		X
Wells	X	
Septic Systems		X
Other Visual Concerns	X	

- Wells

A two-inch diameter PVC piezometric well was noted on the Property south of the basketball court's footprint. It appears to be very recently installed and was identified as B-3 by the installing party (via black Sharpie® pen). CAS observed groundwater within the well at approximately 10 feet in depth. The PVC well casing protrudes to a height of approximately two feet above surface. **The well's cap should be glued-in-place as soon as possible to eliminate public tampering.**

A second piezometric well was noted inside the footprint of the asphalted basketball court. It has been labeled, with spray paint, as B-1 by the installing party.

- Other

Non-hazardous debris and litter is scattered across the Subject Property (wood, steel, cardboard, paper). Additionally, a plastic tote of non-hazardous garnet "sand" blasting medium, resulting from the adjacent Rock Hard Granite operation, is being temporally stored upon the Subject Property.

7.3. Visual Observation Summary

No visual, olfactory or other observation were identified that would indicate the presence of RECs on the Property.

8. ASTM NON-SCOPE CONSIDERATIONS

8.1. Asbestos

Asbestos is a mineral fiber that has been used commonly in a variety of building construction materials for insulation and as a fire-retardant. Because of its fiber strength and heat resistant properties, asbestos was used in roofing shingles, ceiling and floor tiles, insulation products, asbestos cement products, and a host of other building materials. ACM is often classified as either friable or non-friable. Friable ACM, when dry, can be crumbled, pulverized, or reduced to powder by hand pressure. Non-friable ACM can be crumbled, pulverized, or reduced to powder during machining, cutting, drilling, or other abrasive procedures. When asbestos-containing materials are damaged or disturbed by repair, remodeling or demolition activities, microscopic fibers become airborne and can be inhaled into the lungs, where they can cause significant health problems. Friable ACM is more likely to release fibers when disturbed or damaged than non-friable ACM.

No buildings are currently present on the Property; therefore, ACM is not considered a concern.

8.2. Radon

Radon is a naturally occurring colorless, odorless gas that is a by-product of the decay of radioactive materials potentially present in bedrock and soil. The USEPA guidance action level for annual residential exposure to radon is 4.0 picoCuries per liter of air (pCi/L). The guidance action level is not a regulatory requirement for private owners of commercial real estate, but is commonly used for comparison purposes to suggest whether further action at a building may be prudent.

A preliminary evaluation of the potential for concerns relating to radon was made using the USEPA Map of Radon Zones. The USEPA Map is based solely on averages in order to identify areas in the country with the potential for elevated indoor radon levels. Elevated levels of radon have been found in all radon zones and a finding that a property is located in a zone with predicted levels of radon below the USEPA action level does not mean a specific property does not have elevated levels of radon. The evaluation considered the location of the property, type of construction utilized and usage of the property.

The Property is located in Radon Zone 2, which has a predicted average indoor screening level of greater than or equal to 2 pCi/L, but less than the USEPA action level of 4 pCi/L. The Property is not used residentially.

8.3. Lead-Based Paint

Lead was added to paint as a pigment, to speed drying, increase durability or to resist moisture. Although lead improves paint, it was found to pose a health hazard, particularly to children under the age of six, whose bodies are still developing.

No buildings are currently present on the Property; therefore, LBP is not considered a concern.

8.4. Drinking Water

The potential for concerns relating to elevated levels of contaminants, particularly lead, was evaluated at the Property. The evaluation looked at the source of drinking water and analytical data, if available.

The Property is currently undeveloped. Once the Property is developed, it will receive its drinking water from Suez Water Idaho. The source of the drinking water is from deep groundwater wells plus the Boise River. According to Suez Water Idaho's website, the company tests its water before it enters the distribution system. The water supplied to the Property would reportedly meet federal and state drinking water standards, including those for lead and copper.

8.5. Microbial Contamination

There are no buildings on the Property; therefore, no concerns relating to mold were noted.

8.6. Flood Zones and Wetlands

CAS reviewed reasonably ascertainable sources to determine if the Property was located in a flood plain and made visual observations to determine if it were likely that all or portions of the Property could be classified as a wetlands.

Based on the National Flood Hazard Layer Database (NFHL), the Property is located in a Federal Emergency Management Agency (FEMA) 500-year flood zone.

A wetland delineation survey was beyond the scope of this assessment. CAS reviewed the applicable United States Fish and Wildlife Service National Wetlands Inventory (NWI) map and USGS quadrangle map. Based on this information, no wetland resources were identified on or adjoining the Property. CAS did not observe water bodies or vegetation indicative of wetlands on the Property.

9. FINDINGS, OPINIONS AND CONCLUSIONS

CAS & Associates, LLC (CAS) has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E1527-13 for the Subject Property:

Land Parcel (0.406 +/- Acres)
1715 West Idaho Street
Boise, Idaho 83702
Ada County Parcel ID: R5538941262

Any exceptions to, or deletions from, this practice are described in Section 11 of this report.

- This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the Property.
- No significant data gaps were identified that would CAS's ability to identify RECs at the Property.
- CAS did not identify any historical recognized environmental condition (HRECs) in connection with the Property.
- The investigation did not reveal any business environmental risks (BERs) associated with the Property and standard ASTM scope considerations. And,
- CAS also conducted a preliminary evaluation for asbestos-containing material (ACM), radon, lead-based paint (LBP), drinking water quality, mold, floodplains and wetlands that are ASTM Non-Scope Considerations. This investigation has revealed no concerns relating to these ASTM Non-Scope Considerations in connection with the Property.

10. RECOMMENDATIONS

- No further investigations or actions are recommended.

11. DEVIATIONS AND ADDITIONAL SERVICES

The following items deviated from the ASTM 1527-13 Standard:

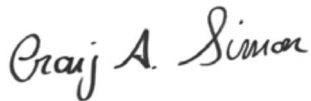
- The Standard offers a “Recommended Table of Contents and Report Format.” While CAS’s report includes all of the information required by the Standard, CAS did not follow the recommend table of contents and report format for all sections of the report.
- The Standard only requires that the preparer of the report determine the presence of RECs, CRECs and HREC, if any, or data gaps that prevent a conclusion regarding the presence of RECs, CRECs and HRECs be made. CAS has also included recommendations in this report.
- Asbestos-containing materials, radon, lead-based paint, drinking water quality, and mold were addressed in this ESA. These are considered Non-Scope Considerations by the Standard.
- A preliminary evaluation was made to determine if the Property was located in a flood plain or if portions of the Property could be classified as wetlands. These are considered Non-Scope Considerations by the Standard.

12. WRITTEN DECLARATION OF ENVIRONMENTAL PROFESSIONAL

I, Craig A. Simon, P.E. declare that, to the best of my professional knowledge and belief, that I meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312.

I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the Property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Prepared By:

A handwritten signature in black ink that reads "Craig A. Simon". The signature is written in a cursive, flowing style.

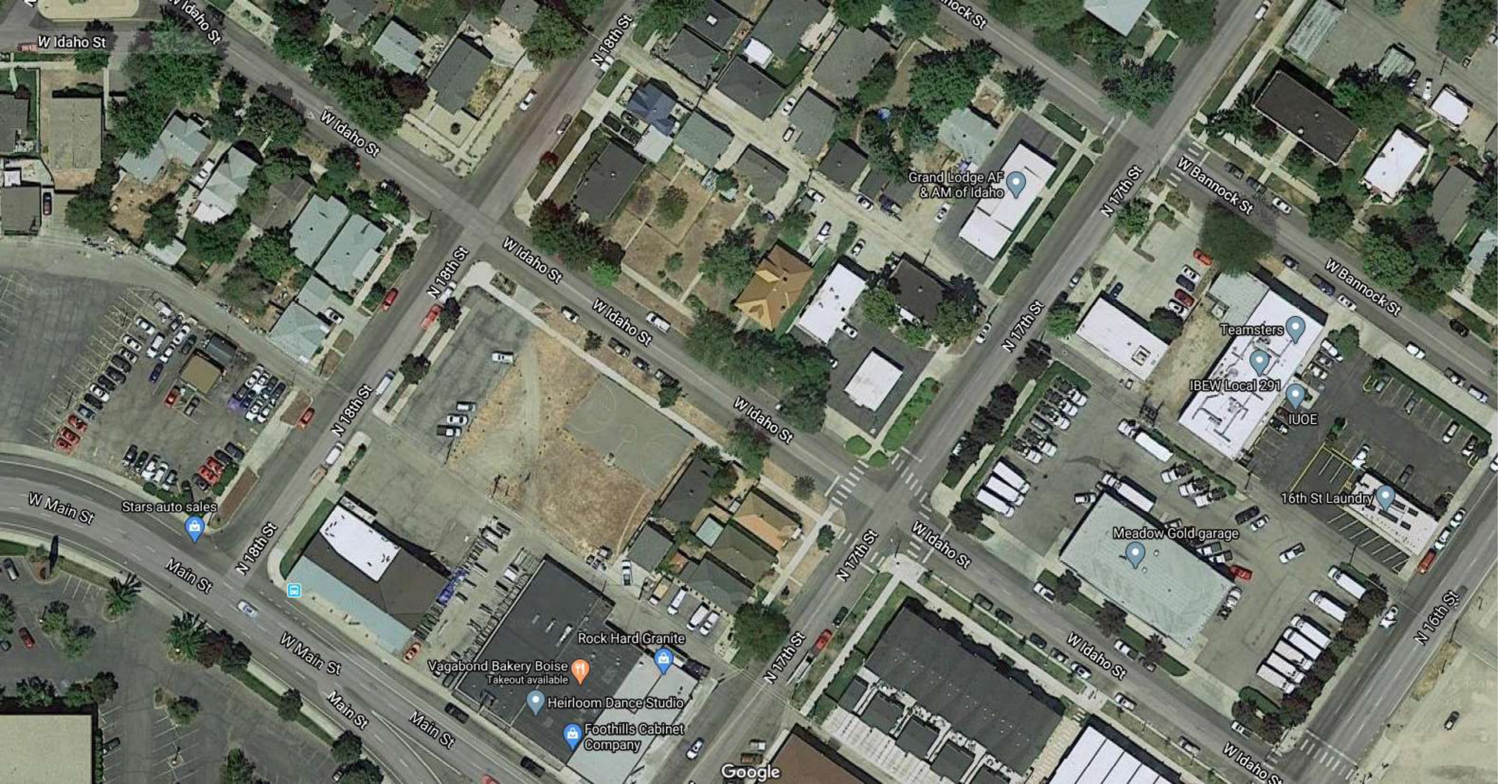
Craig A. Simon, P.E.
Professional Engineer and Environmental Specialist
Boise, Idaho

Date: May 26, 2020

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 1
Topographic Maps and Property Diagrams







Historical Topographic Map Report | 2020

Order Number: 41444

Report Generated: 05/18/2020

Project Name: Phase I ESA 1715 W. Idaho Street,
Boise, Idaho Ada Parcel R5538941262, 0.406
Acres

Project Number:

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID 83702

2 Corporate Drive
Suite 450
Shelton, CT 06484
Toll Free: 866-211-2028
www.envirositecorp.com

Envirosite's Historical Topographic Map Report is designed to assist in evaluating a subject property resulting from past activities. EnviroSite's Historical Topographic Map Report includes a search of USGS historical topographic maps, dating back to the early 1900s.

TOPOGRAPHIC MAPS FOUND:

	<u>Map Name:</u>	<u>Year:</u>	<u>Revision Year:</u>	<u>Scale:</u>	<u>Series:</u>
1.	<u>Boise South</u>	1954	N/R	1 : 24000	7.5
2.	<u>Boise South</u>	1954	N/R	1 : 24000	7.5
3.	<u>Boise</u>	1954	N/R	1 : 62500	7.5
4.	<u>Boise</u>	1954	N/R	1 : 62500	7.5
5.	<u>Boise South</u>	1972	N/R	1 : 24000	7.5
6.	<u>Boise South</u>	1972	N/R	1 : 24000	7.5
7.	<u>Boise South</u>	1972	N/R	1 : 24000	7.5
8.	<u>Boise South</u>	1972	N/R	1 : 24000	7.5
9.	<u>Boise South</u>	2010	N/R	1 : 24000	7.5
10.	<u>Boise South</u>	2013	N/R	1 : 24000	7.5
11.	<u>Boise South</u>	2017	N/R	1 : 24000	7.5
12.	<u>Boise South</u>	2020	N/R	1 : 24000	7.5

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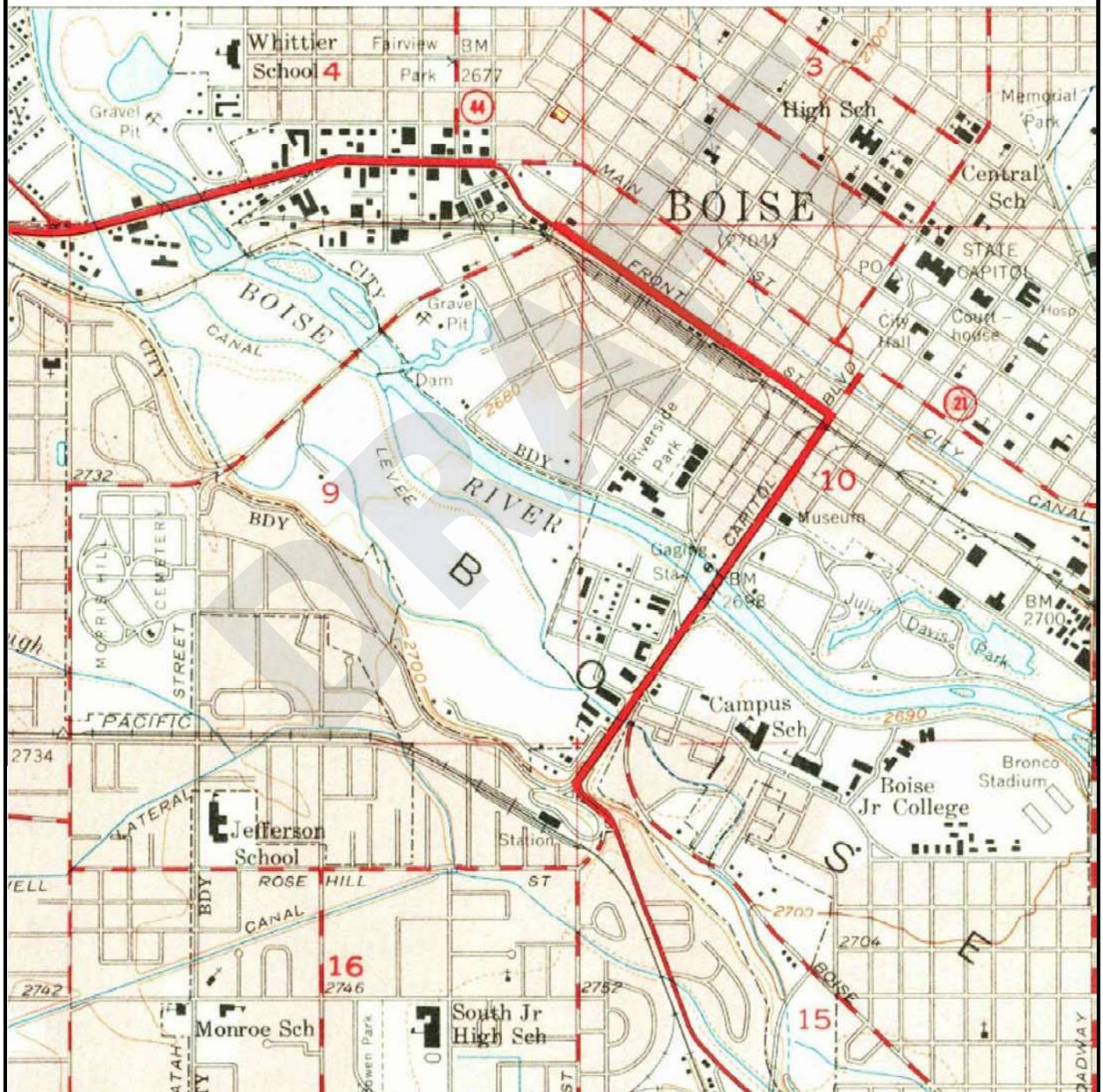
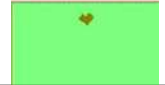
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SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
 ADDRESS: 1715 W Idaho, Boise, ID, 83702
 LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
 ORDER #: 41444
 REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME:	Boise South	MAP YEAR:	1954	REVISION YEAR:	N/R
SERIES:	7.5	SCALE:	1 : 24000	Part	1

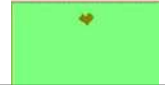


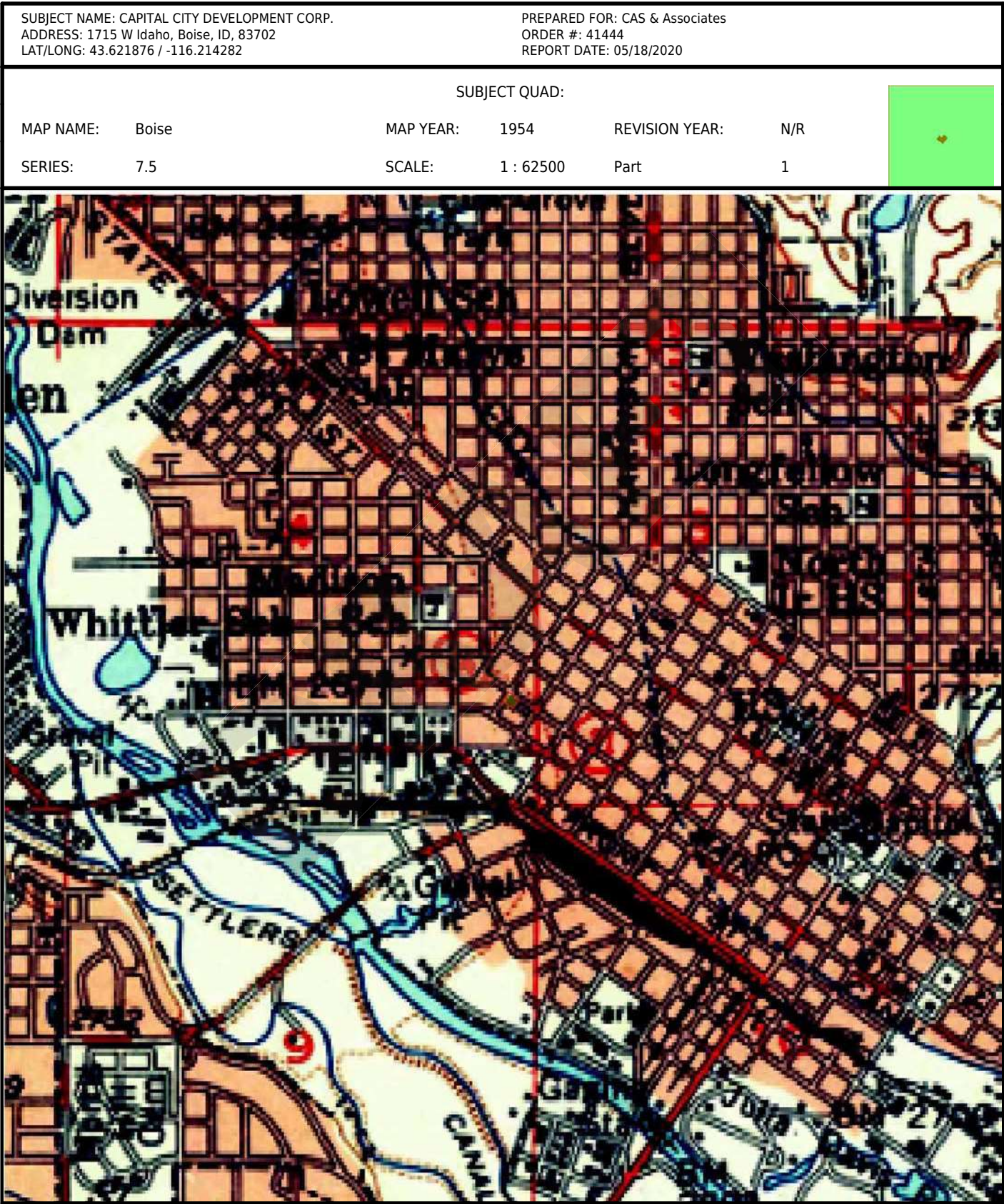
SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
ADDRESS: 1715 W Idaho, Boise, ID, 83702
LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME:	Boise South	MAP YEAR:	1954	REVISION YEAR:	N/R
SERIES:	7.5	SCALE:	1 : 24000	Part	1





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LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME: Boise

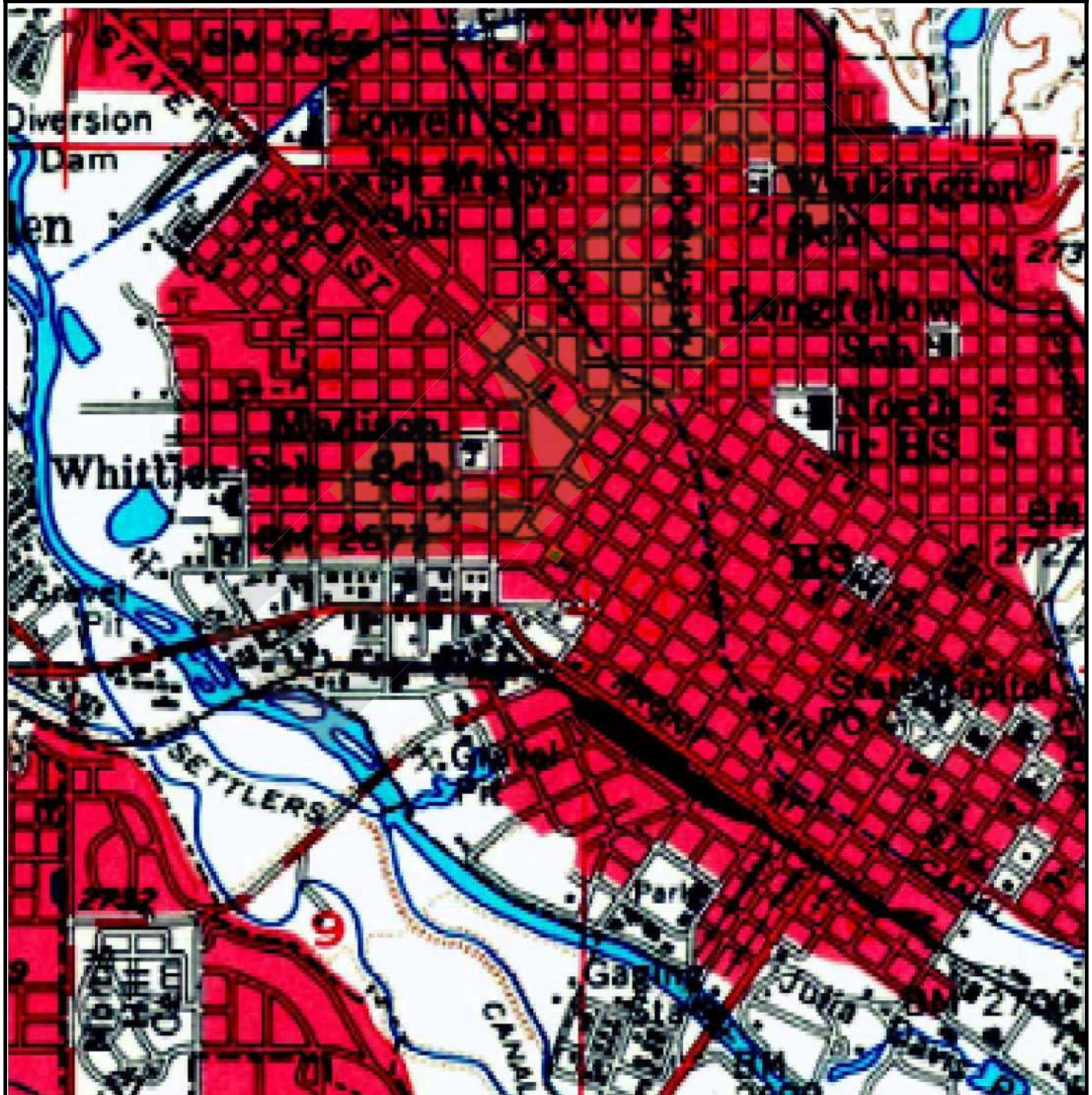
MAP YEAR: 1954

REVISION YEAR: N/R

SERIES: 7.5

SCALE: 1 : 62500

Part 1

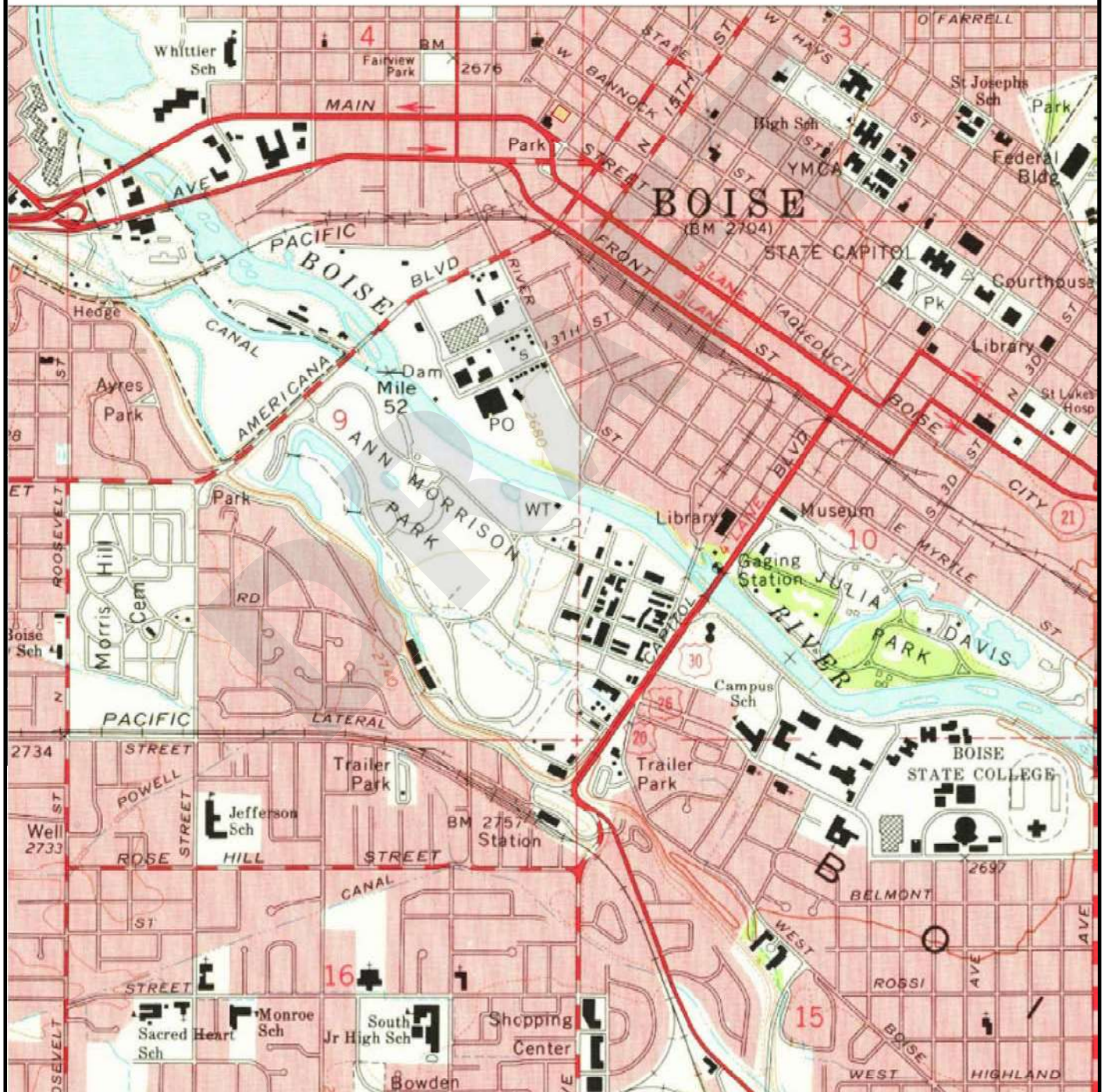
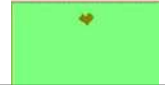


SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
ADDRESS: 1715 W Idaho, Boise, ID, 83702
LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME:	Boise South	MAP YEAR:	1972	REVISION YEAR:	N/R
SERIES:	7.5	SCALE:	1 : 24000	Part	1

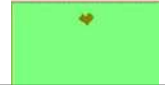


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PREPARED FOR: CAS & Associates
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REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME:	Boise South	MAP YEAR:	1972	REVISION YEAR:	N/R
SERIES:	7.5	SCALE:	1 : 24000	Part	1

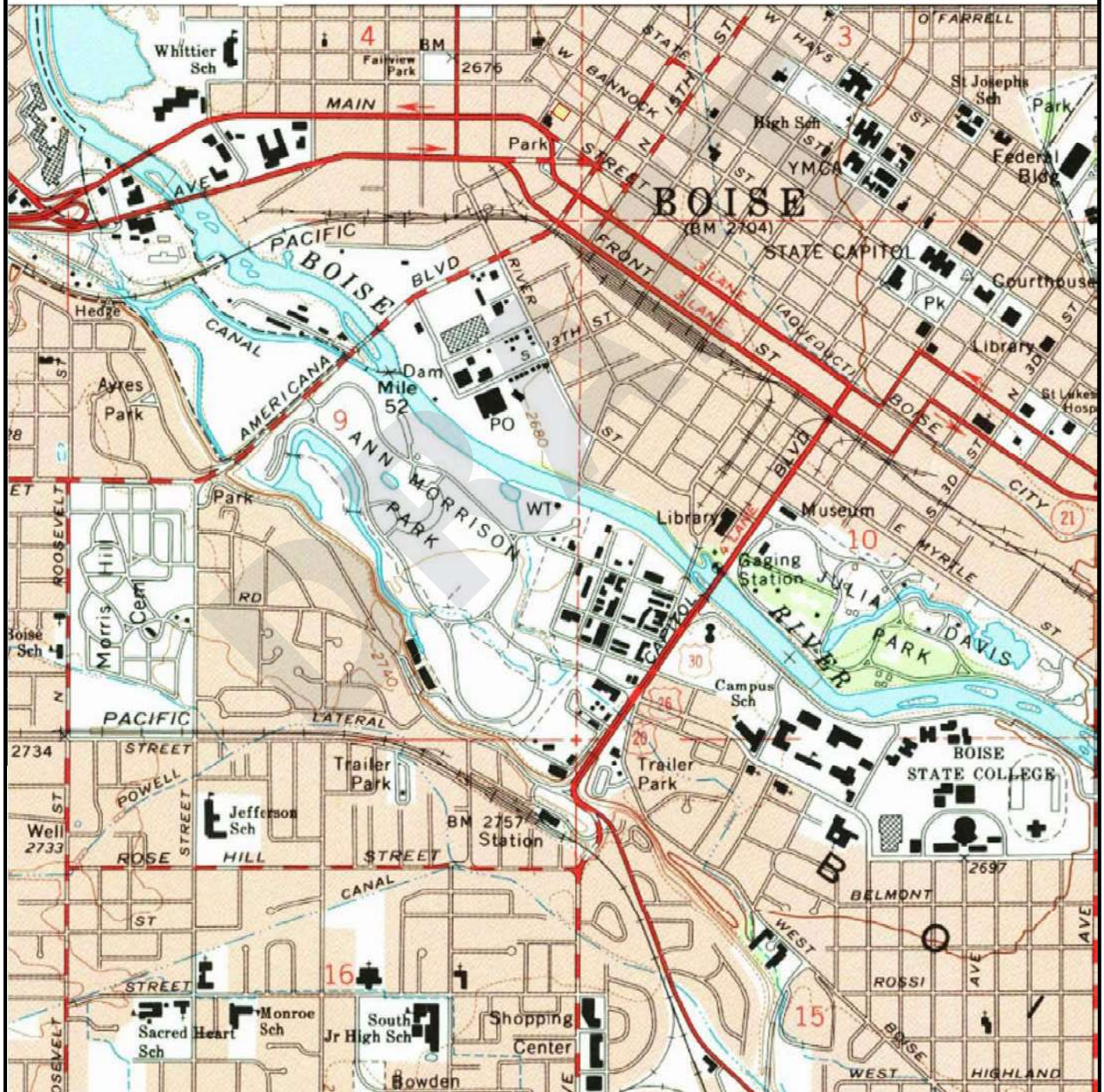
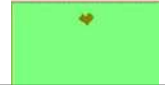


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SERIES:	7.5	SCALE:	1 : 24000	Part	1

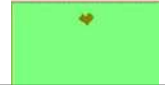


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 REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME:	Boise South	MAP YEAR:	1972	REVISION YEAR:	N/R
SERIES:	7.5	SCALE:	1 : 24000	Part	1



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 LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
 ORDER #: 41444
 REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME: Boise_South

MAP YEAR: 2010

REVISION YEAR: N/R

SERIES: 7.5

SCALE: 1 : 24000

Part 1



SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
ADDRESS: 1715 W Idaho, Boise, ID, 83702
LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME: Boise_South

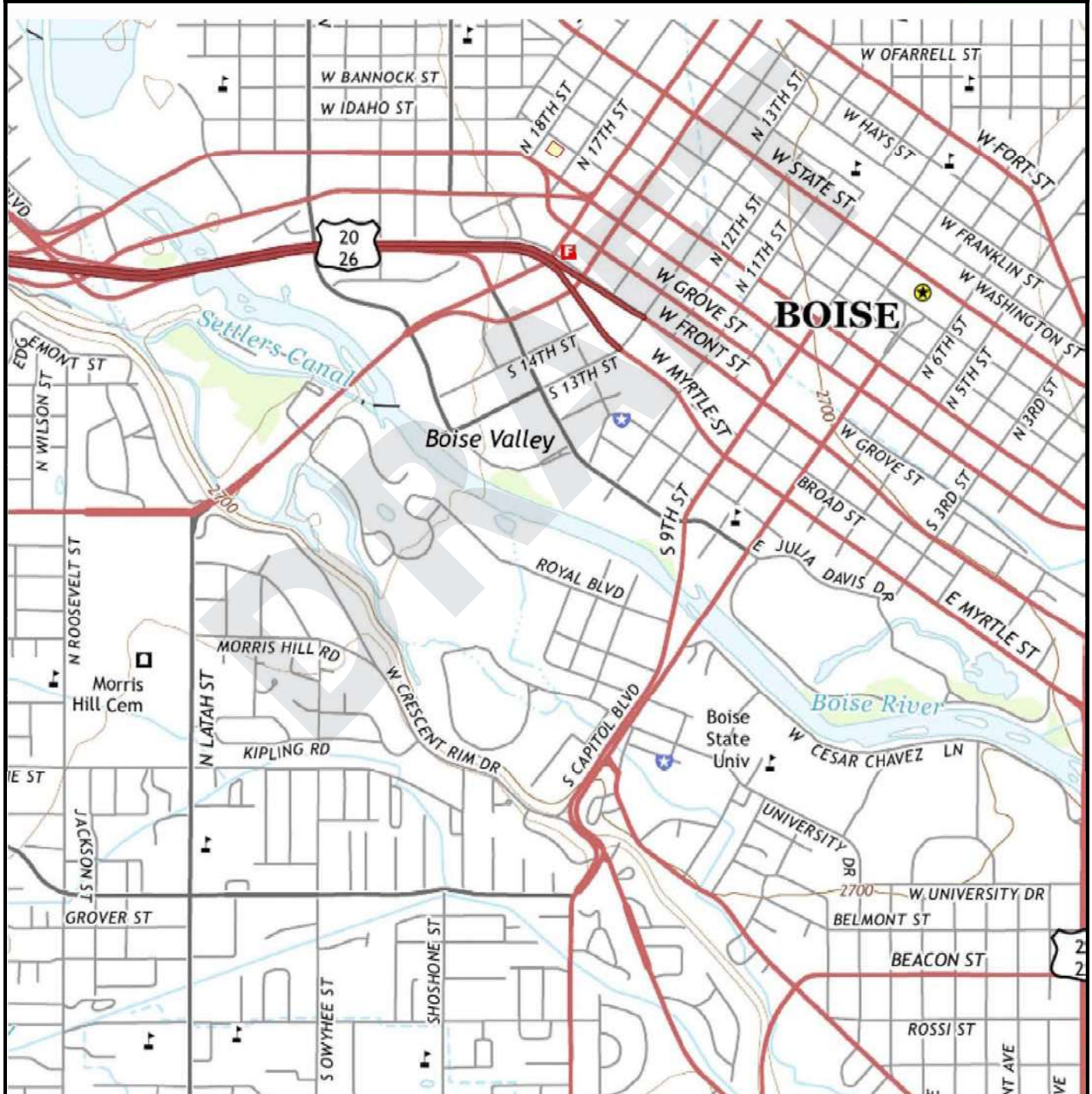
MAP YEAR: 2013

REVISION YEAR: N/R

SERIES: 7.5

SCALE: 1 : 24000

Part 1



SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
 ADDRESS: 1715 W Idaho, Boise, ID, 83702
 LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
 ORDER #: 41444
 REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME: Boise_South

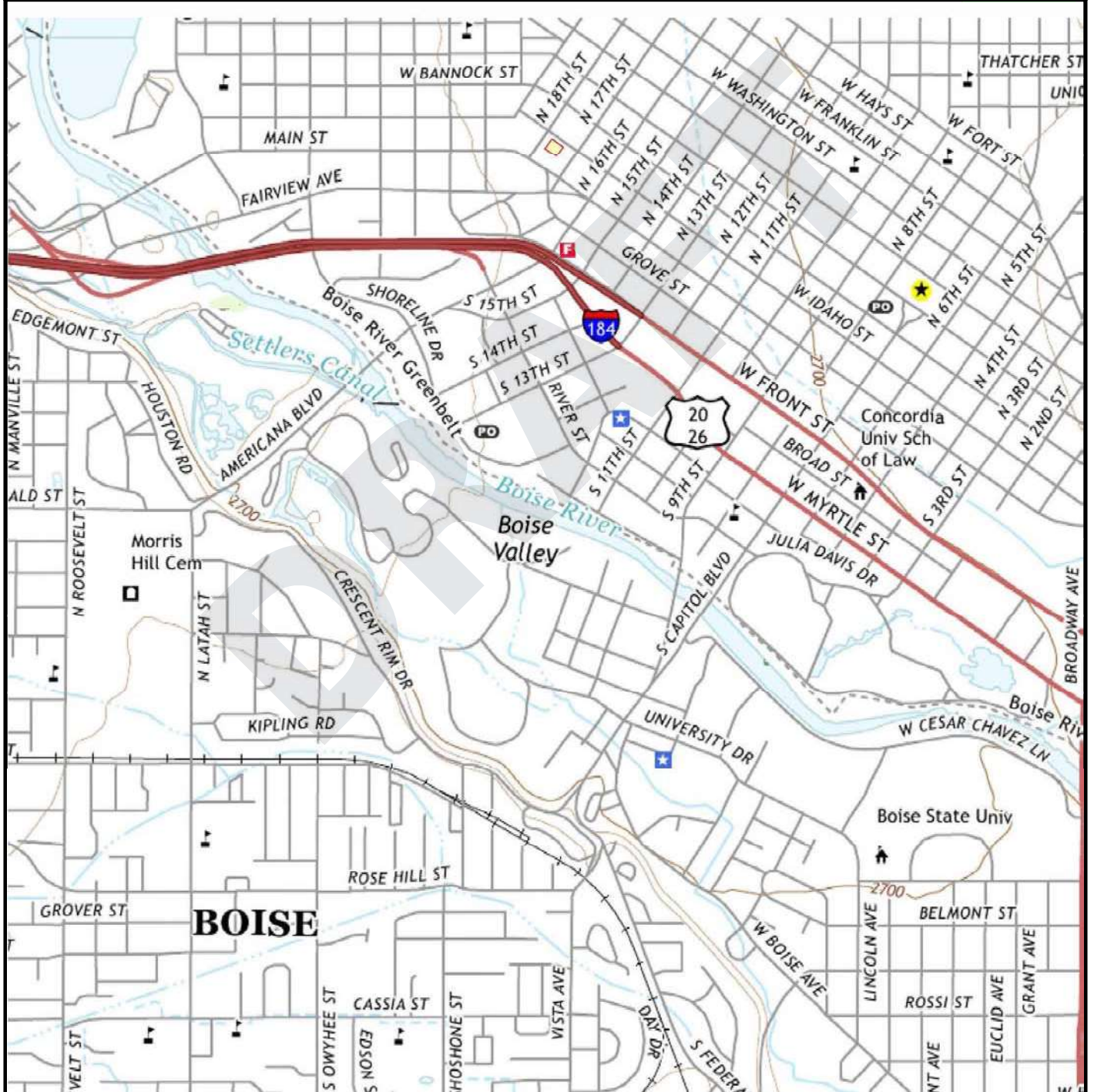
MAP YEAR: 2017

REVISION YEAR: N/R

SERIES: 7.5

SCALE: 1 : 24000

Part 1



SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
ADDRESS: 1715 W Idaho, Boise, ID, 83702
LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: 05/18/2020

SUBJECT QUAD:

MAP NAME: Boise_South

MAP YEAR: 2020

REVISION YEAR: N/R

SERIES: 7.5

SCALE: 1 : 24000

Part 1



Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

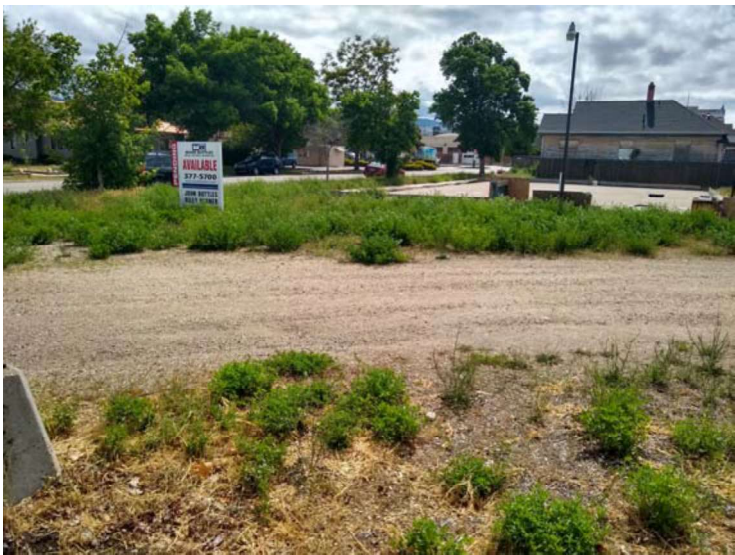
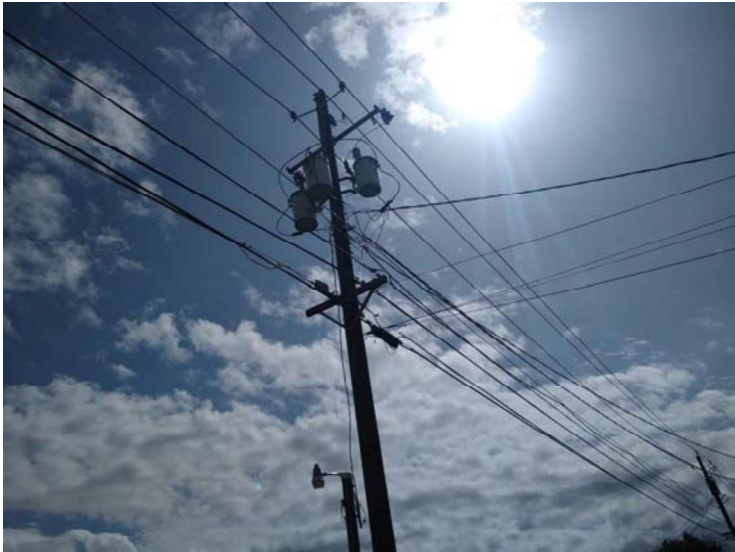
APPENDIX 2

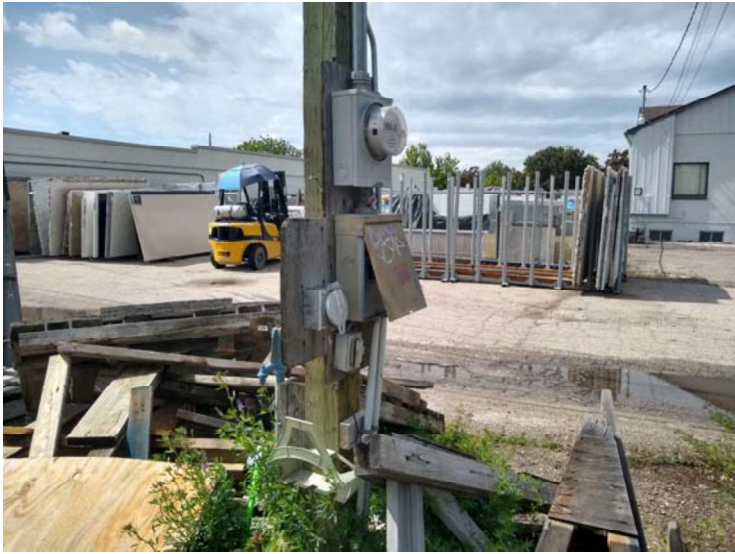
Photographs















Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 3
Supporting Documentation

USER QUESTIONNAIRE
PHASE I ENVIRONMENTAL SITE ASSESSMENT (ESA)

Land Parcel (0.406 +/- Acres)
1715 W. Idaho Street, Boise, Idaho 83702
Ada County Assessor Parcel: R5568941262

1. Are you aware of any environmental cleanup liens against the subject property that are filed or recorded under federal, tribal, state or local law? Unaware
2. Are you aware of any <i>Activity and Use Limitations (AULs)</i> , such as engineering controls, land use restrictions or institutional controls that are in place at the subject property and/or have been filed or recorded in a registry under federal, tribal, state or local law? Unaware
3. Do you have any <i>special knowledge</i> or experience related to the subject property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the subject property as that you would have specialized knowledge of the chemicals and processes used by this type of business? Unknown
4. Does the purchase price being paid for the subject property reasonably reflect the <i>fair market value</i> of the subject property? If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the subject property? Price reasonably reflects fair market value, per appraisal.
5. Are you aware of <i>commonly known or reasonably ascertainable</i> information about the subject property that would help to identify conditions indicative of releases or threatened releases? For example: a. Do you know the past uses of the subject property? Known only as vacant land b. Do you know of specific chemicals that are present or once were present at the subject property? Unknown c. Do you know of spills or other chemical releases that have taken place at the subject property? Unknown d. Do you know of any environmental cleanups that have taken place at the subject property? Unknown
6. Based on your knowledge and experience related to the subject property, are there any <i>obvious indicators</i> that point to the presence or likely presence of contamination at the subject property? No knowledge of obvious indicators

By: Brady Shinn  Digitally signed by Brady Shinn
Date: 2020.05.20 13:33:48-06'00'

Name: _____

Title: _____

Date: _____

ENVIRONMENTAL PRE-SURVEY QUESTIONNAIRE

Please complete this questionnaire to the best of your ability and return either to the originating email address or provide to the assessor at the time of the site survey. This questionnaire is to assist in our evaluation of the Property.

PROPERTY OVERVIEW			
Property Name:			
Property Address:			
Parcel No.:		Lot Size (Acres):	
No. Buildings & Units:		Year Built:	
Building Area (SF):		No. of Parking Spaces:	
Current Use of the Property:			
MANAGEMENT DETAILS			
	Name	Telephone	E-mail
Property Owner			
Property Manager			
Maintenance Supervisor			
UTILITY PROVIDERS AND WASTE HANDLERS			
Potable Water:		Sanitary Sewer:	
Electricity:		Domestic Waste:	
Natural Gas:		Hazardous Waste:	
Fuel Oil:		Biohazard Waste:	
PREVIOUS STUDIES			
Please indicate whether the following environmental investigations have previously been performed at the Property and provide related documentation:			
<input type="checkbox"/> - Phase I ESA	<input type="checkbox"/> - Phase II Subsurface Investigation	<input type="checkbox"/> - Environmental compliance audit	
<input type="checkbox"/> - Tank tightness testing	<input type="checkbox"/> - Remediation reports	<input type="checkbox"/> - NFA or NFR letter	
<input type="checkbox"/> Asbestos survey	<input type="checkbox"/> Lead-based paint survey	<input type="checkbox"/> Radon testing	
<input type="checkbox"/> Lead in drinking water testing	<input type="checkbox"/> Mold testing	<input type="checkbox"/> Wetlands delineation	

ENVIRONMENTAL PRE-SURVEY QUESTIONNAIRE

PERMITS & REGISTRATIONS

Indicate if property has any of the following permits or registrations and provide related documentation.

- ☐ - NPDES or discharge permit
 ☐ - Boiler
 ☐ - Wastewater
☐ - Storage Tank
 ☐ - Material Safety Data Sheets
 ☐ - Other

AAI USER QUESTIONS

	Yes	No
1. Are you aware of environmental cleanup liens against the Property that are filed or recorded under federal, tribal, state or local law?	<input type="checkbox"/>	<input type="checkbox"/>
2. Are you aware of Activity and Use Limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the Property and/or have been filed or recorded in a registry under federal, tribal, state or local law?	<input type="checkbox"/>	<input type="checkbox"/>
3. Do you have any specialized knowledge or experience related to the Property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the Property or an adjoining property so that you would have specialized knowledge of the chemicals and process used by this type of business?	<input type="checkbox"/>	<input type="checkbox"/>
4. Relationship of the purchase price to fair market value		
a. Does the purchase price being paid for the Property reasonably reflect the fair market value of the Property?	<input type="checkbox"/>	<input type="checkbox"/>
b. If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the Property?	<input type="checkbox"/>	<input type="checkbox"/>
5. Are you aware of commonly known or reasonable ascertainable information about the Property that would help the environmental professional to identify conditions indicative of release or threatened release? For example,		
a. Do you know the past uses of the Property?	<input type="checkbox"/>	<input type="checkbox"/>
b. Do you know the specific chemicals that are present or once were present at the Property?	<input type="checkbox"/>	<input type="checkbox"/>
c. Do you know of spills or other chemical releases that have taken place at the Property?	<input type="checkbox"/>	<input type="checkbox"/>
d. Do you know of environmental cleanups that have taken place at the Property?	<input type="checkbox"/>	<input type="checkbox"/>
e. Are you aware of historical/present use of hazardous materials or petroleum products on the Property?	<input type="checkbox"/>	<input type="checkbox"/>
f. Do you know if the Property is currently or was formerly equipped with underground storage tanks (USTs) or septic tanks?	<input type="checkbox"/>	<input type="checkbox"/>
g. Do you know of past, threatened or pending lawsuits or administrative proceedings concerning a release of threatened release of hazardous substance or petroleum products involving the Property by any owner or occupant of the Property?	<input type="checkbox"/>	<input type="checkbox"/>
6. Based on your knowledge and experience related to the Property, are there obvious indicators that point to the presence or likely presence of contamination at the Property?	<input type="checkbox"/>	<input type="checkbox"/>

ENVIRONMENTAL PRE-SURVEY QUESTIONNAIRE

CURRENT AND PRIOR USES

Indicate whether the following activities occur or have occurred at the Property:

- | | | |
|---|---|--|
| <input type="checkbox"/> Gas station | <input type="checkbox"/> Dry cleaning | <input type="checkbox"/> Metal fabrication |
| <input type="checkbox"/> Metal plating | <input type="checkbox"/> Auto repair/wrecking/salvaging | <input type="checkbox"/> Manufacturing |
| <input type="checkbox"/> Painting | <input type="checkbox"/> Commercial printing | <input type="checkbox"/> Chemical processing |
| <input type="checkbox"/> Photo developing | <input type="checkbox"/> Mining, milling or processing | <input type="checkbox"/> Medical/Dental operations |
| <input type="checkbox"/> Liquid or solid waste disposal | <input type="checkbox"/> Recycling (other than typical) | <input type="checkbox"/> Landfill |

OTHER ENVIRONMENTAL ITEMS OF INTEREST

Indicate which of the following are present, or have been present, at the Property.

- | | | |
|--|---|---|
| <input type="checkbox"/> Hazardous waste storage | <input type="checkbox"/> Parts washer | <input type="checkbox"/> Unusual odors |
| <input type="checkbox"/> Pools of liquids | <input type="checkbox"/> Drums or containers >30 gallons | <input type="checkbox"/> Interior stains or corrosion |
| <input type="checkbox"/> Drains, sumps or clarifiers | <input type="checkbox"/> Pits, ponds or lagoons | <input type="checkbox"/> Stained soil or pavement |
| <input type="checkbox"/> Distressed vegetation | <input type="checkbox"/> Solid waste (batteries, tires, etc.) | <input type="checkbox"/> Fill dirt |
| <input type="checkbox"/> Waste water treatment | <input type="checkbox"/> Drinking or irrigation wells | <input type="checkbox"/> Monitoring wells |
| <input type="checkbox"/> Oil or gas wells | <input type="checkbox"/> Dry wells | <input type="checkbox"/> Septic systems |
| <input type="checkbox"/> Underground storage tanks | <input type="checkbox"/> Aboveground storage tanks | <input type="checkbox"/> Electrical transformers/capacitors |
| <input type="checkbox"/> Hydraulic lifts/equipment | <input type="checkbox"/> Other potentially relevant item: | |

COMMENTS

Please describe known or suspected environmental concerns at the Property, whether originating from the Property or an adjoining property, as well as former environmental concerns that has been address to the satisfaction of the regulatory agencies.

PREPARER

The above information is true and complete to the best of my knowledge and belief:

Signature

Date _____

Name

Telephone

Company

E-mail

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 4
Regulatory Records



Government Records Report | 2020

Order Number: 41444

Report Generated: 05/18/2020

Project Name: Phase I ESA 1715 W. Idaho Street,
Boise, Idaho Ada Parcel R5538941262, 0.406
Acres

Project Number:

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID 83702

2 Corporate Drive
Suite 450
Shelton, CT 06484
Toll Free: 866-211-2028
www.envirositecorp.com

Section	Page
<u>Executive Summary</u>	<u>1</u>
<u>Executive Summary by Distance</u>	<u>2</u>
<u>Executive Summary by Database</u>	<u>9</u>
<u>Property Proximity Map</u>	<u>27</u>
<u>Area Map</u>	<u>28</u>
<u>Map Findings Summary</u>	<u>29</u>
<u>Map Findings</u>	<u>34</u>
<u>Unmappable Summary</u>	<u>775</u>
<u>Environmental Records Searched</u>	<u>776</u>
<u>Geological Landscape Section</u>	<u>794</u>
<u>Geological Landscape Section Soil Map</u>	<u>797</u>
<u>Geological Landscape Section Summary</u>	<u>798</u>
<u>Geological Findings Map</u>	<u>810</u>
<u>Geological Landscape Section Map Findings</u>	<u>811</u>
<u>Geological Landscape Section Map Findings Radon</u>	<u>1419</u>
<u>Geological Landscape Records Searched</u>	<u>1420</u>

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Envirosite Corporation has conducted a search of all reasonably ascertainable records in accordance with EPA's AAI (40 CFR Part 312) requirements and the ASTM E-1527-13 Environmental Site Assessments standard.

SUBJECT PROPERTY INFORMATION:

ADDRESS:

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID 83702

COORDINATES:

Latitude (North):	43.621876 - 43°37'18.8"
Longitude (West):	-116.214282 - -116°12'51.4"
Universal Transverse Mercator:	Zone 11N
UTM X (Meters):	563393.03
UTM Y (Meters):	4830176.77

ELEVATION:

Elevation:	2682.271 ft. above sea level
------------	------------------------------

USGS TOPOGRAPHIC MAP ASSOCIATED WITH SUBJECT PROPERTY:

Subject Property Map: 43116-E2 Boise South, ID
Most Recent Revision: 2017

<u>MAP ID</u>	<u>SITE NAME</u>	<u>ADDRESS</u>	<u>DATABASE(S)</u>	<u>RELATIVE ELEVATION</u>	<u>DIRECTION / DISTANCE</u>
1	MEADOW GOLD DAIRIES	208 N 17TH ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	E / 0.042 mi.
2	KBCI-TV	140 N 16TH ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	ESE / 0.102 mi.
3	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Lower	SW / 0.111 mi.
4	ALS CAR CARE INC GROVE	1645 GROVE ST	ALL SITES - ID, ECHO, FRS, RCRA_VSQQ, SHW...	Lower	S / 0.116 mi.
5	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	W / 0.141 mi.
6	ALSCOTT PROPERTY	NE CORNER 17TH ST & FRONT...	ALL SITES - ID	Lower	SSW / 0.149 mi.
A7	EYES OF THE WORLD	1576 W GROVE ST	ALL SITES - ID, BROWNFIELDS - ID, SHWS - ID	Higher	SSE / 0.150 mi.
A8	FORMER ECONOMY CLEANERS AND L...	1576 W GROVE ST	ECHO, FRS, RCRA_NONGEN	Higher	SSE / 0.150 mi.
A9	IDAHO TRUST BANK	SE CORNER 16 ST & GROVE S...	ALL SITES - ID	Lower	SSE / 0.152 mi.
A10	1576 WEST GROVE	1576 WEST GROVE	BROWNFIELDS-ACRES, FED BROWNFIELDS, FRS	Lower	SSE / 0.152 mi.
A11	DEAN'S GOODYEAR TIRE CENTER	1515 GROVE ST	FA - ID, UST - ID	Higher	SSE / 0.173 mi.
B12	BOISE FIRE STATION #5	212 S 16TH ST	FA - ID, UST - ID	Lower	S / 0.175 mi.
B13	FRONT STREET STATION #22	1600 FRONT	FA - ID, LUST - ID, UST - ID	Lower	S / 0.177 mi.
B14	FRONT ST STATION NO 22	1600 FRONT	ALL SITES - ID	Lower	S / 0.177 mi.
B15	BOISE FIRE STATION NO 5	212 S 16TH ST	ALL SITES - ID	Lower	S / 0.177 mi.
A16	DEANS GOODYEAR TIRE CENTER	1515 GROVE ST	ALL SITES - ID	Higher	SSE / 0.185 mi.
B17	MCGUFFIN FUEL & FEED	1601 FRONT ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Lower	S / 0.185 mi.
C18	FAIRLY RELIABLE BOB'S	2304 MAIN ST	ALT FUELING	Lower	W / 0.196 mi.
D19	CARTRIDGE WORLD	1786 W. STATE STREET	SWRCY - ID	Higher	NE / 0.203 mi.
C20	FAIRLY RELIABLE BOBS	2304 W MAIN ST	ALL SITES - ID, ECHO, FA - ID, FRS, LUST - ID, ...	Lower	W / 0.204 mi.
C21	STINKER STORE #23	2323 W MAIN ST	ALT FUELING	Lower	W / 0.204 mi.
E22	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SSE / 0.205 mi.
F23	CCDC 2	1413 W. IDAHO ST.	FED BROWNFIELDS, FRS	Higher	ESE / 0.206 mi.
E24	ALLOWAY LIGHTING	1420 W GROVE ST	ALL SITES - ID, SHWS - ID	Higher	SE / 0.212 mi.
D25	17TH & STATE ST MARKETPLACE	NW CORNER OF 17TH & STATE...	ALL SITES - ID, SHWS - ID	Higher	NE / 0.222 mi.
F26	WATERCOOLER BUILDING	1401 W IDAHO ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	ESE / 0.224 mi.
F27	CCDC 1	1401 W. IDAHO ST.	FED BROWNFIELDS, FRS	Higher	ESE / 0.224 mi.
E28	FARM STORE	1414 GROVE	ALL SITES - ID, BROWNFIELDS - ID, FA - ID, US...	Higher	SE / 0.224 mi.
E29	FARM STORE - AKA BIG CITY COFFEE	1414 W. GROVE STREET	BROWNFIELDS-ACRES, FED BROWNFIELDS	Higher	SE / 0.224 mi.
E30	THE FARM STORE SITE	1414 W. GROVE STREET	FED BROWNFIELDS	Higher	SE / 0.224 mi.
G31	NORTH END 76	1522 STATE ST	FA - ID, UST - ID	Higher	ENE / 0.237 mi.
G32	JUNG ENTERPRISES	1522 STATE ST	ALL SITES - ID, FA - ID, HIST UST - ID	Higher	ENE / 0.237 mi.
C33	STINKER STORE #23	2323 MAIN	FA - ID, UST - ID	Lower	W / 0.237 mi.
C34	STINKER STATION NO 23	2323 MAIN	ALL SITES - ID	Lower	W / 0.237 mi.
H35	L & L FURNITURE INC	2310 W FAIRVIEW AVE	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.237 mi.
H36	L & L FURNITURE	2310 FAIRVIEW	FA - ID, LUST - ID, UST - ID	Lower	WSW / 0.237 mi.
E37	AMERICAN LINEN	1402 GROVE	FA - ID, LUST - ID, UST - ID	Higher	SE / 0.246 mi.
E38	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	ALL SITES - ID, BROWNFIELDS - ID, SHWS - ID	Higher	SE / 0.246 mi.

MAP ID	SITE NAME	ADDRESS	DATABASE(S)	RELATIVE ELEVATION	DIRECTION / DISTANCE
I39	GALEN BLANC AUTO BODY	503 AMERICANA BLVD	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	SSW / 0.255 mi.
E40	STIENER CORP - AMERICAN LINEN	1402 E GROVE ST	ALL SITES - ID, BROWNFIELDS - ID, SHWS - ID	Higher	SE / 0.256 mi.
E41	AMERICAN LINEN	1402 EAST GROVE STREET	BROWNFIELDS-ACRES, FED BROWNFIELDS	Higher	SE / 0.256 mi.
I42	AUTOMATED OFFICE SYSTEMS	1620 W RIVER ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	SW / 0.259 mi.
C43	VALLEY GLASS CO	105 N 24TH ST	ALL SITES - ID, SHWS - ID	Lower	W / 0.259 mi.
I44	WHOLESALE BRAKE SUPPLY	521 AMERICANA BLVD	ALL SITES - ID, FA - ID, UST - ID	Lower	SSW / 0.259 mi.
J45	STATE ST AUTO REPAIR	1423 W STATE ST	ALL SITES - ID	Higher	E / 0.276 mi.
E46	OAKLEY-MOODY SERVICE INC	1375 WEST GROVE STREET	ALL SITES - ID, SHWS - ID	Higher	SE / 0.280 mi.
J47	CHEVRON USA INC SS 94698	1470 W STATE ST	ALL SITES - ID, ECHO, FRS, RCRA_VSQG, SHW...	Higher	E / 0.281 mi.
48	7-ELEVEN NO 12976	2050 STATE ST	ALL SITES - ID	Higher	N / 0.282 mi.
K49	IDAHO POWER CO (2)	1301 MAIN ST	ALL SITES - ID, FA - ID, UST - ID	Higher	SE / 0.283 mi.
H50	COB 4	2403 W. FAIRVIEW AVENUE	FED BROWNFIELDS, FRS	Lower	WSW / 0.284 mi.
J51	NORTH END CHEVRON	1470 W STATE	FA - ID, LUST - ID, UST - ID	Higher	E / 0.284 mi.
I52	UNION PACIFIC RR CAWD WALLACE	1700 RIVER ST	ALL SITES - ID	Lower	SSW / 0.288 mi.
H53	GILLINGHAM CONSTRUCTION	301 S 24TH ST	ALL SITES - ID, BROWNFIELDS - ID, FA - ID, LU...	Lower	WSW / 0.289 mi.
I54	GOODMAN OIL (E) (BOISE - AMERICAN...	605 AMERICANA BLVD	ALL SITES - ID	Lower	SSW / 0.291 mi.
H55	THOROUGHbred COLLISION CENTER	308 S 24TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.293 mi.
I56	ADAMS PAINT	1522 W RIVER ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	SSW / 0.297 mi.
I57	GOODMAN OIL (E)	605 AMERICANA BLVD	FA - ID, LUST - ID, UST - ID	Lower	SW / 0.299 mi.
K58	IDAHO POWER CO (4)	1321 MAIN ST	ALL SITES - ID, FA - ID, UST - ID	Higher	SE / 0.303 mi.
59	WESTCO MARTINIZING W WASHINGTON	1503 W WASHINGTON ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ENE / 0.305 mi.
H60	COB 5	2419 W. FAIRVIEW AVENUE	FED BROWNFIELDS, FRS	Lower	W / 0.310 mi.
L61	IDAHO POWER CO PETERSON PARKIN...	1201 W MAIN ST	ALL SITES - ID, ECHO, FRS, RAATS, RCRA_NON...	Higher	ESE / 0.331 mi.
M62	ORIDA INVESTMENT CORP	219 S 13TH	ALL SITES - ID, FA - ID, UST - ID	Higher	SE / 0.338 mi.
N63	SEARS ROEBUCK AND CO	407 N 13TH ST	FA - ID, LUST - ID, UST - ID	Higher	E / 0.349 mi.
N64	SEARS NO 4138	407 N 13TH ST	ALL SITES - ID, ECHO, FRS, RAATS, RCRA_NON...	Higher	E / 0.349 mi.
O65	ROUNDTREE LINCOLN MERCURY OLD	2510 W FAIRVIEW AVE (AKA2...	ALL SITES - ID, SHWS - ID	Lower	W / 0.357 mi.
M66	UNION PACIFIC RR (CAPITAL STATION)...	13TH & FRONT ST	ALL SITES - ID, SHWS - ID	Higher	SE / 0.359 mi.
M67	ADA CNTY HWY DIST S 13TH	301 S 13TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SE / 0.360 mi.
68	FORMER URBAN ASCENT	308 S 25TH ST	ALL SITES - ID, BROWNFIELDS - ID	Lower	WSW / 0.362 mi.
M69	FUEL WEST	317 S 13TH ST	ALL SITES - ID, FA - ID, UST - ID	Higher	SSE / 0.364 mi.
O70	SERVICE CITY AUTO PAINT	2541 W FAIRVIEW AVE	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	W / 0.367 mi.
M71	TERTIARY INC	1220 FRONT ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SE / 0.369 mi.
O72	CHARLIES AUTO PAINTING	2555 W FAIRVIEW AVE	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	W / 0.376 mi.
L73	IDAHO POWER CO (3)	1218 MAIN ST	ALL SITES - ID, FA - ID, UST - ID	Higher	ESE / 0.377 mi.
P74	IDAHO ELECTROPLATING	2518 W MAIN ST	ALL SITES - ID	Lower	W / 0.382 mi.
O75	FORMER BOISE INDEPENDENT SD SITE	2501 W FAIRVIEW AVE	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	W / 0.383 mi.
76	GREYHOUND LINES TERMINAL	1212 BANNOCK ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	ESE / 0.385 mi.

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L77	PETERSON MOTOR CO	1201 MAIN ST	FA - ID, LUST - ID, UST - ID	Higher	ESE / 0.388 mi.
Q78	HOSAC TOWNHOUSE - CITY SIDE LOFTS	13TH ST AND MYRTLE	ALL SITES - ID, BROWNFIELDS - ID	Higher	SSE / 0.395 mi.
P79	CHEVRON USA INC NO 94466	2600 MAIN ST	ALL SITES - ID	Lower	W / 0.397 mi.
R80	CHEVRON USA INC BOISE BULK PLANT	403 S 25TH ST	ALL SITES - ID, ECHO, FRS, SHWS - ID	Lower	WSW / 0.398 mi.
R81	HUNTER OIL CO INC	403 S 25TH ST	ALL SITES - ID, SHWS - ID	Lower	WSW / 0.398 mi.
82	KMART NO 4078	730 AMERICANA BLVD	ALL SITES - ID	Lower	SW / 0.398 mi.
Q83	SABALA BROS & CO	415 S 13TH	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SSE / 0.401 mi.
84	IDAHO POWER CO (1)	805 S 17TH	ALL SITES - ID, FA - ID, UST - ID	Higher	NE / 0.410 mi.
L85	ADA CNTY HWY DIST OWYHEE PLAZA	1109 W MAIN ST	ALL SITES - ID, SHWS - ID	Higher	ESE / 0.414 mi.
86	H & H CAR CARE	1185 W GROVE ST	ALL SITES - ID, SHWS - ID	Higher	SE / 0.417 mi.
S87	THRIFTWAY LUMBER	2619 FAIRVIEW AVE	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Lower	W / 0.418 mi.
Q88	TORRANCE FUEL & ICE	MYRTLE ST BETWEEN 13TH AN...	FA - ID, LUST - ID, UST - ID	Higher	SSE / 0.425 mi.
Q89	TORRANCE FUEL & ICE	MYRTLE ST BETWEEN 13TH &...	ALL SITES - ID	Higher	SSE / 0.425 mi.
S90	ST. LUKE'S R.M.C. (FAIRVIEW)	2619 FAIRVIEW AVE	LUST - ID, UST - ID	Lower	W / 0.429 mi.
T91	HI TECH COLOR	1115 W GROVE ST	ALL SITES - ID, ECHO, FRS, HAZNET - CA, RCR...	Higher	SE / 0.435 mi.
R92	ACHD (OLD) URBAN SHOP	828 S 17TH ST	FA - ID, LUST - ID, UST - ID	Lower	WSW / 0.436 mi.
R93	ADA CNTY HWY DIST S 17TH	828 S 17TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.436 mi.
S94	TARGET MITSUBISHI	2618 FAIRVIEW	ALL SITES - ID, FA - ID, UST - ID	Lower	W / 0.443 mi.
T95	GOODMAN OIL (H)	1101 GROVE	FA - ID, LUST - ID, UST - ID	Higher	SE / 0.453 mi.
T96	ADA CNTY HWY DIST GROVE	1101 GROVE ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SE / 0.467 mi.
U97	IDAHO INDUSTRIAL SUPPLY	107 W 27TH ST	ALL SITES - ID, FA - ID, LUST - ID	Lower	W / 0.470 mi.
U98	INTEGRA INFORMATION SYSTEMS	101 S 27TH ST	ALL SITES - ID, SHWS - ID	Lower	W / 0.470 mi.
V99	BOISE CITY SHOP	825 S 17TH ST	FA - ID, LUST - ID, UST - ID	Lower	WSW / 0.471 mi.
V100	BOISE CITY FLEET SERVICES	825 S 17TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.471 mi.
T101	1100 West Front Street	1100 West Front Street	FED BROWNFIELDS, FRS, TRIBAL BROWNFIELDS	Higher	SE / 0.472 mi.
T102	ATWELL MARIE L	1100 W FRONT ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.472 mi.
T103	AAMCO TRANSMISSIONS	217 S 11TH	FA - ID, LUST - ID, UST - ID	Higher	SE / 0.474 mi.
W104	ROCKY MOUNTAIN BANK NOTE	760 S 14TH ST	ALL SITES - ID, ECHO, FRS, RAATS, RCRA_NON...	Lower	SSW / 0.475 mi.
U105	FAST FILL CORP	2704 W MAIN ST	ALL SITES - ID, FA - ID, UST - ID	Lower	W / 0.476 mi.
106	REACO INC	2700 IDAHO ST	ALL SITES - ID, FA - ID, UST - ID	Lower	W / 0.478 mi.
W107	ROCKY MTN BANK NOTE CO	760 S. 14TH	CERCLIS NFRAP, SEMS_8R_ARCHIVED SITES	Lower	SSW / 0.478 mi.
U108	MAVERIK COUNTRY STORE #205	2710 MAIN ST	FA - ID, LUST - ID, UST - ID	Lower	W / 0.479 mi.
U109	MAVERIK COUNTRY STORE NO 205	2710 MAIN ST	ALL SITES - ID	Lower	W / 0.479 mi.
T110	AAMCO TRANSMISSIONS	217 S 11TH ST	ALL SITES - ID	Higher	SE / 0.480 mi.
X111	OLD MIDAS SHOP	277 S 27TH ST	ALL SITES - ID, BROWNFIELDS - ID, SHWS - ID	Lower	WSW / 0.484 mi.
X112	OLD MIDAS SHOP	277 S. 27TH STREET	FED BROWNFIELDS, FRS	Lower	WSW / 0.484 mi.
Y113	INDUSTRIAL INDEMNITY INSURANCE CO	1471 SHORELINE DR	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	SW / 0.501 mi.
V114	BOISE FIRE DEPT MAINTENANCE	1791 W SHORELINE DR (1050...	ALL SITES - ID, SHWS - ID	Lower	WSW / 0.510 mi.

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115	USPS BOISE VMF	770 S 13TH ST	ALL SITES - ID, ECHO, FRS, RCRA_VSQG, SHW...	Lower	SSW / 0.512 mi.
Z116	BOISE BUS CO INC	1107 MYRTLE	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SE / 0.518 mi.
117	HYATT PLACE HOTEL	1024 W BANNOCK	ALL SITES - ID	Higher	ESE / 0.520 mi.
118	BOISE FIRE TRAINING	1050 S 17TH ST	ALL SITES - ID, FA - ID, UST - ID	Higher	NE / 0.523 mi.
BA119	LOUISE NEAL/RUTH MURPHY	1121 MILLER	ALL SITES - ID, FA - ID, UST - ID	Higher	SSE / 0.524 mi.
Y120	MCMILLEN JACOBS ASSOCIATES	1401 SHORELINE DR STE 100	ALL SITES - ID, SHWS - ID	Lower	SW / 0.531 mi.
BB121	TREASURE VALLEY FAMILY YMCA	1050 W STATE ST	ALL SITES - ID, ECHO, FRS, SHWS - ID	Higher	E / 0.537 mi.
BB122	BOISE FAMILY YMCA	1050 W STATE ST	ALL SITES - ID, ECHO, SHWS - ID	Higher	E / 0.537 mi.
Z123	414 S 11TH ST BOISE	414 S 11TH ST	ALL SITES - ID	Higher	SSE / 0.538 mi.
BA124	IDX PATHOLOGY	1151 W MILLER ST	ALL SITES - ID, SHWS - ID	Higher	SSE / 0.538 mi.
125	MID WESTERN CONTRACTING	2401 STATE ST	ALL SITES - ID, FA - ID, UST - ID	Lower	NW / 0.540 mi.
126	BOISE INDEPENDENT SD BOISE HS	1010 W WASHINGTON ST	ALL SITES - ID, BRS, RCRA_VSQG, SHWS - ID	Higher	E / 0.546 mi.
BC127	ID TRANS DEPT FLETCHER FOSTER SITE	2811 FLETCHER ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.548 mi.
128	COMPTON TRANSFER & STORAGE	1001 W FRONT ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SE / 0.549 mi.
BC129	ROUNDTREE CHEVROLET INC OLD	2800 W FAIRVIEW AVE	ALL SITES - ID, BROWNFIELDS - ID, SHWS - ID	Lower	W / 0.556 mi.
V130	BOISE FIRE DEPT TRAINING & MAINTENANCE	791 SHORELINE DR	ALL SITES - ID	Lower	WSW / 0.560 mi.
BA131	US EPA LEE ST MERCURY RESPONSE	1125 W LEE ST	ALL SITES - ID, BRS, ECHO, FRS, RCRA_NONGEN...	Higher	SSE / 0.562 mi.
BC132	FORMER GOODMAN OIL (BOISE - FLE...	2850 W FLETCHER ST	ALL SITES - ID, BROWNFIELDS - ID, ENVCVN - ...	Lower	WSW / 0.564 mi.
133	BCT INC	954 W JEFFERSON ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.581 mi.
BD134	SBP GARAGE	1000 W MYRTLE ST	ALL SITES - ID	Higher	SE / 0.596 mi.
135	FLEMING CO	506 S 11TH	ALL SITES - ID, FA - ID, UST - ID	Higher	SSE / 0.596 mi.
136	IOOF BLDG	115 1/2 N 9TH	ALL SITES - ID	Higher	ESE / 0.602 mi.
BD137	JUMP	401 S 10TH ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.606 mi.
138	938 W STATE ST	938 W STATE ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	E / 0.609 mi.
139	NORTHWEST PRINTING	3430 AMERICANA TERRACE	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	WSW / 0.625 mi.
BE140	419 N 9TH ST	419 N 9TH ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	ESE / 0.628 mi.
141	ALBERTSONS NO 8110	2700 REGAN AVE	ALL SITES - ID, SHWS - ID	Lower	WNW / 0.636 mi.
142	TATES RENTS	2923 W IDAHO ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Lower	W / 0.645 mi.
143	CITY CENTRA PLAZA	850 W FRONT ST	ALL SITES - ID	Higher	SE / 0.657 mi.
BE144	STATE ST PARKING LOT	SW CORNER OF 8TH & STATE...	ALL SITES - ID	Higher	ESE / 0.675 mi.
145	US GSA BORAH PO	304 N 8TH ST	ALL SITES - ID, SHWS - ID	Higher	ESE / 0.682 mi.
146	TARGET BUICK SUBARU SAAB	3003 W MAIN ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	W / 0.687 mi.
BE147	415 N 8TH ST	415 N 8TH ST	ALL SITES - ID, SHWS - ID	Higher	ESE / 0.699 mi.
BF148	FOREST RIVER PROPERTY	9TH & W RIVER	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SSE / 0.706 mi.
149	RESIDUALS MANAGEMENT INC	1107 N 11TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ENE / 0.709 mi.
150	F & M INC	257 N 30TH ST	ALL SITES - ID	Lower	W / 0.711 mi.
151	QUINN ROBBINS CO INC	3017 MADISON AVE	ALL SITES - ID, ECHO, FRS, RAATS, RCRA_NON...	Lower	WNW / 0.723 mi.
BG152	J C M B WEST ONE BANK AGE	603 N 8TH ST	ALL SITES - ID	Higher	E / 0.726 mi.

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BH153	BEKINS MOVE & STORAGE CO	970 RIVER ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SSE / 0.731 mi.
BH154	ASSOCIATED WAREHOUSE	620 S 9TH ST	ALL SITES - ID, BROWNFIELDS - ID, VCP - ID	Higher	SSE / 0.732 mi.
BI155	TREASURE VALLEY INSTITUTE FOR CH...	1406 EASTMAN ST	ALL SITES - ID, BROWNFIELDS - ID, ENVCVN - ...	Higher	NE / 0.737 mi.
BJ156	MOUNTAIN STATES PRESS INC	503 S 8TH ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SE / 0.739 mi.
BK157	ALEXANDER CLARK INC	704 W MAIN ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.741 mi.
BG158	MICHAELS AUTOMOTIVE SERVICE	622 N 8TH ST	ALL SITES - ID, ECHO, FRS, SHWS - ID	Higher	E / 0.744 mi.
BK159	WEST ONE BANCORP	101 S CAPITOL BLVD	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.748 mi.
BL160	HYDE PARK NO 33	1520 N 13TH (13TH & EASTM...	ALL SITES - ID	Higher	NE / 0.748 mi.
BF161	BOISE ORDNEW YORKCE SER COMMA...	N/R	ALL SITES - ID	Higher	SSE / 0.750 mi.
BK162	BOISE CITY HALL	150 N CAPITAL BLVD	ALL SITES - ID, FA - ID, UST - ID	Higher	ESE / 0.751 mi.
163	BODO PARTNERS	8TH ST	ALL SITES - ID	Higher	SE / 0.752 mi.
BM164	ATT COMMUNICATIONS	218 N CAPITOL BLVD	ALL SITES - ID	Higher	ESE / 0.753 mi.
BI165	TRICA PARKING LOT	N/R	ALL SITES - ID, BROWNFIELDS - ID	Higher	NE / 0.754 mi.
166	ID ADM STATE CAPITOL BLDG	700 W JEFFERSON	ALL SITES - ID, SHWS - ID	Higher	ESE / 0.754 mi.
BG167	EBS	707 N 8TH ST	ALL SITES - ID, FA - ID, UST - ID	Higher	E / 0.755 mi.
BL168	FORMER CERTIFIED RUG & UPHOLSTE...	1509 N 13TH ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	NE / 0.757 mi.
BJ169	IDAHO LINEN	516 S 8TH ST	ALL SITES - ID, BROWNFIELDS - ID, BRS, ECHO...	Higher	SE / 0.760 mi.
170	LITHIA FORD CHRYSLER OF BOISE	3150 W MAIN ST	ALL SITES - ID, SHWS - ID	Lower	W / 0.763 mi.
BN171	STATE ST GAS	2703 STATE ST	ALL SITES - ID	Lower	NW / 0.764 mi.
BH172	FORMER SHAVERS PROPERTY	707 S 9TH ST	ALL SITES - ID	Higher	SSE / 0.767 mi.
173	AMLIN PROPERTY	3007 WOODLAWN AVE	ALL SITES - ID, SHWS - ID	Lower	WNW / 0.775 mi.
BO174	WATKINS & MCDONALD	4000 W FAIRVIEW AVE	ALL SITES - ID	Lower	W / 0.776 mi.
BM175	ATT BOISE IDMA L52067	619 W BANNOCK ST	ALL SITES - ID, DOCKET, ECHO, FRS, SHWS - ID	Higher	ESE / 0.778 mi.
BO176	WESTERN STATES EQUIPMENT FAIRV...	4009 W FAIRVIEW AVE	ALL SITES - ID, ECHO, FRS, RAATS, RCRA_NON...	Higher	W / 0.783 mi.
BP177	JACKSONS FOOD STORE NO 36	818 N 8TH	ALL SITES - ID	Higher	E / 0.791 mi.
BQ178	MARRIOTT RESIDENCE INN	420 & 410 S CAPITOL BLVD	ALL SITES - ID	Higher	SE / 0.792 mi.
BR179	CAPITOL LITHOGRAPHY & PRINTING	610 W IDAHO ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.794 mi.
180	S CAPITOL & GROVE	616 GROVE	ALL SITES - ID	Higher	ESE / 0.798 mi.
BQ181	420 S CAPITOL BLVD	420 S CAPITOL BLVD	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.798 mi.
BN182	MCRAES CLEANERS STATE ST	2753 W STATE ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Lower	NW / 0.800 mi.
BK183	AMERICAN NATIONAL RED CROSS	601 W MAIN ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.800 mi.
184	LBJ BLDG	650 W STATE ST	ALL SITES - ID	Higher	ESE / 0.806 mi.
BP185	WESTCO MARTINIZING FORT ST	808 W FORT ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	E / 0.808 mi.
BQ186	JACKSONS FOOD STORE NO 002	505 S CAPITOL BLVD	ALL SITES - ID, SHWS - ID	Higher	SE / 0.808 mi.
BR187	CIVIC CENTER SERVICE (VOLLMERS)	605 IDAHO ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	ESE / 0.816 mi.
188	STINKER STATION NO 32 13TH ST BOISE	1620 N 13TH ST	ALL SITES - ID	Higher	NE / 0.817 mi.
BS189	ESTHER SIMPLOT PARK	625 N WHITEWATER PARK BLV...	ALL SITES - ID, SHWS - ID	Lower	WNW / 0.818 mi.
BP190	BAIRDS DRY CLEANERS N 8TH	902 N 8TH ST	ALL SITES - ID, RCRA_NONGEN, SHWS - ID, VC...	Higher	E / 0.820 mi.

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BQ191	FRANKLIN UNITED INC 1	516 S CAPITOL BLVD	ALL SITES - ID	Higher	SE / 0.821 mi.
BN192	ROGERS NORTHSIDE GARAGE	1170 N 29TH ST	ALL SITES - ID	Lower	NW / 0.831 mi.
BO193	LAKE CITY INTL TRUCK FAIRVIEW	4000 W FAIRVIEW AVE (PARC...	ALL SITES - ID, SHWS - ID	Lower	W / 0.834 mi.
BT194	PARKS DEPT BENCH DIVISION	1104 ROYAL BLVD	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	S / 0.836 mi.
BT195	CITY OF BOISE PARKS & RECREATION...	1104 W ROYAL BLVD	ALL SITES - ID, SHWS - ID	Higher	S / 0.836 mi.
BT196	BOISE CITY PARKS & RECREATION DE...	1104 W ROYAL BLVD	ALL SITES - ID, SHWS - ID	Higher	S / 0.836 mi.
BU197	LITHOCRAFT	617 BROAD ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	SE / 0.839 mi.
198	J C M B WEST ONE BANK AGE	917 LUSK	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SSE / 0.846 mi.
BS199	CONSOLIDATED CONCRETE CO	625 N 31ST ST	ALL SITES - ID	Lower	WNW / 0.847 mi.
BT200	BOISE TERMINAL CO INC	1004 ROYAL BLVD	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	S / 0.858 mi.
BS201	ASPHALT PAVING & CONST CO	3206 PLEASANTON AVE	ALL SITES - ID, FA - ID, UST - ID	Lower	WNW / 0.858 mi.
BU202	CLASSIC SIGNS	412 S 6TH ST	ALL SITES - ID, FA - ID, UST - ID	Higher	SE / 0.859 mi.
BT203	SAIA MOTOR FREIGHT LINE INC BOISE	1005 ROYAL BLVD	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	S / 0.862 mi.
BU204	JORDAN-WILCOMB CO	406 S 6TH ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	SE / 0.864 mi.
BV205	STATELL LTD	507 W MAIN ST	ALL SITES - ID, BROWNFIELDS - ID, ECHO, FRS...	Higher	ESE / 0.865 mi.
BW206	WATKINS & MCDONALD	3277 W MAIN (SAME AS 4000...	ALL SITES - ID	Lower	W / 0.869 mi.
BX207	PARKING LOT 503 W IDAHO ST	503 W IDAHO ST	ALL SITES - ID	Higher	ESE / 0.878 mi.
BW208	MCDONALD WATKINS	2198 GARDEN ST	ALL SITES - ID, BRS, RCRA_NONGEN	Lower	W / 0.878 mi.
BX209	5TH & IDAHO APARTMENTS	505 W IDAHO ST	ALL SITES - ID, BRS, ECHO, RCRA_NONGEN, S...	Higher	ESE / 0.887 mi.
BV210	ADDIES RESTAURANT	501 MAIN ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	ESE / 0.890 mi.
211	ADA CNTY COURT HOUSE	514 W JEFFERSON	ALL SITES - ID	Higher	ESE / 0.891 mi.
BY212	520 FRONT ST	520 FRONT ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.894 mi.
BY213	518 FRONT ST	518 FRONT ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.895 mi.
214	VACANT WAREHOUSE	SE CORNER 5TH & GROVE	ALL SITES - ID, FA - ID, UST - ID	Higher	ESE / 0.901 mi.
BY215	504 FRONT ST	504 FRONT ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	SE / 0.904 mi.
BY216	EURASION MOTORS	502 FRONT ST	ALL SITES - ID	Higher	SE / 0.905 mi.
BZ217	AUTO BODY SPECIALISTS INC	1017 LUSK ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	S / 0.906 mi.
218	BOISE CITY PARKS & RECREATION DEPT	625 N WHITEWATER PARK BLV...	ALL SITES - ID	Lower	WNW / 0.911 mi.
BZ219	DIAMOND SIGNS	1025 LUSK ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	S / 0.912 mi.
BV220	BENGOCHEAS SERVICE	420 MAIN	ALL SITES - ID	Higher	ESE / 0.916 mi.
221	PERRYS CAR WASH & BEV	3000 W STATE ST	ALL SITES - ID	Lower	NW / 0.917 mi.
BY222	TENNYSON TRANSFER & STORAGE	502 BROAD ST	ALL SITES - ID	Higher	SE / 0.918 mi.
CA223	PARKS ROYAL BODY WORKS INC	905 ROYAL BLVD	ALL SITES - ID, RCRA_VSQG, SHWS - ID	Higher	SSE / 0.922 mi.
CA224	ADA CNTY RISK MGMT	914 ROYAL BLVD	ALL SITES - ID, ECHO, FRS, SHWS - ID	Higher	SSE / 0.928 mi.
225	BOISE INDEPENDENT SD LOWELL EL...	1507 N 28TH ST	ALL SITES - ID, BRS, ECHO, FRS, RCRA_NONGE...	Lower	NW / 0.930 mi.
226	US GSA FEDERAL BLDG CTHSE BOISE	550 W FORT ST	ALL SITES - ID, SHWS - ID	Higher	E / 0.935 mi.
BV227	BAGEL BAKERY	407 W MAIN ST	ALL SITES - ID, ECHO, FRS, RCRA_NONGEN, S...	Higher	ESE / 0.942 mi.
228	PETE CENARRUSA BLDG	450 W STATE ST	ALL SITES - ID	Higher	ESE / 0.949 mi.

<u>MAP ID</u>	<u>SITE NAME</u>	<u>ADDRESS</u>	<u>DATABASE(S)</u>	<u>RELATIVE ELEVATION</u>	<u>DIRECTION / DISTANCE</u>
CB229	ADVANCED ENVIRONMENTAL TECH S...	917 W ISLAND AVE	ALL SITES - ID, SHWS - ID	Higher	S / 0.956 mi.
BV230	SINCLAIR STATION	402 MAIN ST	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	ESE / 0.959 mi.
231	US VA MEDICAL CENTER	500 W FORT ST	ALL SITES - ID, BRS, RCRA_SQG, SHWS - ID	Higher	E / 0.970 mi.
CB232	BOISE WINNEMUCCA STAGES	1105 LAPOINTE	ALL SITES - ID, FA - ID, LUST - ID, UST - ID	Higher	S / 0.976 mi.
233	329 W GROVE ST	329 W GROVE ST	ALL SITES - ID, BROWNFIELDS - ID	Higher	ESE / 0.978 mi.
234	BOISE CITY PUBLIC WORKS JULIA DAVIS	JULIA DAVIS PARK	ALL SITES - ID, FA - ID, UST - ID	Higher	SE / 0.989 mi.

SUBJECT PROPERTY SEARCH RESULTS:

The subject property was not listed in any of the databases searched by EnviroSite Corporation.

SEARCH RESULTS:**FEDERAL CERCLIS LIST**

CERCLIS NFRAP: The CERCLIS sites with No Further Remedial Action Planned from the CERCLIS program database. The Environmental Protection Agency decommissioned the CERCLIS data in 2014. The last update was November 12, 2013. **1 SITE FOUND WITHIN .5 MILE**

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
W107	ROCKY MTN BANK NOTE CO	760 S. 14TH	SSW / 0.478 mi.	372
	- ID: IDD052430535	Status: NFRAP-Site does not qualify for the NPL based on existing information	Date: 04/23/1984	

SEMS_8R_ARCHIVED SITES: The Archived Site Inventory displays site and location information at sites archived from SEMS. An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time. **1 SITE FOUND WITHIN .5 MILE**

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
W107	ROCKY MTN BANK NOTE CO	760 S. 14TH	SSW / 0.478 mi.	372
	- ID: 1000197	Status: NFRAP-Site does not qualify for the NPL based on existing information	Date: N/A	

FEDERAL RCRA GENERATORS LIST

RCRA_NONGEN: Resource Conservation and Recovery Act listing of licensed non-generators **4 SITES FOUND WITHIN .25 MILE**

EQUAL/HIGHER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
A8	FORMER ECONOMY CLEANERS AND LAUNDRY INC	1576 W GROVE ST	SSE / 0.150 mi.	57
	- ID: IDR000203570	Status: No Violation/Inspections	Date: N/A	
E22	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	SSE / 0.205 mi.	96
	- ID: IDR000200949	Status: Generators - Records/Reporting	Date: Violation 03/12/2003 - Achieved Compliance 03/27/2003	

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
5	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	W / 0.141 mi.	51
	- ID: IDD073011793	Status: No Violation/Inspections	Date: N/A	
H35	L & L FURNITURE INC	2310 W FAIRVIEW AVE	WSW / 0.237 mi.	148
	- ID: ID0000097204	Status: No Violation/Inspections	Date: N/A	

FEDERAL RCRA GENERATORS LIST (cont.)

RCRA_VSQG: Resource Conservation and Recovery Act listing of licensed very small quantity generators. **2 SITES FOUND WITHIN .25 MILE**

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
4	ALS CAR CARE INC GROVE	1645 GROVE ST	S / 0.116 mi.	46
	- ID: IDR000205252	Status: No Violation/Inspections	Date: N/A	
C20	FAIRLY RELIABLE BOBS	2304 W MAIN ST	W / 0.204 mi.	84
	- ID: ID0000853465	Status: No Violation/Inspections	Date: N/A	

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS

HIST UST - ID: List of underground storage tank that is no longer in current agency list. **1 SITE FOUND WITHIN .25 MILE**

EQUAL/HIGHER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
G32	JUNG ENTERPRISES	1522 STATE ST	ENE / 0.237 mi.	134
	- ID: 3-010219	Status: Active	Date: N/A	

UST - ID: Underground storage tank listing **13 SITES FOUND WITHIN .25 MILE**

EQUAL/HIGHER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
1	MEADOW GOLD DAIRIES	208 N 17TH ST	E / 0.042 mi.	34
	- ID: Facility ID 3-010096	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010096*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010096*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010096*3	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010096*4	Status: Permanently Out of Use	Date: N/A	
2	KBCI-TV	140 N 16TH ST	ESE / 0.102 mi.	38
	- ID: Facility ID 3-010740	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010740*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010740*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010740*3	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010740*4	Status: Permanently Out of Use	Date: N/A	
	There are an additional 3 status records, see site details.			
A11	DEAN'S GOODYEAR TIRE CENTER	1515 GROVE ST	SSE / 0.173 mi.	67
	- ID: Facility ID 3-010081	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010081*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010081*2	Status: Permanently Out of Use	Date: N/A	
E28	FARM STORE	1414 GROVE	SE / 0.224 mi.	109
	- ID: Facility ID 3-010270	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010270*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010270*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010270*3	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010270*4	Status: Permanently Out of Use	Date: N/A	
	There are an additional 3 status records, see site details.			
G31	NORTH END 76	1522 STATE ST	ENE / 0.237 mi.	129
	- ID: Facility ID 3-010219	Status: Facility Status Active	Date: N/A	
	- ID: Tank Number 3-010219*1	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010219*2M	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010219*3M	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010219*4	Status: Permanently Out of Use	Date: N/A	

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS (cont.)UST - ID: Underground storage tank listing **13 SITES FOUND WITHIN .25 MILE****EQUAL/HIGHER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
E37	AMERICAN LINEN	1402 GROVE	SE / 0.246 mi.	154
	- ID: Facility ID 3-010122	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010122*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010122*2	Status: Permanently Out of Use	Date: N/A	

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
3	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	SW / 0.111 mi.	43
	- ID: Facility ID 3-010738	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010738*1	Status: Permanently Out of Use	Date: N/A	
B12	BOISE FIRE STATION #5	212 S 16TH ST	S / 0.175 mi.	70
	- ID: Facility ID 3-010029	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010029*1	Status: Permanently Out of Use	Date: N/A	
B13	FRONT STREET STATION #22	1600 FRONT	S / 0.177 mi.	73
	- ID: Facility ID 3-010044	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010044*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010044*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010044*3	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010044*4	Status: Permanently Out of Use	Date: N/A	
	There are an additional 3 status records, see site details.			
B17	MCGUFFIN FUEL & FEED	1601 FRONT ST	S / 0.185 mi.	79
	- ID: Facility ID 3-010500	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010500*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010500*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010500*3	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010500*4	Status: Permanently Out of Use	Date: N/A	
C20	FAIRLY RELIABLE BOBS	2304 W MAIN ST	W / 0.204 mi.	84
	- ID: Facility ID 3-010726	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010726*1	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010726*10	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010726*2	Status: Permanently Out of Use	Date: N/A	
	- ID: Tank Number 3-010726*3	Status: Permanently Out of Use	Date: N/A	
	There are an additional 6 status records, see site details.			
C33	STINKER STORE #23	2323 MAIN	W / 0.237 mi.	139
	- ID: Facility ID 3-010024	Status: Facility Status Active	Date: N/A	
	- ID: Tank Number 3-010024*1M	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010024*2M	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010024*3	Status: Currently In Use	Date: N/A	
	- ID: Tank Number 3-010024*4	Status: Currently In Use	Date: N/A	
	There are an additional 2 status records, see site details.			
H36	L & L FURNITURE	2310 FAIRVIEW	WSW / 0.237 mi.	152
	- ID: Facility ID 3-010781	Status: Facility Status Closure	Date: N/A	
	- ID: Tank Number 3-010781*1	Status: Permanently Out of Use	Date: N/A	

STATE AND TRIBAL LEAKING STORAGE TANK LISTS

LUST - ID: Leaking underground storage tank sites listing **25 SITES FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
1	MEADOW GOLD DAIRIES - ID: 1239	208 N 17TH ST Status: Site Cleanup Completed	E / 0.042 mi. Date: Cleanup Date 02/09/2002	34
2	KBCI-TV - ID: 503	140 N 16TH ST Status: Site Cleanup Completed	ESE / 0.102 mi. Date: Cleanup Date 09/01/1996	38
E37	AMERICAN LINEN - ID: 1246	1402 GROVE Status: Site Cleanup Completed	SE / 0.246 mi. Date: Cleanup Date 09/17/2004	154
J51	NORTH END CHEVRON - ID: 446	1470 W STATE Status: Site Cleanup Completed	E / 0.284 mi. Date: Cleanup Date 03/01/1993	190
N63	SEARS ROEBUCK AND CO - ID: 474	407 N 13TH ST Status: Site Cleanup Completed	E / 0.349 mi. Date: Cleanup Date 05/01/1994	238
M71	TERTIARY INC - ID: 490	1220 FRONT ST Status: Confirmed Release	SE / 0.369 mi. Date: Cleanup Date 06/30/1992	262
76	GREYHOUND LINES TERMINAL - ID: 458	1212 BANNOCK ST Status: Site Cleanup Completed	ESE / 0.385 mi. Date: Cleanup Date 10/01/1992	279
L77	PETERSON MOTOR CO - ID: 285	1201 MAIN ST Status: Confirmed Release	ESE / 0.388 mi. Date: Cleanup Date 06/30/1992	283
Q83	SABALA BROS & CO - ID: 478	415 S 13TH Status: Site Cleanup Completed	SSE / 0.401 mi. Date: Cleanup Date 11/07/1995	292
Q88	TORRANCE FUEL & ICE - ID: 926	MYRTLE ST BETWEEN 13TH AND 11TH Status: Confirmed Release	SSE / 0.425 mi. Date: Cleanup Date 06/30/1992	303
T95	GOODMAN OIL (H) - ID: 502	1101 GROVE Status: Confirmed Release	SE / 0.453 mi. Date: Cleanup Date 08/01/1995	327
T103	AAMCO TRANSMISSIONS - ID: 1235	217 S 11TH Status: Site Cleanup Completed	SE / 0.474 mi. Date: Cleanup Date 05/04/2001	358

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
3	RED LION BOISE DOWNTOWNER - ID: 501	1800 FAIRVIEW Status: Site Cleanup Completed	SW / 0.111 mi. Date: Cleanup Date 01/13/1997	43

STATE AND TRIBAL LEAKING STORAGE TANK LISTS (cont.)LUST - ID: Leaking underground storage tank sites listing **25 SITES FOUND WITHIN .5 MILE****LOWER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
B13	FRONT STREET STATION #22 - ID: 7	1600 FRONT Status: Site Cleanup Completed	S / 0.177 mi. Date: Cleanup Date 09/11/2001	73
B17	MCGUFFIN FUEL & FEED - ID: 347	1601 FRONT ST Status: Site Cleanup Completed	S / 0.185 mi. Date: Cleanup Date 03/10/1998	79
C20	FAIRLY RELIABLE BOBS - ID: 499	2304 W MAIN ST Status: Site Cleanup Completed	W / 0.204 mi. Date: Cleanup Date 10/15/1994	84
H36	L & L FURNITURE - ID: 932	2310 FAIRVIEW Status: Site Cleanup Completed	WSW / 0.237 mi. Date: Cleanup Date 05/15/1994	152
H53	GILLINGHAM CONSTRUCTION - ID: 1172	301 S 24TH ST Status: Site Cleanup Completed	WSW / 0.289 mi. Date: Cleanup Date 01/09/2003	197
I57	GOODMAN OIL (E) - ID: 1090	605 AMERICANA BLVD Status: Site Cleanup Completed	SW / 0.299 mi. Date: Cleanup Date 02/17/1999	212
S87	THRIFTWAY LUMBER - ID: 1100	2619 FAIRVIEW AVE Status: Site Cleanup Completed	W / 0.418 mi. Date: Cleanup Date 04/18/2000	300
S90	ST. LUKE'S R.M.C. (FAIRVIEW) - ID: 1100	2619 FAIRVIEW AVE Status: Site Cleanup Completed	W / 0.429 mi. Date: Cleanup Date 04/18/2000	307
R92	ACHD (OLD) URBAN SHOP - ID: 314	828 S 17TH ST Status: Site Cleanup Completed	WSW / 0.436 mi. Date: Cleanup Date 11/01/1992	315
U97	IDAHO INDUSTRIAL SUPPLY - ID: 928	107 W 27TH ST Status: Confirmed Release	W / 0.470 mi. Date: Cleanup Date 06/30/1992	334
V99	BOISE CITY SHOP - ID: 292	825 S 17TH ST Status: Site Cleanup Completed	WSW / 0.471 mi. Date: Cleanup Date 03/01/1993	335
U108	MAVERIK COUNTRY STORE #205 - ID: 2272	2710 MAIN ST Status: Site Cleanup Completed	W / 0.479 mi. Date: Cleanup Date 11/30/2015	375

STATE AND TRIBAL BROWNFIELD SITESTRIBAL BROWNFIELDS: Tribal brownfield remediation site listing **1 SITE FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
T101	1100 West Front Street - ID: 124927	1100 West Front Street Status: N/A	SE / 0.472 mi. Date: N/R	344

STATE AND TRIBAL BROWNFIELD SITES (cont.)BROWNFIELDS - ID: Listing of brownfield remediation sites **10 SITES FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
A7	EYES OF THE WORLD	1576 W GROVE ST	SSE / 0.150 mi.	56
F26	WATERCOOLER BUILDING	1401 W IDAHO ST	ESE / 0.224 mi.	105
E28	FARM STORE	1414 GROVE	SE / 0.224 mi.	109
E38	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	SE / 0.246 mi.	157
E40	STIENER CORP - AMERICAN LINEN	1402 E GROVE ST	SE / 0.256 mi.	163
Q78	HOSAC TOWNHOUSE - CITY SIDE LOFTS	13TH ST AND MYRTLE	SSE / 0.395 mi.	286
T102	ATWELL MARIE L	1100 W FRONT ST	SE / 0.472 mi.	358

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
H53	GILLINGHAM CONSTRUCTION	301 S 24TH ST	WSW / 0.289 mi.	197
68	FORMER URBAN ASCENT	308 S 25TH ST	WSW / 0.362 mi.	253
X111	OLD MIDAS SHOP	277 S 27TH ST	WSW / 0.484 mi.	381

STATE- AND TRIBAL - EQUIVALENT CERCLISSHWS - ID: State hazardous waste sites **90 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
A7	EYES OF THE WORLD	1576 W GROVE ST	SSE / 0.150 mi.	56
E22	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	SSE / 0.205 mi.	96
E24	ALLOWAY LIGHTING	1420 W GROVE ST	SE / 0.212 mi.	104
D25	17TH & STATE ST MARKETPLACE	NW CORNER OF 17TH & STATE ST	NE / 0.222 mi.	104
E38	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	SE / 0.246 mi.	157
E40	STIENER CORP - AMERICAN LINEN	1402 E GROVE ST	SE / 0.256 mi.	163
E46	OAKLEY-MOODY SERVICE INC	1375 WEST GROVE STREET	SE / 0.280 mi.	177
J47	CHEVRON USA INC SS 94698	1470 W STATE ST	E / 0.281 mi.	178
59	WESTCO MARTINIZING W WASHINGTON	1503 W WASHINGTON ST	ENE / 0.305 mi.	218
L61	IDAHO POWER CO PETERSON PARKING LOT	1201 W MAIN ST	ESE / 0.331 mi.	228
N64	SEARS NO 4138	407 N 13TH ST	E / 0.349 mi.	242
M66	UNION PACIFIC RR (CAPITAL STATION) BOISE	13TH & FRONT ST	SE / 0.359 mi.	248
M67	ADA CNTY HWY DIST S 13TH	301 S 13TH ST	SE / 0.360 mi.	249
L85	ADA CNTY HWY DIST OWYHEE PLAZA	1109 W MAIN ST	ESE / 0.414 mi.	298
86	H & H CAR CARE	1185 W GROVE ST	SE / 0.417 mi.	299
T91	HI TECH COLOR	1115 W GROVE ST	SE / 0.435 mi.	309
T96	ADA CNTY HWY DIST GROVE	1101 GROVE ST	SE / 0.467 mi.	329
BB121	TREASURE VALLEY FAMILY YMCA	1050 W STATE ST	E / 0.537 mi.	407
BB122	BOISE FAMILY YMCA	1050 W STATE ST	E / 0.537 mi.	409
BA124	IDX PATHOLOGY	1151 W MILLER ST	SSE / 0.538 mi.	412
126	BOISE INDEPENDENT SD BOISE HS	1010 W WASHINGTON ST	E / 0.546 mi.	415
128	COMPTON TRANSFER & STORAGE	1001 W FRONT ST	SE / 0.549 mi.	425
BA131	US EPA LEE ST MERCURY RESPONSE	1125 W LEE ST	SSE / 0.562 mi.	430

STATE- AND TRIBAL - EQUIVALENT CERCLIS (cont.)SHWS - ID: State hazardous waste sites **90 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
133	BCT INC	954 W JEFFERSON ST	ESE / 0.581 mi.	438
145	US GSA BORAH PO	304 N 8TH ST	ESE / 0.682 mi.	458
BE147	415 N 8TH ST	415 N 8TH ST	ESE / 0.699 mi.	463
149	RESIDUALS MANAGEMENT INC	1107 N 11TH ST	ENE / 0.709 mi.	467
BJ156	MOUNTAIN STATES PRESS INC	503 S 8TH ST	SE / 0.739 mi.	483
BK157	ALEXANDER CLARK INC	704 W MAIN ST	ESE / 0.741 mi.	487
BG158	MICHAELS AUTOMOTIVE SERVICE	622 N 8TH ST	E / 0.744 mi.	491
BK159	WEST ONE BANCORP	101 S CAPITOL BLVD	ESE / 0.748 mi.	494
166	ID ADM STATE CAPITOL BLDG	700 W JEFFERSON	ESE / 0.754 mi.	504
BJ169	IDAHO LINEN	516 S 8TH ST	SE / 0.760 mi.	508
BM175	ATT BOISE IDMA L52067	619 W BANNOCK ST	ESE / 0.778 mi.	521
BO176	WESTERN STATES EQUIPMENT FAIRVIEW AVE	4009 W FAIRVIEW AVE	W / 0.783 mi.	631
BR179	CAPITOL LITHOGRAPHY & PRINTING	610 W IDAHO ST	ESE / 0.794 mi.	637
BK183	AMERICAN NATIONAL RED CROSS	601 W MAIN ST	ESE / 0.800 mi.	647
BP185	WESTCO MARTINIZING FORT ST	808 W FORT ST	E / 0.808 mi.	651
BQ186	JACKSONS FOOD STORE NO 002	505 S CAPITOL BLVD	SE / 0.808 mi.	655
BP190	BAIRDS DRY CLEANERS N 8TH	902 N 8TH ST	E / 0.820 mi.	663
BT195	CITY OF BOISE PARKS & RECREATION DEPT BENCH DIVISION	1104 W ROYAL BLVD	S / 0.836 mi.	671
BT196	BOISE CITY PARKS & RECREATION DEPT BENCH DIVISION	1104 W ROYAL BLVD	S / 0.836 mi.	671
BU197	LITHOCRAFT	617 BROAD ST	SE / 0.839 mi.	672
BT203	SAIA MOTOR FREIGHT LINE INC BOISE	1005 ROYAL BLVD	S / 0.862 mi.	690
BV205	STATELL LTD	507 W MAIN ST	ESE / 0.865 mi.	698
BX209	5TH & IDAHO APARTMENTS	505 W IDAHO ST	ESE / 0.887 mi.	708
BZ217	AUTO BODY SPECIALISTS INC	1017 LUSK ST	S / 0.906 mi.	720
BZ219	DIAMOND SIGNS	1025 LUSK ST	S / 0.912 mi.	727
CA223	PARKS ROYAL BODY WORKS INC	905 ROYAL BLVD	SSE / 0.922 mi.	732
CA224	ADA CNTY RISK MGMT	914 ROYAL BLVD	SSE / 0.928 mi.	736
226	US GSA FEDERAL BLDG CTHSE BOISE	550 W FORT ST	E / 0.935 mi.	745
BV227	BAGEL BAKERY	407 W MAIN ST	ESE / 0.942 mi.	745
CB229	ADVANCED ENVIRONMENTAL TECH SERVICES	917 W ISLAND AVE	S / 0.956 mi.	750
231	US VA MEDICAL CENTER	500 W FORT ST	E / 0.970 mi.	755

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
4	ALS CAR CARE INC GROVE	1645 GROVE ST	S / 0.116 mi.	46
5	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	W / 0.141 mi.	51
C20	FAIRLY RELIABLE BOBS	2304 W MAIN ST	W / 0.204 mi.	84
H35	L & L FURNITURE INC	2310 W FAIRVIEW AVE	WSW / 0.237 mi.	148
I39	GALEN BLANC AUTO BODY	503 AMERICANA BLVD	SSW / 0.255 mi.	159
I42	AUTOMATED OFFICE SYSTEMS	1620 W RIVER ST	SW / 0.259 mi.	169
C43	VALLEY GLASS CO	105 N 24TH ST	W / 0.259 mi.	173
H55	THOROUGHbred COLLISION CENTER	308 S 24TH ST	WSW / 0.293 mi.	203
I56	ADAMS PAINT	1522 W RIVER ST	SSW / 0.297 mi.	208

STATE- AND TRIBAL - EQUIVALENT CERCLIS (cont.)SHWS - ID: State hazardous waste sites **90 SITES FOUND WITHIN 1 MILE****LOWER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
O65	ROUNDTREE LINCOLN MERCURY OLD	2510 W FAIRVIEW AVE (AKA2510 MAIN ST)	W / 0.357 mi.	248
O70	SERVICE CITY AUTO PAINT	2541 W FAIRVIEW AVE	W / 0.367 mi.	258
O72	CHARLIES AUTO PAINTING	2555 W FAIRVIEW AVE	W / 0.376 mi.	266
O75	FORMER BOISE INDEPENDENT SD SITE	2501 W FAIRVIEW AVE	W / 0.383 mi.	275
R80	CHEVRON USA INC BOISE BULK PLANT	403 S 25TH ST	WSW / 0.398 mi.	288
R81	HUNTER OIL CO INC	403 S 25TH ST	WSW / 0.398 mi.	290
R93	ADA CNTY HWY DIST S 17TH	828 S 17TH ST	WSW / 0.436 mi.	320
U98	INTEGRA INFORMATION SYSTEMS	101 S 27TH ST	W / 0.470 mi.	335
V100	BOISE CITY FLEET SERVICES	825 S 17TH ST	WSW / 0.471 mi.	339
W104	ROCKY MOUNTAIN BANK NOTE	760 S 14TH ST	SSW / 0.475 mi.	361
X111	OLD MIDAS SHOP	277 S 27TH ST	WSW / 0.484 mi.	381
Y113	INDUSTRIAL INDEMNITY INSURANCE CO	1471 SHORELINE DR	SW / 0.501 mi.	385
V114	BOISE FIRE DEPT MAINTENANCE	1791 W SHORELINE DR (1050 S 17TH ST)	WSW / 0.510 mi.	389
115	USPS BOISE VMF	770 S 13TH ST	SSW / 0.512 mi.	390
Y120	MCMILLEN JACOBS ASSOCIATES	1401 SHORELINE DR STE 100	SW / 0.531 mi.	406
BC127	ID TRANS DEPT FLETCHER FOSTER SITE	2811 FLETCHER ST	WSW / 0.548 mi.	421
BC129	ROUNDTREE CHEVROLET INC OLD	2800 W FAIRVIEW AVE	W / 0.556 mi.	428
139	NORTHWEST PRINTING	3430 AMERICANA TERRACE	WSW / 0.625 mi.	447
141	ALBERTSONS NO 8110	2700 REGAN AVE	WNW / 0.636 mi.	453
146	TARGET BUICK SUBARU SAAB	3003 W MAIN ST	W / 0.687 mi.	459
151	QUINN ROBBINS CO INC	3017 MADISON AVE	WNW / 0.723 mi.	472
170	LITHIA FORD CHRYSLER OF BOISE	3150 W MAIN ST	W / 0.763 mi.	518
173	AMLIN PROPERTY	3007 WOODLAWN AVE	WNW / 0.775 mi.	520
BN182	MCRAES CLEANERS STATE ST	2753 W STATE ST	NW / 0.800 mi.	642
BS189	ESTHER SIMPLOT PARK	625 N WHITEWATER PARK BLVD	WNW / 0.818 mi.	662
BO193	LAKE CITY INTL TRUCK FAIRVIEW	4000 W FAIRVIEW AVE (PARCEL A); SAME AS 2198 GARDEN ST	W / 0.834 mi.	666
225	BOISE INDEPENDENT SD LOWELL ELEMENTARY	1507 N 28TH ST	NW / 0.930 mi.	739

LOCAL BROWNFIELD LISTSBROWNFIELDS-ACRES: EPA Brownfields Assessment, Cleanup and Redevelopment Exchange System. **3 SITES FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
E29	FARM STORE - AKA BIG CITY COFFEE	1414 W. GROVE STREET	SE / 0.224 mi.	114
E41	AMERICAN LINEN	1402 EAST GROVE STREET	SE / 0.256 mi.	164

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
A10	1576 WEST GROVE	1576 WEST GROVE	SSE / 0.152 mi.	61

LOCAL BROWNFIELD LISTS (cont.)FED BROWNFIELDS: Federal brownfield remediation sites **10 SITES FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
F23	CCDC 2	1413 W. IDAHO ST.	ESE / 0.206 mi.	101
	- ID: 178227	Status: N/A	Date: N/R	
F27	CCDC 1	1401 W. IDAHO ST.	ESE / 0.224 mi.	106
	- ID: 178226	Status: N/A	Date: N/R	
E29	FARM STORE - AKA BIG CITY COFFEE	1414 W. GROVE STREET	SE / 0.224 mi.	114
	- ID: 48581	Status: N/A	Date: N/R	
E30	THE FARM STORE SITE	1414 W. GROVE STREET	SE / 0.224 mi.	126
	- ID: 48581	Status: N/A	Date: N/R	
E41	AMERICAN LINEN	1402 EAST GROVE STREET	SE / 0.256 mi.	164
	- ID: 26181	Status: N/A	Date: N/R	
T101	1100 West Front Street	1100 West Front Street	SE / 0.472 mi.	344
	- ID: 124927	Status: N/A	Date: N/R	

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
A10	1576 WEST GROVE	1576 WEST GROVE	SSE / 0.152 mi.	61
	- ID: 18924	Status: N/A	Date: N/R	
H50	COB 4	2403 W. FAIRVIEW AVENUE	WSW / 0.284 mi.	186
	- ID: 178224	Status: N/A	Date: N/R	
H60	COB 5	2419 W. FAIRVIEW AVENUE	W / 0.310 mi.	223
	- ID: 178225	Status: N/A	Date: N/R	
X112	OLD MIDAS SHOP	277 S. 27TH STREET	WSW / 0.484 mi.	382
	- ID: 225301	Status: N/A	Date: N/R	

LOCAL LISTS OF LANDFILL / SOLID WASTE DISPOSAL SITESSWRCY - ID: Recycling facility listing **1 SITE FOUND WITHIN .5 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
D19	CARTRIDGE WORLD	1786 W. STATE STREET	NE / 0.203 mi.	84

OTHER ASCERTAINABLE RECORDSALT FUELING: Alternative Fueling Stations by fuel type. **2 SITES FOUND WITHIN .25 MILE****LOWER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
C18	FAIRLY RELIABLE BOB'S	2304 MAIN ST	W / 0.196 mi.	83
C21	STINKER STORE #23	2323 W MAIN ST	W / 0.204 mi.	95

ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
1	MEADOW GOLD DAIRIES	208 N 17TH ST	E / 0.042 mi.	34

OTHER ASCERTAINABLE RECORDS (cont.)ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
2	KBCI-TV	140 N 16TH ST	ESE / 0.102 mi.	38
A7	EYES OF THE WORLD	1576 W GROVE ST	SSE / 0.150 mi.	56
A16	DEANS GOODYEAR TIRE CENTER	1515 GROVE ST	SSE / 0.185 mi.	78
E22	TABLEROCK PRINTING INC S 15TH	216 S 15TH ST	SSE / 0.205 mi.	96
E24	ALLOWAY LIGHTING	1420 W GROVE ST	SE / 0.212 mi.	104
D25	17TH & STATE ST MARKETPLACE	NW CORNER OF 17TH & STATE ST	NE / 0.222 mi.	104
F26	WATERCOOLER BUILDING	1401 W IDAHO ST	ESE / 0.224 mi.	105
E28	FARM STORE	1414 GROVE	SE / 0.224 mi.	109
G32	JUNG ENTERPRISES	1522 STATE ST	ENE / 0.237 mi.	134
E38	STIENER CORP AMERICAN LINEN	1402 W GROVE ST	SE / 0.246 mi.	157
E40	STIENER CORP - AMERICAN LINEN	1402 E GROVE ST	SE / 0.256 mi.	163
J45	STATE ST AUTO REPAIR	1423 W STATE ST	E / 0.276 mi.	177
E46	OAKLEY-MOODY SERVICE INC	1375 WEST GROVE STREET	SE / 0.280 mi.	177
J47	CHEVRON USA INC SS 94698	1470 W STATE ST	E / 0.281 mi.	178
48	7-ELEVEN NO 12976	2050 STATE ST	N / 0.282 mi.	182
K49	IDAHO POWER CO (2)	1301 MAIN ST	SE / 0.283 mi.	183
K58	IDAHO POWER CO (4)	1321 MAIN ST	SE / 0.303 mi.	216
59	WESTCO MARTINIZING W WASHINGTON	1503 W WASHINGTON ST	ENE / 0.305 mi.	218
L61	IDAHO POWER CO PETERSON PARKING LOT	1201 W MAIN ST	ESE / 0.331 mi.	228
M62	ORIDA INVESTMENT CORP	219 S 13TH	SE / 0.338 mi.	235
N64	SEARS NO 4138	407 N 13TH ST	E / 0.349 mi.	242
M66	UNION PACIFIC RR (CAPITAL STATION) BOISE	13TH & FRONT ST	SE / 0.359 mi.	248
M67	ADA CNTY HWY DIST S 13TH	301 S 13TH ST	SE / 0.360 mi.	249
M69	FUEL WEST	317 S 13TH ST	SSE / 0.364 mi.	254
M71	TERTIARY INC	1220 FRONT ST	SE / 0.369 mi.	262
L73	IDAHO POWER CO (3)	1218 MAIN ST	ESE / 0.377 mi.	270
76	GREYHOUND LINES TERMINAL	1212 BANNOCK ST	ESE / 0.385 mi.	279
Q78	HOSAC TOWNHOUSE - CITY SIDE LOFTS	13TH ST AND MYRTLE	SSE / 0.395 mi.	286
Q83	SABALA BROS & CO	415 S 13TH	SSE / 0.401 mi.	292
84	IDAHO POWER CO (1)	805 S 17TH	NE / 0.410 mi.	295
L85	ADA CNTY HWY DIST OWYHEE PLAZA	1109 W MAIN ST	ESE / 0.414 mi.	298
86	H & H CAR CARE	1185 W GROVE ST	SE / 0.417 mi.	299
Q89	TORRANCE FUEL & ICE	MYRTLE ST BETWEEN 13TH & 11TH	SSE / 0.425 mi.	306
T91	HI TECH COLOR	1115 W GROVE ST	SE / 0.435 mi.	309
T96	ADA CNTY HWY DIST GROVE	1101 GROVE ST	SE / 0.467 mi.	329
T102	ATWELL MARIE L	1100 W FRONT ST	SE / 0.472 mi.	358
T110	AAMCO TRANSMISSIONS	217 S 11TH ST	SE / 0.480 mi.	381
Z116	BOISE BUS CO INC	1107 MYRTLE	SE / 0.518 mi.	395
117	HYATT PLACE HOTEL	1024 W BANNOCK	ESE / 0.520 mi.	399
118	BOISE FIRE TRAINING	1050 S 17TH ST	NE / 0.523 mi.	399
BA119	LOUISE NEAL/RUTH MURPHY	1121 MILLER	SSE / 0.524 mi.	402
BB121	TREASURE VALLEY FAMILY YMCA	1050 W STATE ST	E / 0.537 mi.	407
BB122	BOISE FAMILY YMCA	1050 W STATE ST	E / 0.537 mi.	409
Z123	414 S 11TH ST BOISE	414 S 11TH ST	SSE / 0.538 mi.	412
BA124	IDX PATHOLOGY	1151 W MILLER ST	SSE / 0.538 mi.	412
126	BOISE INDEPENDENT SD BOISE HS	1010 W WASHINGTON ST	E / 0.546 mi.	415

OTHER ASCERTAINABLE RECORDS (cont.)ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION (cont.)**

MAP ID	SITE NAME	SITE ADDRESS	DIRECTION/DISTANCE	PAGE
128	COMPTON TRANSFER & STORAGE	1001 W FRONT ST	SE / 0.549 mi.	425
BA131	US EPA LEE ST MERCURY RESPONSE	1125 W LEE ST	SSE / 0.562 mi.	430
133	BCT INC	954 W JEFFERSON ST	ESE / 0.581 mi.	438
BD134	SBP GARAGE	1000 W MYRTLE ST	SE / 0.596 mi.	442
135	FLEMING CO	506 S 11TH	SSE / 0.596 mi.	442
136	IOOF BLDG	115 1/2 N 9TH	ESE / 0.602 mi.	445
BD137	JUMP	401 S 10TH ST	SE / 0.606 mi.	446
138	938 W STATE ST	938 W STATE ST	E / 0.609 mi.	446
BE140	419 N 9TH ST	419 N 9TH ST	ESE / 0.628 mi.	452
143	CITY CENTRA PLAZA	850 W FRONT ST	SE / 0.657 mi.	457
BE144	STATE ST PARKING LOT	SW CORNER OF 8TH & STATE ST	ESE / 0.675 mi.	458
145	US GSA BORAH PO	304 N 8TH ST	ESE / 0.682 mi.	458
BE147	415 N 8TH ST	415 N 8TH ST	ESE / 0.699 mi.	463
BF148	FOREST RIVER PROPERTY	9TH & W RIVER	SSE / 0.706 mi.	463
149	RESIDUALS MANAGEMENT INC	1107 N 11TH ST	ENE / 0.709 mi.	467
BG152	J C M B WEST ONE BANK AGE	603 N 8TH ST	E / 0.726 mi.	477
BH153	BEKINS MOVE & STORAGE CO	970 RIVER ST	SSE / 0.731 mi.	477
BH154	ASSOCIATED WAREHOUSE	620 S 9TH ST	SSE / 0.732 mi.	481
BI155	TREASURE VALLEY INSTITUTE FOR CHILDRENS ARTS (TRICA)	1406 EASTMAN ST	NE / 0.737 mi.	482
BJ156	MOUNTAIN STATES PRESS INC	503 S 8TH ST	SE / 0.739 mi.	483
BK157	ALEXANDER CLARK INC	704 W MAIN ST	ESE / 0.741 mi.	487
BG158	MICHAELS AUTOMOTIVE SERVICE	622 N 8TH ST	E / 0.744 mi.	491
BK159	WEST ONE BANCORP	101 S CAPITOL BLVD	ESE / 0.748 mi.	494
BL160	HYDE PARK NO 33	1520 N 13TH (13TH & EASTMAN)	NE / 0.748 mi.	498
BF161	BOISE ORDNEW YORKCE SER COMMAND SHOP		SSE / 0.750 mi.	498
BK162	BOISE CITY HALL	150 N CAPITAL BLVD	ESE / 0.751 mi.	499
163	BODO PARTNERS	8TH ST	SE / 0.752 mi.	502
BM164	ATT COMMUNICATIONS	218 N CAPITOL BLVD	ESE / 0.753 mi.	502
BI165	TRICA PARKING LOT		NE / 0.754 mi.	503
166	ID ADM STATE CAPITOL BLDG	700 W JEFFERSON	ESE / 0.754 mi.	504
BG167	EBS	707 N 8TH ST	E / 0.755 mi.	504
BL168	FORMER CERTIFIED RUG & UPHOLSTERY SERVICE	1509 N 13TH ST	NE / 0.757 mi.	507
BJ169	IDAHO LINEN	516 S 8TH ST	SE / 0.760 mi.	508
BH172	FORMER SHAVERS PROPERTY	707 S 9TH ST	SSE / 0.767 mi.	519
BM175	ATT BOISE IDMA L52067	619 W BANNOCK ST	ESE / 0.778 mi.	521
BO176	WESTERN STATES EQUIPMENT FAIRVIEW AVE	4009 W FAIRVIEW AVE	W / 0.783 mi.	631
BP177	JACKSONS FOOD STORE NO 36	818 N 8TH	E / 0.791 mi.	636
BQ178	MARRIOTT RESIDENCE INN	420 & 410 S CAPITOL BLVD	SE / 0.792 mi.	637
BR179	CAPITOL LITHOGRAPHY & PRINTING	610 W IDAHO ST	ESE / 0.794 mi.	637
180	S CAPITOL & GROVE	616 GROVE	ESE / 0.798 mi.	641
BQ181	420 S CAPITOL BLVD	420 S CAPITOL BLVD	SE / 0.798 mi.	642
BK183	AMERICAN NATIONAL RED CROSS	601 W MAIN ST	ESE / 0.800 mi.	647
184	LBJ BLDG	650 W STATE ST	ESE / 0.806 mi.	651
BP185	WESTCO MARTINIZING FORT ST	808 W FORT ST	E / 0.808 mi.	651
BQ186	JACKSONS FOOD STORE NO 002	505 S CAPITOL BLVD	SE / 0.808 mi.	655

OTHER ASCERTAINABLE RECORDS (cont.)ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****EQUAL/HIGHER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
BR187	CIVIC CENTER SERVICE (VOLLMERS)	605 IDAHO ST	ESE / 0.816 mi.	656
188	STINKER STATION NO 32 13TH ST BOISE	1620 N 13TH ST	NE / 0.817 mi.	661
BP190	BAIRDS DRY CLEANERS N 8TH	902 N 8TH ST	E / 0.820 mi.	663
BQ191	FRANKLIN UNITED INC 1	516 S CAPITOL BLVD	SE / 0.821 mi.	665
BT194	PARKS DEPT BENCH DIVISION	1104 ROYAL BLVD	S / 0.836 mi.	667
BT195	CITY OF BOISE PARKS & RECREATION DEPT BENCH DIVISION	1104 W ROYAL BLVD	S / 0.836 mi.	671
BT196	BOISE CITY PARKS & RECREATION DEPT BENCH DIVISION	1104 W ROYAL BLVD	S / 0.836 mi.	671
BU197	LITHOCRAFT	617 BROAD ST	SE / 0.839 mi.	672
198	J C M B WEST ONE BANK AGE	917 LUSK	SSE / 0.846 mi.	677
BT200	BOISE TERMINAL CO INC	1004 ROYAL BLVD	S / 0.858 mi.	680
BU202	CLASSIC SIGNS	412 S 6TH ST	SE / 0.859 mi.	687
BT203	SAIA MOTOR FREIGHT LINE INC BOISE	1005 ROYAL BLVD	S / 0.862 mi.	690
BU204	JORDAN-WILCOMB CO	406 S 6TH ST	SE / 0.864 mi.	695
BV205	STATELL LTD	507 W MAIN ST	ESE / 0.865 mi.	698
BX207	PARKING LOT 503 W IDAHO ST	503 W IDAHO ST	ESE / 0.878 mi.	703
BX209	5TH & IDAHO APARTMENTS	505 W IDAHO ST	ESE / 0.887 mi.	708
BV210	ADDIES RESTAURANT	501 MAIN ST	ESE / 0.890 mi.	713
211	ADA CNTY COURT HOUSE	514 W JEFFERSON	ESE / 0.891 mi.	714
BY212	520 FRONT ST	520 FRONT ST	SE / 0.894 mi.	714
BY213	518 FRONT ST	518 FRONT ST	SE / 0.895 mi.	715
214	VACANT WAREHOUSE	SE CORNER 5TH & GROVE	ESE / 0.901 mi.	716
BY215	504 FRONT ST	504 FRONT ST	SE / 0.904 mi.	719
BY216	EURASION MOTORS	502 FRONT ST	SE / 0.905 mi.	720
BZ217	AUTO BODY SPECIALISTS INC	1017 LUSK ST	S / 0.906 mi.	720
BZ219	DIAMOND SIGNS	1025 LUSK ST	S / 0.912 mi.	727
BV220	BENGOCHEAS SERVICE	420 MAIN	ESE / 0.916 mi.	731
BY222	TENNYSON TRANSFER & STORAGE	502 BROAD ST	SE / 0.918 mi.	732
CA223	PARKS ROYAL BODY WORKS INC	905 ROYAL BLVD	SSE / 0.922 mi.	732
CA224	ADA CNTY RISK MGMT	914 ROYAL BLVD	SSE / 0.928 mi.	736
226	US GSA FEDERAL BLDG CTHSE BOISE	550 W FORT ST	E / 0.935 mi.	745
BV227	BAGEL BAKERY	407 W MAIN ST	ESE / 0.942 mi.	745
228	PETE CENARRUSA BLDG	450 W STATE ST	ESE / 0.949 mi.	750
CB229	ADVANCED ENVIRONMENTAL TECH SERVICES	917 W ISLAND AVE	S / 0.956 mi.	750
BV230	SINCLAIR STATION	402 MAIN ST	ESE / 0.959 mi.	751
231	US VA MEDICAL CENTER	500 W FORT ST	E / 0.970 mi.	755
CB232	BOISE WINNEMUCCA STAGES	1105 LAPOINTE	S / 0.976 mi.	765
233	329 W GROVE ST	329 W GROVE ST	ESE / 0.978 mi.	771
234	BOISE CITY PUBLIC WORKS JULIA DAVIS	JULIA DAVIS PARK	SE / 0.989 mi.	771

LOWER ELEVATION

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
3	RED LION BOISE DOWNTOWNER	1800 FAIRVIEW	SW / 0.111 mi.	43
4	ALS CAR CARE INC GROVE	1645 GROVE ST	S / 0.116 mi.	46
5	IDAHO REGISTRATION SERVICE CO	2230 W MAIN ST	W / 0.141 mi.	51

OTHER ASCERTAINABLE RECORDS (cont.)ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****LOWER ELEVATION (cont.)**

<u>MAP ID</u>	<u>SITE NAME</u>	<u>SITE ADDRESS</u>	<u>DIRECTION/DISTANCE</u>	<u>PAGE</u>
6	ALSCOTT PROPERTY	NE CORNER 17TH ST & FRONT ST	SSW / 0.149 mi.	55
A9	IDAHO TRUST BANK	SE CORNER 16 ST & GROVE ST	SSE / 0.152 mi.	60
B14	FRONT ST STATION NO 22	1600 FRONT	S / 0.177 mi.	77
B15	BOISE FIRE STATION NO 5	212 S 16TH ST	S / 0.177 mi.	78
B17	MCGUFFIN FUEL & FEED	1601 FRONT ST	S / 0.185 mi.	79
C20	FAIRLY RELIABLE BOBS	2304 W MAIN ST	W / 0.204 mi.	84
C34	STINKER STATION NO 23	2323 MAIN	W / 0.237 mi.	147
H35	L & L FURNITURE INC	2310 W FAIRVIEW AVE	WSW / 0.237 mi.	148
I39	GALEN BLANC AUTO BODY	503 AMERICANA BLVD	SSW / 0.255 mi.	159
I42	AUTOMATED OFFICE SYSTEMS	1620 W RIVER ST	SW / 0.259 mi.	169
C43	VALLEY GLASS CO	105 N 24TH ST	W / 0.259 mi.	173
I44	WHOLESALE BRAKE SUPPLY	521 AMERICANA BLVD	SSW / 0.259 mi.	173
I52	UNION PACIFIC RR CAWD WALLACE	1700 RIVER ST	SSW / 0.288 mi.	197
H53	GILLINGHAM CONSTRUCTION	301 S 24TH ST	WSW / 0.289 mi.	197
I54	GOODMAN OIL (E) (BOISE - AMERICANA BLVD)	605 AMERICANA BLVD	SSW / 0.291 mi.	202
H55	THOROUGHbred COLLISION CENTER	308 S 24TH ST	WSW / 0.293 mi.	203
I56	ADAMS PAINT	1522 W RIVER ST	SSW / 0.297 mi.	208
O65	ROUNDTREE LINCOLN MERCURY OLD	2510 W FAIRVIEW AVE (AKA2510 MAIN ST)	W / 0.357 mi.	248
68	FORMER URBAN ASCENT	308 S 25TH ST	WSW / 0.362 mi.	253
O70	SERVICE CITY AUTO PAINT	2541 W FAIRVIEW AVE	W / 0.367 mi.	258
O72	CHARLIES AUTO PAINTING	2555 W FAIRVIEW AVE	W / 0.376 mi.	266
P74	IDAHO ELECTROPLATING	2518 W MAIN ST	W / 0.382 mi.	274
O75	FORMER BOISE INDEPENDENT SD SITE	2501 W FAIRVIEW AVE	W / 0.383 mi.	275
P79	CHEVRON USA INC NO 94466	2600 MAIN ST	W / 0.397 mi.	287
R80	CHEVRON USA INC BOISE BULK PLANT	403 S 25TH ST	WSW / 0.398 mi.	288
R81	HUNTER OIL CO INC	403 S 25TH ST	WSW / 0.398 mi.	290
82	KMART NO 4078	730 AMERICANA BLVD	SW / 0.398 mi.	291
S87	THRIFTWAY LUMBER	2619 FAIRVIEW AVE	W / 0.418 mi.	300
R93	ADA CNTY HWY DIST S 17TH	828 S 17TH ST	WSW / 0.436 mi.	320
S94	TARGET MITSUBISHI	2618 FAIRVIEW	W / 0.443 mi.	324
U97	IDAHO INDUSTRIAL SUPPLY	107 W 27TH ST	W / 0.470 mi.	334
U98	INTEGRA INFORMATION SYSTEMS	101 S 27TH ST	W / 0.470 mi.	335
V100	BOISE CITY FLEET SERVICES	825 S 17TH ST	WSW / 0.471 mi.	339
W104	ROCKY MOUNTAIN BANK NOTE	760 S 14TH ST	SSW / 0.475 mi.	361
U105	FAST FILL CORP	2704 W MAIN ST	W / 0.476 mi.	366
106	REACO INC	2700 IDAHO ST	W / 0.478 mi.	369
U109	MAVERIK COUNTRY STORE NO 205	2710 MAIN ST	W / 0.479 mi.	380
X111	OLD MIDAS SHOP	277 S 27TH ST	WSW / 0.484 mi.	381
Y113	INDUSTRIAL INDEMNITY INSURANCE CO	1471 SHORELINE DR	SW / 0.501 mi.	385
V114	BOISE FIRE DEPT MAINTENANCE	1791 W SHORELINE DR (1050 S 17TH ST)	WSW / 0.510 mi.	389
115	USPS BOISE VMF	770 S 13TH ST	SSW / 0.512 mi.	390
Y120	MCMILLEN JACOBS ASSOCIATES	1401 SHORELINE DR STE 100	SW / 0.531 mi.	406
125	MID WESTERN CONTRACTING	2401 STATE ST	NW / 0.540 mi.	413
BC127	ID TRANS DEPT FLETCHER FOSTER SITE	2811 FLETCHER ST	WSW / 0.548 mi.	421
BC129	ROUNDTREE CHEVROLET INC OLD	2800 W FAIRVIEW AVE	W / 0.556 mi.	428

OTHER ASCERTAINABLE RECORDS (cont.)ALL SITES - ID: Listing of all remediation sites **201 SITES FOUND WITHIN 1 MILE****LOWER ELEVATION (cont.)**

MAP ID	SITE NAME	SITE ADDRESS	DIRECTION/DISTANCE	PAGE
V130	BOISE FIRE DEPT TRAINING & MAINTENANCE CENTER	791 SHORELINE DR	WSW / 0.560 mi.	430
BC132	FORMER GOODMAN OIL (BOISE - FLETCHER STREET)	2850 W FLETCHER ST	WSW / 0.564 mi.	436
139	NORTHWEST PRINTING	3430 AMERICANA TERRACE	WSW / 0.625 mi.	447
141	ALBERTSONS NO 8110	2700 REGAN AVE	WNW / 0.636 mi.	453
142	TATES RENTS	2923 W IDAHO ST	W / 0.645 mi.	454
146	TARGET BUICK SUBARU SAAB	3003 W MAIN ST	W / 0.687 mi.	459
150	F & M INC	257 N 30TH ST	W / 0.711 mi.	472
151	QUINN ROBBINS CO INC	3017 MADISON AVE	WNW / 0.723 mi.	472
170	LITHIA FORD CHRYSLER OF BOISE	3150 W MAIN ST	W / 0.763 mi.	518
BN171	STATE ST GAS	2703 STATE ST	NW / 0.764 mi.	519
173	AMLIN PROPERTY	3007 WOODLAWN AVE	WNW / 0.775 mi.	520
BO174	WATKINS & MCDONALD	4000 W FAIRVIEW AVE	W / 0.776 mi.	521
BN182	MCRAES CLEANERS STATE ST	2753 W STATE ST	NW / 0.800 mi.	642
BS189	ESTHER SIMPLOT PARK	625 N WHITEWATER PARK BLVD	WNW / 0.818 mi.	662
BN192	ROGERS NORTHSIDE GARAGE	1170 N 29TH ST	NW / 0.831 mi.	666
BO193	LAKE CITY INTL TRUCK FAIRVIEW	4000 W FAIRVIEW AVE (PARCEL A); SAME AS 2198 GARDEN ST	W / 0.834 mi.	666
BS199	CONSOLIDATED CONCRETE CO	625 N 31ST ST	WNW / 0.847 mi.	680
BS201	ASPHALT PAVING & CONST CO	3206 PLEASANTON AVE	WNW / 0.858 mi.	684
BW206	WATKINS & MCDONALD	3277 W MAIN (SAME AS 4000 FAIRVIEW PARCEL B)	W / 0.869 mi.	703
BW208	MCDONALD WATKINS	2198 GARDEN ST	W / 0.878 mi.	704
218	BOISE CITY PARKS & RECREATION DEPT	625 N WHITEWATER PARK BLVD	WNW / 0.911 mi.	726
221	PERRYS CAR WASH & BEV	3000 W STATE ST	NW / 0.917 mi.	732
225	BOISE INDEPENDENT SD LOWELL ELEMENTARY	1507 N 28TH ST	NW / 0.930 mi.	739

Following sites were unable to be mapped.

SITE NAME:	ADDRESS, CITY, ZIP:	DATABASE(S):
Not Reported	337 NORTH 17TH STREET APT. # 205 ...	HIST SPILLS - ID
Not Reported	53 S MAIN ST STAR	HIST SPILLS - ID
Not Reported	1112 WEST MAIN STREET BOISE	HIST SPILLS - ID
Not Reported	3499 FAIRVIEW AVE AND N EAGLE.	HIST SPILLS - ID
Not Reported	FAIRVIEW AVE AND 5-MILE IN BOISE.	HIST SPILLS - ID
Not Reported	6811 FAIRVIEW AVE BOISE	HIST SPILLS - ID
Not Reported	11193 WEST EMERALD ST. BOISE IDAHO	HIST SPILLS - ID
Not Reported	13900 SOUTH PLEASANT VALLEY ROAD KU...	HIST SPILLS - ID
Not Reported	GOWEN FIELD IDAHO	HIST SPILLS - ID
Not Reported	IDAHO DEPARTMENT OF CORRECTIONS	HIST SPILLS - ID
Not Reported	9TH STREET BETWEEN IDAHO AND FRONT	HIST SPILLS - ID
Not Reported	2314 MOBILE DR. BOISE IDAHO	HIST SPILLS - ID
Not Reported	1501 IRENE ST. BOISE IDAHO	HIST SPILLS - ID
Not Reported	5075 DAKOTA BOISE IDAHO	HIST SPILLS - ID
Not Reported	1612 N 6TH ST BOISE IDAHO	HIST SPILLS - ID
Not Reported	1700 EAST YAMHILL RD.- BOISE IDAHO	HIST SPILLS - ID
Not Reported	190 E BANNOCK BOISE IDAHO	HIST SPILLS - ID

Following sites were unable to be mapped. (cont.)

<u>SITE NAME:</u>	<u>ADDRESS, CITY, ZIP:</u>	<u>DATABASE(S):</u>
Not Reported	2000 MILLENIUM WAY MERIDIAN IDAHO	HIST SPILLS - ID
Not Reported	2110 UNIVERSITY DRIVE BOISE IDAHO	HIST SPILLS - ID
Not Reported	2575 BAYOU BAR WAY MERIDIAN IDAHO	HIST SPILLS - ID
Not Reported	2987 N. HAMLET STAR IDAHO	HIST SPILLS - ID
Not Reported	515 W. STATE STREET BOISE IDAHO	HIST SPILLS - ID
Not Reported	6015 MOOSE CREEK MERIDIAN IDAHO	HIST SPILLS - ID
Not Reported	6350 FAIRVIEW BOISE IDAHO	HIST SPILLS - ID
17TH AND STATE ST MARKETPLACE	NW CORNER OF 17TH AND STA..., BOISE ...	BRS, ECHO, FRS, RCRA_NONGEN
CAPITAL STATION	BETWEEN 10TH & 13TH ST, BOISE 83702	CERCLIS-HIST, FRS, SEMS_8R_ARCHIVED SITES
H-2018-00204	IDAHO STATE CAPITAL	SPILLS - ID
H-2019-00160	10434 W FAIRVIEW AVE	SPILLS - ID
IDOC IDAHO ST CORRECTIONAL INST (ISCI)	N/R	ECHO, FRS
SOUTH MAPLE GROVE STAKE CENTER	N/R	ECHO, FRS

DATABASE(S) WITH NO MAPPED SITES:**FEDERAL RCRA NON-CORRACTS TSD FACILITIES LIST**

ARCHIVED RCRA TSDF	Archived Resource Conservation and Recovery Act: Treatment Storage and Disposal Facilities
RCRA_TSDF	Resource Conservation and Recovery Act: Treatment Storage and Disposal Facilities

FEDERAL CERCLIS LIST

CERCLIS-HIST	Comprehensive Environmental Response Compensation and Liability Act
FEDERAL FACILITY	Federal Facility sites
SEMS_8R_ACTIVE SITES	Sites on SEMS Active Site Inventory

FEDERAL RCRA CORRACTS FACILITIES LIST

CORRACTS	Hazardous Waste Corrective Action
HIST CORRACTS 2	Historical Hazardous Waste Corrective Action

FEDERAL DELISTED NPL SITE LIST

DELISTED NPL	Delisted National Priority List
DELISTED PROPOSED NPL	Delisted proposed National Priority List
SEMS_DELETED NPL	Sites Deleted from National Priorities List

FEDERAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS

EPA LF MOP	EPA Landfill Methane Outreach Project Database
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FEDERAL ERNS LIST

ERNS	Emergency Response Notification System
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FEDERAL RCRA GENERATORS LIST

HIST RCRA_CESQG	Historical Resource Conservation and Recovery Act_Conditionally Exempt Small Quantity Generators
HIST RCRA_LQG	Historical Resource Conservation and Recovery Act_Large Quantity Generators
HIST RCRA_NONGEN	Historical Resource Conservation and Recovery Act_Non Generators
HIST RCRA_SQG	Historical Resource Conservation and Recovery Act_Small Quantity Generators
RCRA_LQG	Resource Conservation and Recovery Act_Large Quantity Generators
RCRA_SQG	Resource Conservation and Recovery Act_Small Quantity Generators

FEDERAL NPL SITE LIST

NPL	National Priority List
NPL EPA R1 GIS	GIS for EPA Region 1 NPL

FEDERAL NPL SITE LIST (cont.)

NPL EPA R3 GIS	GIS for EPA Region 3 NPL
NPL EPA R6 GIS	GIS for EPA Region 6 NPL
NPL EPA R8 GIS	GIS for EPA Region 8 NPL
NPL EPA R9 GIS	GIS for EPA Region 9 NPL
PART NPL	Part National Priority List
PROPOSED NPL	Proposed National Priority List
SEMS_FINAL NPL	Sites included on the Final National Priorities List
SEMS_PROPOSED NPL	Sites Proposed to be Added to the National Priorities List

FEDERAL INSTITUTIONAL CONTROLS / ENGINEERING CONTROLS REGISTRIES

RCRA IC_EC	RCRA sites with Institutional and Engineering Controls
FED E C	Engineering Controls
FED I C	Institutional Controls

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS

FEMA UST	FEMA Underground Storage Tanks
INDIAN UST R1	Underground Storage Tanks on Indian Land in EPA Region 1
INDIAN UST R10	Underground Storage Tanks on Indian Land in EPA Region 10
INDIAN UST R2	Underground Storage Tanks on Indian Land in EPA Region 2
INDIAN UST R4	Underground Storage Tanks on Indian Land in EPA Region 4
INDIAN UST R5	Underground Storage Tanks on Indian Land in EPA Region 5
INDIAN UST R6	Underground Storage Tanks on Indian Land in EPA Region 6
INDIAN UST R7	Underground Storage Tanks on Indian Land in EPA Region 7
INDIAN UST R8	Underground Storage Tanks on Indian Land in EPA Region 8
INDIAN UST R9	Underground Storage Tanks on Indian Land in EPA Region 9

STATE AND TRIBAL LEAKING STORAGE TANK LISTS

INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land in EPA Region 1
INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land in EPA Region 10
INDIAN LUST R2	Leaking Underground Storage Tanks on Indian Land in EPA Region 2
INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land in EPA Region 4
INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land in EPA Region 5
INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land in EPA Region 6
INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land in EPA Region 7
INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land in EPA Region 8
INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land in EPA Region 9

STATE AND TRIBAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS

HIST LF - ID	Idaho Historical Landfills
SWF 2 - ID	Solid Waste Facilities
SWF CLOSED - ID	Closed Solid Waste Facilities and Landfills
SWF/LF - ID	Solid Waste Facilities and Landfills

STATE AND TRIBAL VOLUNTARY CLEANUP SITES

VCP - ID	Voluntary Cleanup Program
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LOCAL LISTS OF HAZARDOUS WASTE / CONTAMINATED SITES

FED CDL	DOJ Clandestine Drug Labs
US HIST CDL	Historical Clandestine Drug Labs
CDL - ID	Clandestine Drug Labs
HIST CDL - ID	Historical Clandestine Drug Labs

LOCAL LISTS OF LANDFILL / SOLID WASTE DISPOSAL SITES

HIST INDIAN ODI R8	Historical Open Dump Inventory
INDIAN ODI R8	Open Dump Inventory
ODI	Open Dump Inventory
TRIBAL ODI	Indian Open Dump Inventory Sites
HIST SWRCY - ID	Historical Recycling Facilities
SWTIRE - ID	Waste Tire Collection Sites

RECORDS OF EMERGENCY RELEASE REPORTS

HMIRS (DOT)	Hazardous Materials Information Reporting Systems
HIST SPILLS - ID	Historical Spills
SPILLS - ID	Spills

LOCAL LAND RECORDS

LIENS 2	CERCLA Lien Information
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OTHER ASCERTAINABLE RECORDS

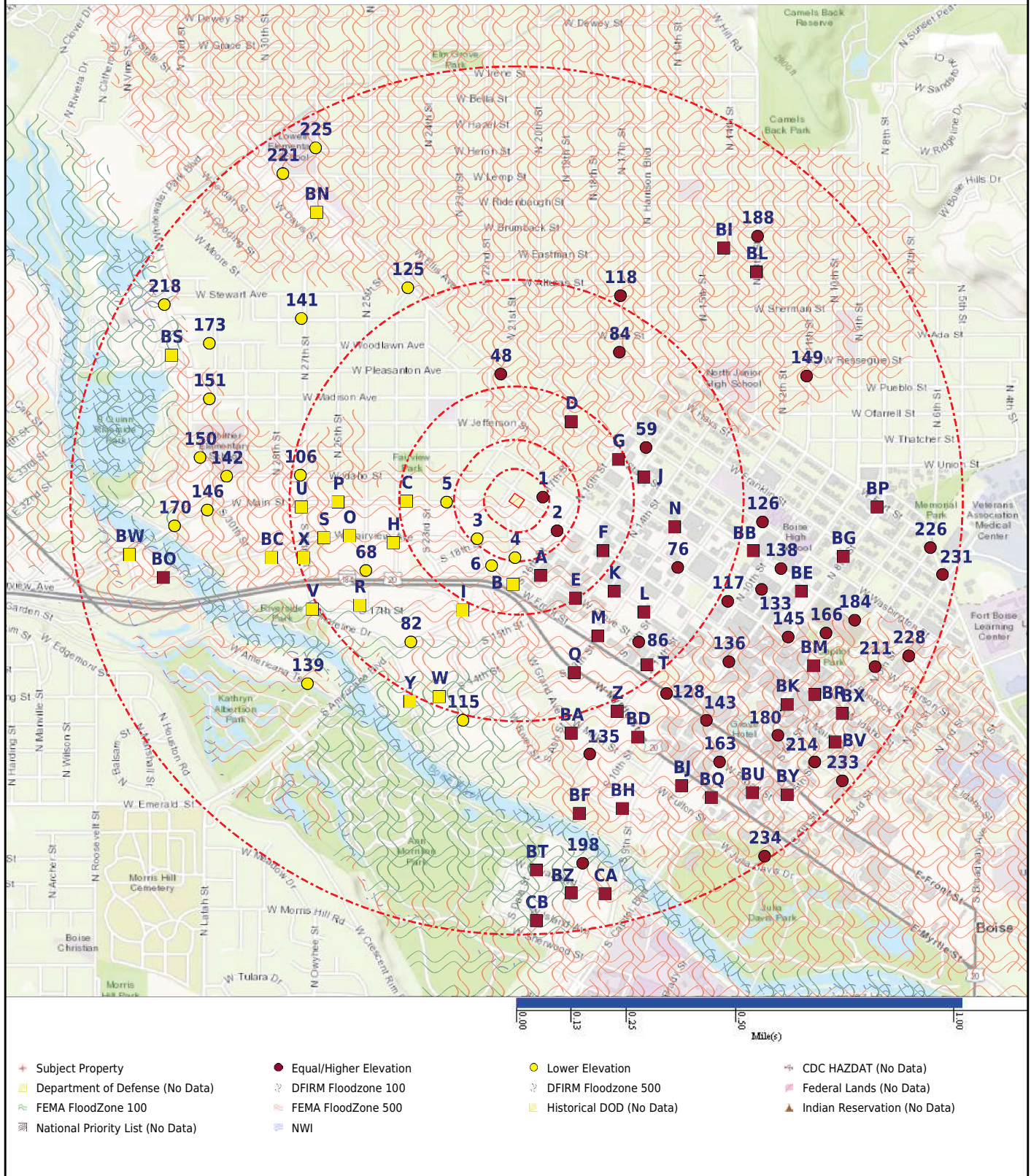
AFS	Air Facility Systems
BRS	Biennial Reporting Systems
CDC HAZDAT	Hazardous Substance Release and Health Effects Information
COAL ASH DOE	Coal Ash: Department of Energy
COAL ASH EPA	Coal Ash: Environmental Protection Agency
COAL GAS	Coal Gas Plants
CONSENT (DECREES)	Superfund Consent Decree
DEBRIS R5 LF	Disaster Debris Landfill Data
DEBRIS R5 SWRCY	Disaster Debris Recovery Data
DOD	Department of Defense
DOT OPS	Department of Transportation Office of Pipeline Safety
ECHO	EPA Enforcement and Compliance History Online
ENOI	Electronic Notice of Intent
EPA FUELS	EPA Fuels Registration, Reporting, and Compliance List
EPA OSC	EPA On-Site Coordinator
EPA WATCH	EPA Watch List
FA HWF	Financial Assurance for Hazardous Waste Facilities
FEDLAND	Federal Lands
FRS	Facility Index Systems
FTTS	FIFRA/TSCA Tracking System
FTTS INSP	FIFRA/TSCA Tracking System: Inspections
FUDS	Formerly Used Defense Sites
HIST AFS	Historical Air Facility Systems
HIST AFS 2	Historical Air Facility Systems
HIST DOD	Department of Defense historical sites
HIST LEAD_SMELTER	Historical Lead Smelter Sites
HIST MLTS	Historical Material Licensing Tracking Systems
HIST PCB TRANS	Historical Polychlorinated Biphenyl (PCB) Facilities
HIST PCS ENF	Historical Enforced Permit Compliance Facilities
HIST PCS FACILITY	Historical Permit Compliance Facilities
HIST SSTS	Historical Section 7 Tracking Systems
HWC DOCKET	Hazardous Waste Compliance Docket
ICIS	Integrated Compliance Information System
INACTIVE PCS	Inactive Permit Compliance Facilities
INDIAN RESERVATION	Indian Reservations
LUCIS	Land Use Control Information Systems
LUCIS 2	Land Use Control Information Systems 2
MINES	Mines
MINES USGS	Mines list from USGS
MLTS	Material Licensing Tracking Systems
NPL AOC	Areas related to NPL remediation sites
NPL LIENS	National Priority List Liens
OSHA	Occupational Safety & Health Administration
PADS	PCB Activity Database Systems
PCB TRANSFORMER	Polychlorinated Biphenyl (PCB) Waste
PCS ENF	Enforced Permit Compliance Facilities
PCS FACILITY	Permit Compliance Facilities
RAATS	RCRA Administrative Action Tracking Systems
RADINFO	Radiation Information Systems
RMP	Risk Management Plans

OTHER ASCERTAINABLE RECORDS (cont.)

ROD	Record of Decision
SCRD DRYCLEANERS	SCRD Drycleaners
SEMS_SMELTER	Sites on SEMS Potential Smelter Activity
SSTS	Section 7 Tracking Systems
STORMWATER	Storm Water Permits
TOSCA-PLANT	Toxic Substance Control Act: Plants
TRIS	Toxic Release Inventory Systems
UMTRA	Uranium Mill Tailing Sites
VAPOR	EPA Vapor Intrusion
CORRECTIVE ACTIONS_2020	Wastes - Hazardous Waste - Corrective Action
AIRS - ID	Air Permits
DAYCARE - ID	Daycares
DRYCLEANERS - ID	Drycleaners
ENVCVN - ID	Environmental Covenants
FA - ID	Financial Assurance
FA 2 - ID	Financial Assurance
T 2 - ID	Tier 2
UIC - ID	Underground Injection Control

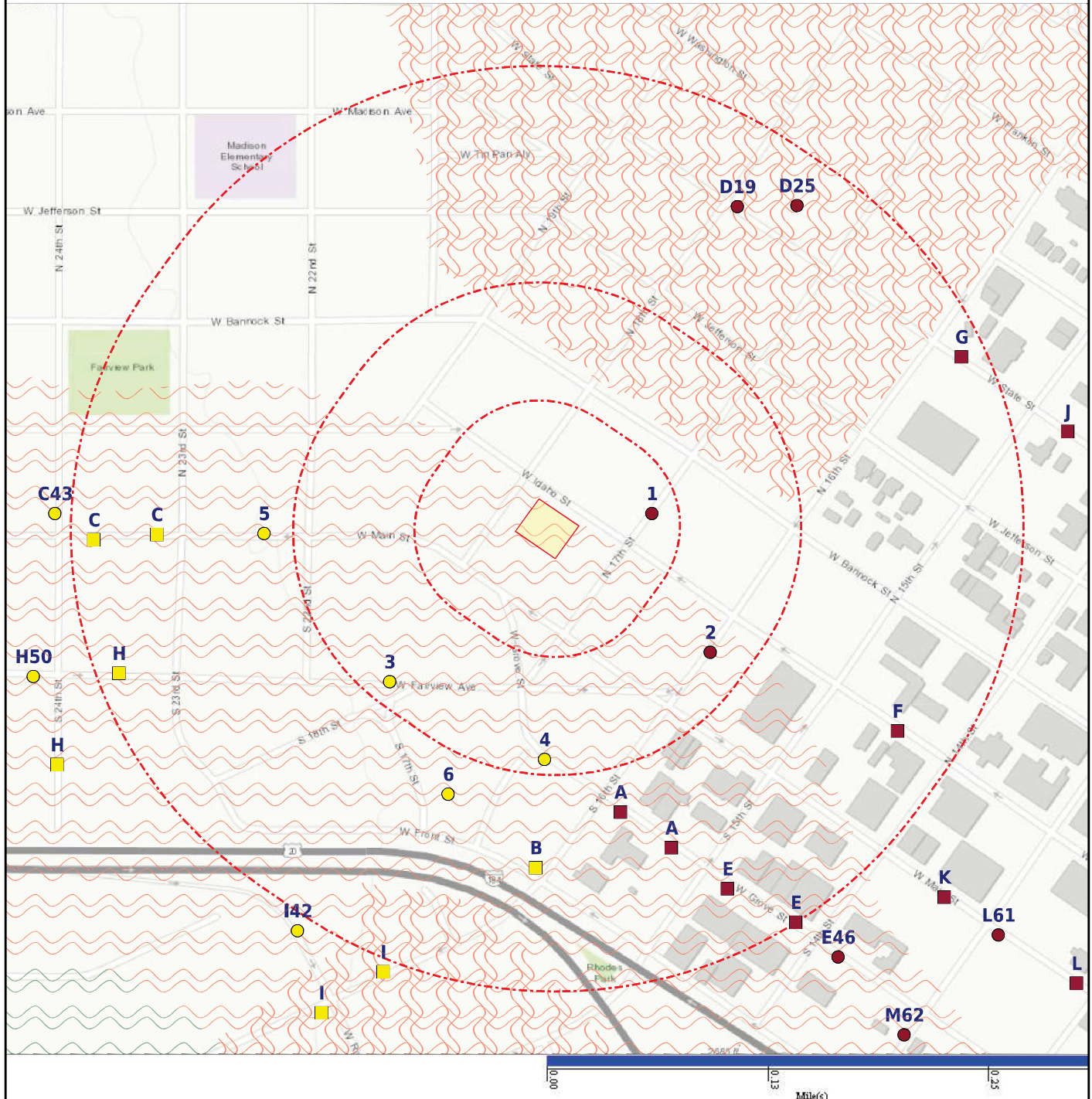
SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
ADDRESS: 1715 W Idaho, Boise, ID, 83702
LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
ORDER #: 41444
REPORT DATE: May 18, 2020



SUBJECT NAME: CAPITAL CITY DEVELOPMENT CORP.
 ADDRESS: 1715 W Idaho, Boise, ID, 83702
 LAT/LONG: 43.621876 / -116.214282

PREPARED FOR: CAS & Associates
 ORDER #: 41444
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- | | | | |
|----------------------------------|------------------------|--------------------------|------------------------------|
| Subject Property | Equal/Higher Elevation | Lower Elevation | CDC HAZDAT (No Data) |
| Department of Defense (No Data) | DFIRM FloodZone 100 | DFIRM FloodZone 500 | Federal Lands (No Data) |
| FEMA FloodZone 100 | FEMA FloodZone 500 | Historical DOD (No Data) | Indian Reservation (No Data) |
| National Priority List (No Data) | NWI | | |

<u>DATABASE</u>	<u>SUBJECT PROPERTY</u>	<u>SEARCH DISTANCE (MILES)</u>	<u><1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>>1</u>	<u>TOTAL MAPPED</u>
FEDERAL RCRA NON-CORRACTS TSD FACILITIES LIST								
ARCHIVED RCRA TSDF		0.500	0	0	0	--	--	0
RCRA_TSDF		0.500	0	0	0	--	--	0
FEDERAL CERCLIS LIST								
CERCLIS NFRAP		0.500	0	0	1	--	--	1
CERCLIS-HIST		0.500	0	0	0	--	--	0
FEDERAL FACILITY		1.000	0	0	0	0	--	0
SEMS_8R_ACTIVE SITES		0.500	0	0	0	--	--	0
SEMS_8R_ARCHIVED SITES		0.500	0	0	1	--	--	1
FEDERAL RCRA CORRACTS FACILITIES LIST								
CORRACTS		1.000	0	0	0	0	--	0
HIST CORRACTS 2		1.000	0	0	0	0	--	0
FEDERAL DELISTED NPL SITE LIST								
DELISTED NPL		1.000	0	0	0	0	--	0
DELISTED PROPOSED NPL		1.000	0	0	0	0	--	0
SEMS_DELETED NPL		1.000	0	0	0	0	--	0
FEDERAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS								
EPA LF MOP		0.500	0	0	0	--	--	0
FEDERAL ERNS LIST								
ERNS		SP	0	--	--	--	--	0
FEDERAL RCRA GENERATORS LIST								
HIST RCRA_CESQG		0.250	0	0	--	--	--	0
HIST RCRA_LQG		0.250	0	0	--	--	--	0
HIST RCRA_NONGEN		0.250	0	0	--	--	--	0
HIST RCRA_SQG		0.250	0	0	--	--	--	0
RCRA_LQG		0.250	0	0	--	--	--	0
RCRA_NONGEN		0.250	0	4	--	--	--	4
RCRA_SQG		0.250	0	0	--	--	--	0
RCRA_VSQG		0.250	1	1	--	--	--	2
FEDERAL NPL SITE LIST								
NPL		1.000	0	0	0	0	--	0
NPL EPA R1 GIS		1.000	0	0	0	0	--	0
NPL EPA R3 GIS		1.000	0	0	0	0	--	0
NPL EPA R6 GIS		1.000	0	0	0	0	--	0

<u>DATABASE</u>	<u>SUBJECT PROPERTY</u>	<u>SEARCH DISTANCE (MILES)</u>	<u><1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>>1</u>	<u>TOTAL MAPPED</u>
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FEDERAL NPL SITE LIST (cont.)

NPL EPA R8 GIS		1.000	0	0	0	0	--	0
NPL EPA R9 GIS		1.000	0	0	0	0	--	0
PART NPL		1.000	0	0	0	0	--	0
PROPOSED NPL		1.000	0	0	0	0	--	0
SEMS_FINAL NPL		1.000	0	0	0	0	--	0
SEMS_PROPOSED NPL		1.000	0	0	0	0	--	0

FEDERAL INSTITUTIONAL CONTROLS / ENGINEERING CONTROLS REGISTRIES

RCRA IC_EC		0.250	0	0	--	--	--	0
FED E C		0.500	0	0	0	--	--	0
FED I C		0.500	0	0	0	--	--	0

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS

FEMA UST		0.250	0	0	--	--	--	0
INDIAN UST R1		0.250	0	0	--	--	--	0
INDIAN UST R10		0.250	0	0	--	--	--	0
INDIAN UST R2		0.250	0	0	--	--	--	0
INDIAN UST R4		0.250	0	0	--	--	--	0
INDIAN UST R5		0.250	0	0	--	--	--	0
INDIAN UST R6		0.250	0	0	--	--	--	0
INDIAN UST R7		0.250	0	0	--	--	--	0
INDIAN UST R8		0.250	0	0	--	--	--	0
INDIAN UST R9		0.250	0	0	--	--	--	0
HIST UST - ID		0.250	0	1	--	--	--	1
UST - ID		0.250	3	10	--	--	--	13

STATE AND TRIBAL LEAKING STORAGE TANK LISTS

INDIAN LUST R1		0.500	0	0	0	--	--	0
INDIAN LUST R10		0.500	0	0	0	--	--	0
INDIAN LUST R2		0.500	0	0	0	--	--	0
INDIAN LUST R4		0.500	0	0	0	--	--	0
INDIAN LUST R5		0.500	0	0	0	--	--	0
INDIAN LUST R6		0.500	0	0	0	--	--	0
INDIAN LUST R7		0.500	0	0	0	--	--	0
INDIAN LUST R8		0.500	0	0	0	--	--	0
INDIAN LUST R9		0.500	0	0	0	--	--	0
LUST - ID		0.500	3	5	17	--	--	25

<u>DATABASE</u>	<u>SUBJECT PROPERTY</u>	<u>SEARCH DISTANCE (MILES)</u>	<u><1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>>1</u>	<u>TOTAL MAPPED</u>
STATE AND TRIBAL BROWNFIELD SITES								
TRIBAL BROWNFIELDS		0.500	0	0	1	--	--	1
BROWNFIELDS - ID		0.500	0	4	6	--	--	10
STATE AND TRIBAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS								
HIST LF - ID		0.500	0	0	0	--	--	0
SWF 2 - ID		0.500	0	0	0	--	--	0
SWF CLOSED - ID		0.500	0	0	0	--	--	0
SWF/LF - ID		0.500	0	0	0	--	--	0
STATE- AND TRIBAL - EQUIVALENT CERCLIS								
SHWS - ID		1.000	1	8	28	53	--	90
STATE AND TRIBAL VOLUNTARY CLEANUP SITES								
VCP - ID		0.500	0	0	0	--	--	0
LOCAL BROWNFIELD LISTS								
BROWNFIELDS-ACRES		0.500	0	2	1	--	--	3
FED BROWNFIELDS		0.500	0	5	5	--	--	10
LOCAL LISTS OF HAZARDOUS WASTE / CONTAMINATED SITES								
FED CDL		SP	0	--	--	--	--	0
US HIST CDL		SP	0	--	--	--	--	0
CDL - ID		SP	0	--	--	--	--	0
HIST CDL - ID		SP	0	--	--	--	--	0
LOCAL LISTS OF LANDFILL / SOLID WASTE DISPOSAL SITES								
HIST INDIAN ODI R8		0.500	0	0	0	--	--	0
INDIAN ODI R8		0.500	0	0	0	--	--	0
ODI		0.500	0	0	0	--	--	0
TRIBAL ODI		0.500	0	0	0	--	--	0
HIST SWRCY - ID		0.500	0	0	0	--	--	0
SWRCY - ID		0.500	0	1	0	--	--	1
SWTIRE - ID		0.500	0	0	0	--	--	0
RECORDS OF EMERGENCY RELEASE REPORTS								
HMIRS (DOT)		SP	0	--	--	--	--	0
HIST SPILLS - ID		0.125	0	--	--	--	--	0
SPILLS - ID		0.125	0	--	--	--	--	0

<u>DATABASE</u>	<u>SUBJECT PROPERTY</u>	<u>SEARCH DISTANCE (MILES)</u>	<u><1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>>1</u>	<u>TOTAL MAPPED</u>
LOCAL LAND RECORDS								
LIENS 2		SP	0	--	--	--	--	0
OTHER ASCERTAINABLE RECORDS								
AFS		SP	0	--	--	--	--	0
ALT FUELING		0.250	0	2	--	--	--	2
BRS		SP	0	--	--	--	--	0
CDC HAZDAT		1.000	0	0	0	0	--	0
COAL ASH DOE		0.500	0	0	0	--	--	0
COAL ASH EPA		0.500	0	0	0	--	--	0
COAL GAS		1.000	0	0	0	0	--	0
CONSENT (DECREEES)		1.000	0	0	0	0	--	0
DEBRIS R5 LF		0.500	0	0	0	--	--	0
DEBRIS R5 SWRCY		0.500	0	0	0	--	--	0
DOD		1.000	0	0	0	0	--	0
DOT OPS		SP	0	--	--	--	--	0
ECHO		SP	0	--	--	--	--	0
ENOI		SP	0	--	--	--	--	0
EPA FUELS		SP	0	--	--	--	--	0
EPA OSC		0.125	0	--	--	--	--	0
EPA WATCH		SP	0	--	--	--	--	0
FA HWF		SP	0	--	--	--	--	0
FEDLAND		1.000	0	0	0	0	--	0
FRS		SP	0	--	--	--	--	0
FTTS		SP	0	--	--	--	--	0
FTTS INSP		SP	0	--	--	--	--	0
FUDS		1.000	0	0	0	0	--	0
HIST AFS		SP	0	--	--	--	--	0
HIST AFS 2		SP	0	--	--	--	--	0
HIST DOD		1.000	0	0	0	0	--	0
HIST LEAD_SMELTER		SP	0	--	--	--	--	0
HIST MLTS		SP	0	--	--	--	--	0
HIST PCB TRANS		SP	0	--	--	--	--	0
HIST PCS ENF		SP	0	--	--	--	--	0
HIST PCS FACILITY		SP	0	--	--	--	--	0
HIST SSTS		SP	0	--	--	--	--	0
HWC DOCKET		SP	0	--	--	--	--	0
ICIS		SP	0	--	--	--	--	0

<u>DATABASE</u>	<u>SUBJECT PROPERTY</u>	<u>SEARCH DISTANCE (MILES)</u>	<u><1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>>1</u>	<u>TOTAL MAPPED</u>
OTHER ASCERTAINABLE RECORDS (cont.)								
INACTIVE PCS		SP	0	--	--	--	--	0
INDIAN RESERVATION		1.000	0	0	0	0	--	0
LUCIS		0.500	0	0	0	--	--	0
LUCIS 2		0.500	0	0	0	--	--	0
MINES		0.250	0	0	--	--	--	0
MINES USGS		0.250	0	0	--	--	--	0
MLTS		SP	0	--	--	--	--	0
NPL AOC		1.000	0	0	0	0	--	0
NPL LIENS		SP	0	--	--	--	--	0
OSHA		SP	0	--	--	--	--	0
PADS		SP	0	--	--	--	--	0
PCB TRANSFORMER		SP	0	--	--	--	--	0
PCS ENF		SP	0	--	--	--	--	0
PCS FACILITY		SP	0	--	--	--	--	0
RAATS		SP	0	--	--	--	--	0
RADINFO		SP	0	--	--	--	--	0
RMP		0.500	0	0	0	--	--	0
ROD		1.000	0	0	0	0	--	0
SCRD DRYCLEANERS		0.250	0	0	--	--	--	0
SEMS_SMELTER		SP	0	--	--	--	--	0
SSTS		SP	0	--	--	--	--	0
STORMWATER		SP	0	--	--	--	--	0
TOSCA-PLANT		SP	0	--	--	--	--	0
TRIS		SP	0	--	--	--	--	0
UMTRA		0.500	0	0	0	--	--	0
VAPOR		0.500	0	0	0	--	--	0
CORRECTIVE ACTIONS_2020		0.500	0	0	0	--	--	0
AIRS - ID		SP	0	--	--	--	--	0
ALL SITES - ID		1.000	4	18	57	122	--	201
DAYCARE - ID		SP	0	--	--	--	--	0
DRYCLEANERS - ID		0.250	0	0	--	--	--	0
ENVCVN - ID		0.500	0	0	0	--	--	0
FA - ID		SP	0	--	--	--	--	0
FA 2 - ID		SP	0	--	--	--	--	0
T 2 - ID		0.250	0	0	--	--	--	0
UIC - ID		SP	0	--	--	--	--	0

Map Id: 1
Direction: E
Distance: 0.042 mi.
Actual: 222.317 ft.
Elevation: 0.508 mi. / 2682.927 ft.
Relative: Higher

Site Name : MEADOW GOLD DAIRIES
208 N 17TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID]

Envirosite ID: 11209185
EPA ID: N/R

ALL SITES - ID

Facility Name : MEADOW GOLD DAIRIES
Facility Address : 208 N 17TH ST, BOISE
County : Ada

Reference ID : 7007
Box Number : 2011BAZ4353
Program : Leaking Underground Storage Tanks
All Programs for Site : Leaking Underground Storage Tanks, Underground Storage Tanks
Covenant : N/R
Latitude : 43.62191
Longitude : -116.21266
Last Date in Agency List : 03/19/2020

FA - ID

Facility Name : MEADOW GOLD DAIRIES
Facility Address : 208 N 17TH ST, BOISE, 83702

Site Details

Date Certified : 07/31/2001
Facility ID : 3-010096
Facility Type : Commercial
Facility Status : Closure
Facility Phone : N/R
Within 1000 Feet of a Drinking Water Source: Yes
Latitude : 43.62191
Longitude : -116.21266
Last Date in Agency List : 01/08/2020

Financial Responsibility

Expiration Date : 07/31/2001
Type : State Fund

LUST - ID

Facility Name : MEADOW GOLD DAIRIES
Facility Address : 208 N 17TH ST, BOISE, 83702

Site Details

Release Date : 05/30/2001
Cleanup Date : 02/09/2002
LUST ID : 1239
Facility ID : 3-010096
Status : Site Cleanup Completed
Cleanup Method : Land Farming
Last Date in Agency List : 04/08/2020

Map Id: 1
Direction: E
Distance: 0.042 mi.
Actual: 222.317 ft.
Elevation: 0.508 mi. / 2682.927 ft.
Relative: Higher

Site Name : MEADOW GOLD DAIRIES
208 N 17TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209185
EPA ID: N/R

UST - ID

Facility Name : MEADOW GOLD DAIRIES
Facility Address : 208 N 17TH ST, BOISE, 83702

Facility ID : 3-010096
Facility Type : Commercial
Facility Status : Closure
Facility Phone : N/R
Date Certified : 07/31/2001
Last Inspection Date : N/R
Edited by : htimothy
Owner Name : MEADOW GOLD DAIRIES
Within 1000 feet of a Drinking Water Source?: Yes
Facility Latitude : 43.62191
Facility Longitude : -116.21266
Last Date in Agency List : 04/02/2020

Contact Details

Start Date : 07/31/2001
End Date : N/R
Trained Date : N/R
Contact Name : MEADOW GOLD DAIRIES
Contact Type : Owner

Start Date : 07/31/2001
End Date : N/R
Trained Date : N/R
Contact Name : RANDY KRAUSE
Contact Type : Other

Start Date : 07/31/2001
End Date : N/R
Trained Date : N/R
Contact Name : RICHARD L JAKONEIT
Contact Type : Other

Start Date : 07/31/2001
End Date : N/R
Trained Date : N/R
Contact Name : TOM MURRY
Contact Type : Manager

Financial Responsibility

Expiration Date : 07/31/2001
Type : State Fund

Map Id: 1
Direction: E
Distance: 0.042 mi.
Actual: 222.317 ft.
Elevation: 0.508 mi. / 2682.927 ft.
Relative: Higher

Site Name : MEADOW GOLD DAIRIES
208 N 17TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209185
EPA ID: N/R

UST - ID (**cont.**)

Tank Details

Tank Number : 3-010096*1
Tank Material : Cathodically Protected Steel (Impressed Current)
Date Installed : 04/01/1985
Capacity : 8000
Status : Permanently Out of Use
Substance : Diesel
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010096*2
Tank Material : Cathodically Protected Steel (Impressed Current)
Date Installed : 04/01/1985
Capacity : 8000
Status : Permanently Out of Use
Substance : Regular Gasoline
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010096*3
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 7500
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010096*4
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 7500
Status : Permanently Out of Use
Substance : Diesel
CAS Number/CERCLA Name : N/R

Map Id: 1
Direction: E
Distance: 0.042 mi.
Actual: 222.317 ft.
Elevation: 0.508 mi. / 2682.927 ft.
Relative: Higher

Site Name : MEADOW GOLD DAIRIES
208 N 17TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209185
EPA ID: N/R

UST - ID (cont.)

Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Pipe Details

Date Installed : N/R
Start Date : N/R
End Date : N/R
Status : N/R
Pipe Type : N/R
Pipe Material : N/R
Description : N/R
Construction : N/R
Construction Details : N/R
Flex Connector/Fittings CP Types : N/R
Comments : N/R

Dispenser Connection

Dispenser : N/R

Tank Connection

Tank : N/R

Dispensers

Start Date : N/R
End Date : N/R
Sump Containment : N/R
Flex Connector CP Type : N/R
Local Description : N/R

Inspection List

Inspection Date : N/R
Inspector : N/R
Prevention : N/R
Detection : N/R
Total : N/R

LUST Events

LUST ID : 1239
Confirmed Release Date : 05/30/2001

Map Id: 1
 Direction: E
 Distance: 0.042 mi.
 Actual: 222.317 ft.
 Elevation: 0.508 mi. / 2682.927 ft.
 Relative: Higher

Site Name : MEADOW GOLD DAIRIES
 208 N 17TH ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209185
EPA ID: N/R

UST - ID (**cont.**)

Cleanup Complete Date : 02/09/2002
 Enforcement Effective Date : 05/30/2001
 Enforcement Termination Date : N/R
 EC : No

Map Id: 2
 Direction: ESE
 Distance: 0.102 mi.
 Actual: 539.914 ft.
 Elevation: 0.508 mi. / 2684.085 ft.
 Relative: Higher

Site Name : KBCI-TV
 140 N 16TH ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID]

EnviroSite ID: 11209115
EPA ID: N/R

ALL SITES - ID

Facility Name : KBCI-TV
 Facility Address : 140 N 16TH ST, BOISE
 County : Ada
 Reference ID : 8936
 Box Number : 2011BAZ3677
 Program : Leaking Underground Storage Tanks
 All Programs for Site : Leaking Underground Storage Tanks, Underground Storage Tanks
 Covenant : N/R
 Latitude : 43.6205
 Longitude : -116.21256
 Last Date in Agency List : 03/19/2020

FA - ID

Facility Name : KBCI-TV
 Facility Address : 140 N 16TH ST, BOISE, 83702

Site Details

Date Certified : 10/24/1995
 Facility ID : 3-010740
 Facility Type : Gas Station
 Facility Status : Closure
 Facility Phone : N/R
 Within 1000 Feet of a Drinking Water Source: Yes
 Latitude : 43.6205
 Longitude : -116.21256
 Last Date in Agency List : 02/15/2016

Map Id: 2
Direction: ESE
Distance: 0.102 mi.
Actual: 539.914 ft.
Elevation: 0.508 mi. / 2684.085 ft.
Relative: Higher

Site Name : KBCI-TV
140 N 16TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209115
EPA ID: N/R

FA - ID (cont.**)**

Financial Responsibility
Expiration Date : N/R
Type : N/R

LUST - ID

Facility Name : KBCI-TV
Facility Address : 140 N 16TH ST, BOISE, 83702

Site Details

Release Date : 10/06/1995
Cleanup Date : 09/01/1996
LUST ID : 503
Facility ID : 3-010740
Status : Site Cleanup Completed
Cleanup Method : N/R
Last Date in Agency List : 04/08/2020

UST - ID

Facility Name : KBCI-TV
Facility Address : 140 N 16TH ST, BOISE, 83702

Facility ID : 3-010740
Facility Type : Gas Station
Facility Status : Closure
Facility Phone : N/R
Date Certified : 10/24/1995
Last Inspection Date : N/R
Edited by : UT
Owner Name : NORTHWEST TELEVISION, INC.
Within 1000 feet of a Drinking Water Source?: Yes
Facility Latitude : 43.6205
Facility Longitude : -116.21256
Last Date in Agency List : 04/02/2020

Contact Details

Start Date : 10/24/1995
End Date : N/R
Trained Date : N/R
Contact Name : NORTHWEST TELEVISION, INC.
Contact Type : Owner

Start Date : 10/24/1995
End Date : N/R
Trained Date : N/R
Contact Name : TIM BEVER
Contact Type : Other

Map Id: 2
 Direction: ESE
 Distance: 0.102 mi.
 Actual: 539.914 ft.
 Elevation: 0.508 mi. / 2684.085 ft.
 Relative: Higher

Site Name : KBCI-TV
 140 N 16TH ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209115
EPA ID: N/R

UST - ID (**cont.**)

Financial Responsibility
 Expiration Date : N/R
 Type : N/R

Tank Details

Tank Number : 3-010740*1
 Tank Material : Asphalt Coated or Bare Steel
 Date Installed : 12/22/1988
 Capacity : 1000
 Status : Permanently Out of Use
 Substance : Regular Gasoline
 CAS Number/CERCLA Name : N/R
 Compartment : No
 Manifolder : No
 Secondary Tank Options : None
 Has Tank been Repaired : No
 Emergency Generator : No
 Sump Containment : N/R
 Tank Notes : N/R

Tank Number : 3-010740*2
 Tank Material : Asphalt Coated or Bare Steel
 Date Installed : 12/22/1988
 Capacity : 1000
 Status : Permanently Out of Use
 Substance : Regular Gasoline
 CAS Number/CERCLA Name : N/R
 Compartment : No
 Manifolder : No
 Secondary Tank Options : None
 Has Tank been Repaired : No
 Emergency Generator : No
 Sump Containment : N/R
 Tank Notes : N/R

Tank Number : 3-010740*3
 Tank Material : Asphalt Coated or Bare Steel
 Date Installed : 12/22/1988
 Capacity : 275
 Status : Permanently Out of Use
 Substance : Regular Gasoline
 CAS Number/CERCLA Name : N/R
 Compartment : No
 Manifolder : No
 Secondary Tank Options : None
 Has Tank been Repaired : No
 Emergency Generator : No
 Sump Containment : N/R
 Tank Notes : N/R

Map Id: 2
Direction: ESE
Distance: 0.102 mi.
Actual: 539.914 ft.
Elevation: 0.508 mi. / 2684.085 ft.
Relative: Higher

Site Name : KBCI-TV
140 N 16TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] **(cont.)**

Envirosite ID: 11209115
EPA ID: N/R

UST - ID **(cont.)**

Tank Number : 3-010740*4
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 450
Status : Permanently Out of Use
Substance : Used Oil
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010740*5
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 500
Status : Permanently Out of Use
Substance : Regular Gasoline
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010740*6
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 1000
Status : Permanently Out of Use
Substance : Regular Gasoline
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010740*7
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 1000
Status : Permanently Out of Use
Substance : Regular Gasoline
CAS Number/CERCLA Name : N/R
Compartment : No

Map Id: 2
Direction: ESE
Distance: 0.102 mi.
Actual: 539.914 ft.
Elevation: 0.508 mi. / 2684.085 ft.
Relative: Higher

Site Name : KBCI-TV
140 N 16TH ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209115
EPA ID: N/R

UST - ID (cont.)

Manifolded :	No
Secondary Tank Options :	None
Has Tank been Repaired :	No
Emergency Generator :	No
Sump Containment :	N/R
Tank Notes :	N/R

Pipe Details

Date Installed :	N/R
Start Date :	N/R
End Date :	N/R
Status :	N/R
Pipe Type :	N/R
Pipe Material :	N/R
Description :	N/R
Construction :	N/R
Construction Details :	N/R
Flex Connector/Fittings CP Types :	N/R
Comments :	N/R

Dispenser Connection

Dispenser :	N/R
-------------	-----

Tank Connection

Tank :	N/R
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Dispensers

Start Date :	N/R
End Date :	N/R
Sump Containment :	N/R
Flex Connector CP Type :	N/R
Local Description :	N/R

Inspection List

Inspection Date :	N/R
Inspector :	N/R
Prevention :	N/R
Detection :	N/R
Total :	N/R

LUST Events

LUST ID :	503
Confirmed Release Date :	10/06/1995
Cleanup Complete Date :	09/01/1996

Map Id: 2
 Direction: ESE
 Distance: 0.102 mi.
 Actual: 539.914 ft.
 Elevation: 0.508 mi. / 2684.085 ft.
 Relative: Higher

Site Name : KBCI-TV
 140 N 16TH ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] **(cont.)**

Envirosite ID: 11209115
EPA ID: N/R

UST - ID (cont.)

Enforcement Effective Date : N/R
 Enforcement Termination Date : N/R
 EC : No

Map Id: 3
 Direction: SW
 Distance: 0.111 mi.
 Actual: 587.355 ft.
 Elevation: 0.508 mi. / 2680.522 ft.
 Relative: Lower

Site Name : RED LION BOISE DOWNTOWNER
 1800 FAIRVIEW
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID]

Envirosite ID: 11209154
EPA ID: N/R

ALL SITES - ID

Facility Name : RED LION BOISE DOWNTOWNER
 Facility Address : 1800 FAIRVIEW, BOISE
 County : Ada
 Reference ID : 7293
 Box Number : 2011BAZ5464
 Program : Leaking Underground Storage Tanks
 All Programs for Site : Leaking Underground Storage Tanks, Underground Storage Tanks
 Covenant : N/R
 Latitude : 43.62101
 Longitude : -116.21688
 Last Date in Agency List : 03/19/2020

FA - ID

Facility Name : RED LION BOISE DOWNTOWNER
 Facility Address : 1800 FAIRVIEW, BOISE, 83702

Site Details

Date Certified : 08/26/1996
 Facility ID : 3-010738
 Facility Type : Commercial
 Facility Status : Closure
 Facility Phone : N/R
 Within 1000 Feet of a Drinking Water Source: Yes
 Latitude : 43.62101
 Longitude : -116.21688
 Last Date in Agency List : 01/08/2020

Map Id: 3
Direction: SW
Distance: 0.111 mi.
Actual: 587.355 ft.
Elevation: 0.508 mi. / 2680.522 ft.
Relative: Lower

Site Name : RED LION BOISE DOWNTOWNER
1800 FAIRVIEW
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209154
EPA ID: N/R

FA - ID (cont.**)**

Financial Responsibility
Expiration Date : 08/26/1996
Type : Self-Insured

LUST - ID

Facility Name : RED LION BOISE DOWNTOWNER
Facility Address : 1800 FAIRVIEW, BOISE, 83702

Site Details

Release Date : 08/05/1996
Cleanup Date : 01/13/1997
LUST ID : 501
Facility ID : 3-010738
Status : Site Cleanup Completed
Cleanup Method : N/R
Last Date in Agency List : 04/08/2020

UST - ID

Facility Name : RED LION BOISE DOWNTOWNER
Facility Address : 1800 FAIRVIEW, BOISE, 83702

Facility ID : 3-010738
Facility Type : Commercial
Facility Status : Closure
Facility Phone : N/R
Date Certified : 08/26/1996
Last Inspection Date : N/R
Edited by : DGRAY
Owner Name : RED LION HOTELS & INNS
Within 1000 feet of a Drinking Water Source?: Yes
Facility Latitude : 43.62101
Facility Longitude : -116.21688
Last Date in Agency List : 04/02/2020

Contact Details

Start Date : 08/26/1996
End Date : N/R
Trained Date : N/R
Contact Name : RED LION HOTELS & INNS
Contact Type : Owner

Start Date : 08/26/1996
End Date : N/R
Trained Date : N/R
Contact Name : WAYNE PIPES JR
Contact Type : Other

Map Id: 3
Direction: SW
Distance: 0.111 mi.
Actual: 587.355 ft.
Elevation: 0.508 mi. / 2680.522 ft.
Relative: Lower

Site Name : RED LION BOISE DOWNTOWNER
1800 FAIRVIEW
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209154
EPA ID: N/R

UST - ID (cont.)

Financial Responsibility
Expiration Date : 08/26/1996
Type : Self-Insured

Tank Details

Tank Number : 3-010738*1
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 09/01/1983
Capacity : 650
Status : Permanently Out of Use
Substance : Diesel
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Pipe Details

Date Installed : N/R
Start Date : N/R
End Date : N/R
Status : N/R
Pipe Type : N/R
Pipe Material : N/R
Description : N/R
Construction : N/R
Construction Details : N/R
Flex Connector/Fittings CP Types : N/R
Comments : N/R

Dispenser Connection

Dispenser : N/R

Tank Connection

Tank : N/R

Dispensers

Start Date : N/R
End Date : N/R
Sump Containment : N/R
Flex Connector CP Type : N/R
Local Description : N/R

Map Id: 3
Direction: SW
Distance: 0.111 mi.
Actual: 587.355 ft.
Elevation: 0.508 mi. / 2680.522 ft.
Relative: Lower

Site Name : RED LION BOISE DOWNTOWNER
1800 FAIRVIEW
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209154
EPA ID: N/R

UST - ID (**cont.**)

Inspection List

Inspection Date :	N/R
Inspector :	N/R
Prevention :	N/R
Detection :	N/R
Total :	N/R

LUST Events

LUST ID :	501
Confirmed Release Date :	08/05/1996
Cleanup Complete Date :	01/13/1997
Enforcement Effective Date :	N/R
Enforcement Termination Date :	N/R
EC :	No

Map Id: 4
Direction: S
Distance: 0.116 mi.
Actual: 612.629 ft.
Elevation: 0.508 mi. / 2681.608 ft.
Relative: Lower

Site Name : ALS CAR CARE INC GROVE
1645 GROVE ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG, SHWS - ID]

EnviroSite ID: 414270463
EPA ID: IDR000205252

ALL SITES - ID

Facility Name :	ALS CAR CARE INC GROVE
Facility Address :	1645 GROVE ST, BOISE
County :	Ada
Reference ID :	107658
Box Number :	2013BAZ395
Program :	N/R
All Programs for Site :	RCRA Hazardous Waste Site
Covenant :	N/R
Latitude :	43.619656
Longitude :	-116.214457
Last Date in Agency List :	03/19/2020

ECHO

Facility Name :	ALS CAR CARE INC GROVE
Facility Address :	1645 GROVE ST, BOISE, ID 83702
County :	ADA

Map Id: 4
 Direction: S
 Distance: 0.116 mi.
 Actual: 612.629 ft.
 Elevation: 0.508 mi. / 2681.608 ft.
 Relative: Lower

Site Name : ALS CAR CARE INC GROVE
 1645 GROVE ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG,
 SHWS - ID] **(cont.)**

Envirosite ID: 414270463
EPA ID: IDR000205252

ECHO **(cont.)**

Site Details

Last Inspection Date :	N/R
Registry ID :	110056314778
FIPS Code :	16001
EPA Region :	10
Inspection Count :	0
Last Inspection Days :	N/R
Informal Count :	0
Last Informal Action Date :	N/R
Formal Action Count :	0
Last Formal Action Date :	N/R
Total Penalties :	0
Penalty Count :	N/R
Last Penalty Date :	N/R
Last Penalty Amount :	N/R
QTRS IN NC :	0
Programs IN SNC :	0
Current Compliance Status :	No Violation Identified
Three-Year Compliance Status :	
Collection Method :	ADDRESS MATCHING-HOUSE NUMBER
Reference Point :	CENTER OF A FACILITY OR STATION
Accuracy Meters :	30
Derived Tribes :	N/R
Derived HUC :	17050114
Derived WBD :	170501140403
Derived STCTY FIPS :	16001
Derived Zip :	83702
Derived CD113 :	02
Derived CB2010 :	160010001003035
MYRTK Universe :	NNN
NPDES IDs :	N/R
CWA Permit Types :	N/R
CWA Compliance Tracking :	N/R
CWA NAICS :	N/R
CWA SICS :	N/R
CWA Inspection Count :	N/R
CWA Last Inspection Days :	N/R
CWA Informal Count :	N/R
CWA Formal Action Count :	N/R
CWA Last Formal Action Date :	N/R
CWA Penalties :	N/R
CWA Last Penalty Date :	N/R
CWA Last Penalty Amount :	N/R
CWA Quarters IN NC :	N/R
CWA Current Compliance Status :	N/R
CWA Current SNC Flag :	N
CWA 13 Quarters Compliance Status :	N/R
CWA 13 Quarters Effluent Exceedances:	N/R
CWA Three-Year QNCR Codes :	N/R
DFR URL :	Click here for hyperlink provided by the agency.
Facility SIC :	N/R
Facility NAICS :	811111 811113 811191 - General Automotive Repair. Automotive Transmission Repair. Automotive Oil Change and Lubrication Shops.
Facility Last Inspection EPA Date :	N/R

Map Id: 4
 Direction: S
 Distance: 0.116 mi.
 Actual: 612.629 ft.
 Elevation: 0.508 mi. / 2681.608 ft.
 Relative: Lower

Site Name : ALS CAR CARE INC GROVE
 1645 GROVE ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG,
 SHWS - ID] **(cont.)**

Envirosite ID: 414270463
EPA ID: IDR000205252

ECHO (cont.)

Facility Last Inspection State Date :	N/R
Facility Last Formal Act EPA Date :	N/R
Facility Last Formal Act State Date :	N/R
Facility Last Informal Act EPA Date :	N/R
Facility Last Informal Act State Date:	N/R
Facility Federal Agency :	N/R
TRI Reporter :	N/R
Facility Imp Water Flag :	N/R
Current SNC Flag :	N
Indian County Flag :	N
Federal Flag :	N/R
US Mexico Border Flag :	N/R
Chesapeake Bay Flag :	N/R
AIR Flag :	N
NPDES Flag :	N
SDWIS Flag :	N
RCRA Flag :	Y
TRI Flag :	N
GHG Flag :	N
Major Flag :	N/R
Active Flag :	Y
NAA Flag :	Y
Latitude :	43.6199
Longitude :	-116.21415
Last Date in Agency List :	02/10/2020

FRS

Facility Name :	ALS CAR CARE INC GROVE
Facility Address :	1645 GROVE ST, BOISE, ID 83702
County :	ADA
Registry ID :	110056314778
FRS Facility URL :	Click here for hyperlink provided by the agency.
Last Date in Agency List :	12/12/2019

Source Description :

RCRAInfo is EPA's comprehensive information system that supports the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984 through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA. RCRAInfo also supports generation of the National Hazardous Waste Biennial Report. All generators and treatment, storage, and disposal facilities who handle hazardous waste are required to report to the EPA Administrator at least once every two years to support creation of the Biennial Report.

FRS Environmental Interest
 Source and System ID :

RCRAINFO - IDR000205252

Map Id: 4
Direction: S
Distance: 0.116 mi.
Actual: 612.629 ft.
Elevation: 0.508 mi. / 2681.608 ft.
Relative: Lower

Site Name : ALS CAR CARE INC GROVE
1645 GROVE ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG,
SHWS - ID] (**cont.**)

Envirosite ID: 414270463
EPA ID: IDR000205252

RCRA_VSQG

Facility Name : ALS CAR CARE INC GROVE
Facility Address : 1645 GROVE ST, BOISE, ID 83702
County : ADA

Date Form Received by Agency : 06/15/2016
EPA ID : IDR000205252
Mailing Address : 1645 GROVE ST, BOISE, ID 83702
Contact : BRAD FAHEY
Contact Address : 1645 GROVE ST, BOISE, ID 83702
Contact Country : US
Contact Telephone : 208-344-3800
Contact Email : ALSCARCARE2@AOL.COM
EPA Region : 10
Land Type : Private
Source Type : Implementer
Classification : Very Small Quantity Generator

Description :

Handlers that generate 100 kilograms or less of hazardous waste per calendar month, and accumulate 1000 kg or less of hazardous waste at any time; or generate one kilogram or less of acutely hazardous waste per calendar month, and accumulate at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generate 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulate at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste.

Last Date in Agency List : 02/14/2020

Owner/Operator Summary

Owner/Operator Name : BRAD FAHEY
Owner/Operator Address : N/R
Owner/Operator Country : US
Owner/Operator Telephone : N/R
Owner/Operator Email : N/R
Owner/Operator Fax : N/R
Legal Status : Private
Owner/Operator Type : Operator
Owner/Operator Start Date : 11/01/2009
Owner/Operator End Date : N/R

Owner/Operator Name : RICHARD FOERSTER
Owner/Operator Address : 320 OLD QUARRY WAY, BOISE, ID 83709
Owner/Operator Country : US
Owner/Operator Telephone : 208-322-4866
Owner/Operator Email : N/R
Owner/Operator Fax : N/R
Legal Status : Private
Owner/Operator Type : Owner
Owner/Operator Start Date : 11/01/1990

Map Id: 4
 Direction: S
 Distance: 0.116 mi.
 Actual: 612.629 ft.
 Elevation: 0.508 mi. / 2681.608 ft.
 Relative: Lower

Site Name : ALS CAR CARE INC GROVE
 1645 GROVE ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG,
 SHWS - ID] **(cont.)**

Envirosite ID: 414270463
EPA ID: IDR000205252

RCRA_VSQG (cont.)

Owner/Operator End Date : N/R

Handler Activities Summary

U.S. Importer of Hazardous Waste :	N
Mixed Waste (Haz. and Radioactive) :	N
Recycler of Hazardous Waste :	N
Transporter of Hazardous Waste :	N
Treater, Storer or Disposer of HW :	N
Underground Injection Activity :	N
On-site Burner Exemption :	N
Furnace Exemption :	N
Used Oil Fuel Burner :	N
Used Oil Processor :	N
Used Oil Refiner :	N
Used Oil Fuel Marketer to Burner :	N
Used Oil Specification Marketer :	N
Used Oil Transfer Facility :	N
Used Oil Transporter :	N

Historical Generators

Date Form Received by Agency :	01/31/2014
Facility Name :	ALS CAR CARE INC GROVE
Classification :	Not a generator, verified

Date Form Received by Agency :	09/16/2013
Facility Name :	ALS CAR CARE INC GROVE
Classification :	Small Quantity Generator

Hazardous Waste Summary

Waste Code / Name :	<p>F003 - THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.</p> <p>F005 - THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.</p>
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Map Id: 4
Direction: S
Distance: 0.116 mi.
Actual: 612.629 ft.
Elevation: 0.508 mi. / 2681.608 ft.
Relative: Lower

Site Name : ALS CAR CARE INC GROVE
1645 GROVE ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS, RCRA_VSQG,
SHWS - ID] (**cont.**)

Envirosite ID: 414270463
EPA ID: IDR000205252

RCRA_VSQG (cont.)

Notices of Violations Summary
Regulation Violated :

N

SHWS - ID

Facility Name : ALS CAR CARE INC GROVE
Facility Address : 1645 GROVE ST, BOISE
County : Ada

Reference ID : 107658
Box Number : 2013BAZ395
Program : N/R
All Programs for Site : RCRA Hazardous Waste Site
Covenant : N/R
Latitude : 43.619656
Longitude : -116.214457
Last Date in Agency List : 03/19/2020

Map Id: 5
Direction: W
Distance: 0.141 mi.
Actual: 744.800 ft.
Elevation: 0.508 mi. / 2680.102 ft.
Relative: Lower

Site Name : IDAHO REGISTRATION SERVICE CO
2230 W MAIN ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS,
RCRA_NONGEN, SHWS - ID]

Envirosite ID: 414587248
EPA ID: IDD073011793

ALL SITES - ID

Facility Name : IDAHO REGISTRATION SERVICE CO
Facility Address : 2230 W MAIN ST, BOISE
County : Ada

Reference ID : 3887
Box Number : 2011BAZ3229
Program : RCRA Hazardous Waste Site
All Programs for Site : RCRA Hazardous Waste Site
Covenant : N/R
Latitude : 43.622093
Longitude : -116.218191
Last Date in Agency List : 03/19/2020

ECHO

Facility Name : IDAHO REGISTRATION SERVICE CO
Facility Address : 2230 W MAIN ST, BOISE, ID 83702
County : ADA

Map Id: 5
 Direction: W
 Distance: 0.141 mi.
 Actual: 744.800 ft.
 Elevation: 0.508 mi. / 2680.102 ft.
 Relative: Lower

Site Name : IDAHO REGISTRATION SERVICE CO
 2230 W MAIN ST
 BOISE, ID 83702

Database(s) : [ALL SITES - ID, ECHO, FRS,
 RCRA_NONGEN, SHWS - ID] **(cont.)**

Envirosite ID: 414587248
EPA ID: IDD073011793

ECHO (cont.)

Site Details

Last Inspection Date :	N/R
Registry ID :	110005783349
FIPS Code :	16001
EPA Region :	10
Inspection Count :	0
Last Inspection Days :	N/R
Informal Count :	0
Last Informal Action Date :	N/R
Formal Action Count :	0
Last Formal Action Date :	N/R
Total Penalties :	0
Penalty Count :	N/R
Last Penalty Date :	N/R
Last Penalty Amount :	N/R
QTRS IN NC :	0
Programs IN SNC :	0
Current Compliance Status :	No Violation Identified
Three-Year Compliance Status :	
Collection Method :	ADDRESS MATCHING-HOUSE NUMBER
Reference Point :	ENTRANCE POINT OF A FACILITY OR STATION
Accuracy Meters :	50
Derived Tribes :	N/R
Derived HUC :	17050114
Derived WBD :	170501140403
Derived STCTY FIPS :	16001
Derived Zip :	83702
Derived CD113 :	02
Derived CB2010 :	160010001003038
MYRTK Universe :	NNN
NPDES IDs :	N/R
CWA Permit Types :	N/R
CWA Compliance Tracking :	N/R
CWA NAICS :	N/R
CWA SICS :	N/R
CWA Inspection Count :	N/R
CWA Last Inspection Days :	N/R
CWA Informal Count :	N/R
CWA Formal Action Count :	N/R
CWA Last Formal Action Date :	N/R
CWA Penalties :	N/R
CWA Last Penalty Date :	N/R
CWA Last Penalty Amount :	N/R
CWA Quarters IN NC :	N/R
CWA Current Compliance Status :	N/R
CWA Current SNC Flag :	N
CWA 13 Quarters Compliance Status :	N/R
CWA 13 Quarters Effluent Exceedances:	N/R
CWA Three-Year QNCR Codes :	N/R
DFR URL :	Click here for hyperlink provided by the agency.
Facility SIC :	N/R
Facility NAICS :	32311 - Printing
Facility Last Inspection EPA Date :	N/R
Facility Last Inspection State Date :	N/R
Facility Last Formal Act EPA Date :	N/R
Facility Last Formal Act State Date :	N/R

Map Id: 5
 Direction: W
 Distance: 0.141 mi.
 Actual: 744.800 ft.
 Elevation: 0.508 mi. / 2680.102 ft.
 Relative: Lower

Site Name : IDAHO REGISTRATION SERVICE CO
 2230 W MAIN ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS,
 RCRA_NONGEN, SHWS - ID] **(cont.)**

Envirosite ID: 414587248
EPA ID: IDD073011793

ECHO (cont.)

Facility Last Informal Act EPA Date :	N/R
Facility Last Informal Act State Date:	N/R
Facility Federal Agency :	N/R
TRI Reporter :	N/R
Facility Imp Water Flag :	N/R
Current SNC Flag :	N
Indian County Flag :	N
Federal Flag :	N/R
US Mexico Border Flag :	N/R
Chesapeake Bay Flag :	N/R
AIR Flag :	N
NPDES Flag :	N
SDWIS Flag :	N
RCRA Flag :	Y
TRI Flag :	N
GHG Flag :	N
Major Flag :	N/R
Active Flag :	N/R
NAA Flag :	Y
Latitude :	43.621803
Longitude :	-116.217372
Last Date in Agency List :	02/10/2020

FRS

Facility Name :	IDAHO REGISTRATION SERVICE CO
Facility Address :	2230 W MAIN ST, BOISE, ID 83702
County :	ADA

Registry ID :	110005783349
FRS Facility URL :	Click here for hyperlink provided by the agency.
Last Date in Agency List :	12/12/2019

Source Description :

RCRAInfo is EPA's comprehensive information system that supports the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984 through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA. RCRAInfo also supports generation of the National Hazardous Waste Biennial Report. All generators and treatment, storage, and disposal facilities who handle hazardous waste are required to report to the EPA Administrator at least once every two years to support creation of the Biennial Report.

FRS Environmental Interest	
Source and System ID :	RCRAINFO - IDD073011793

RCRA_NONGEN

Facility Name :	IDAHO REGISTRATION SERVICE CO
Facility Address :	2230 W MAIN ST, BOISE, ID 83702
County :	ADA

Map Id: 5
 Direction: W
 Distance: 0.141 mi.
 Actual: 744.800 ft.
 Elevation: 0.508 mi. / 2680.102 ft.
 Relative: Lower

Site Name : IDAHO REGISTRATION SERVICE CO
 2230 W MAIN ST
 BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS,
 RCRA_NONGEN, SHWS - ID] **(cont.)**

Envirosite ID: 414587248
EPA ID: IDD073011793

RCRA_NONGEN (cont.)

Date Form Received by Agency :	09/13/1991
EPA ID :	IDD073011793
Mailing Address :	2230 W MAIN ST, BOISE, ID 83702
Contact :	UNKNOWN UNKNOWN
Contact Address :	2230 MAIN ST, BOISE, ID 83706
Contact Country :	US
Contact Telephone :	N/R
Contact Email :	N/R
EPA Region :	10
Land Type :	Other land type
Source Type :	Notification
Classification :	Not a generator, verified
Description :	Not a generator, verified
Last Date in Agency List :	02/14/2020

Owner/Operator Summary

Owner/Operator Name :	UNKNOWN
Owner/Operator Address :	UNKNOWN, UNKNOWN, ID 00000-0000
Owner/Operator Country :	N/R
Owner/Operator Telephone :	N/R
Owner/Operator Email :	N/R
Owner/Operator Fax :	N/R
Legal Status :	Other
Owner/Operator Type :	Owner
Owner/Operator Start Date :	N/R
Owner/Operator End Date :	N/R

Handler Activities Summary

U.S. Importer of Hazardous Waste :	N
Mixed Waste (Haz. and Radioactive) :	N
Recycler of Hazardous Waste :	N
Transporter of Hazardous Waste :	N
Treater, Storer or Disposer of HW :	N
Underground Injection Activity :	N
On-site Burner Exemption :	N
Furnace Exemption :	N
Used Oil Fuel Burner :	N
Used Oil Processor :	N
Used Oil Refiner :	N
Used Oil Fuel Marketer to Burner :	N
Used Oil Specification Marketer :	N
Used Oil Transfer Facility :	N
Used Oil Transporter :	N

Notices of Violations Summary

Regulation Violated :	N
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SHWS - ID

Facility Name :	IDAHO REGISTRATION SERVICE CO
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Map Id: 5
Direction: W
Distance: 0.141 mi.
Actual: 744.800 ft.
Elevation: 0.508 mi. / 2680.102 ft.
Relative: Lower

Site Name : IDAHO REGISTRATION SERVICE CO
2230 W MAIN ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, ECHO, FRS,
RCRA_NONGEN, SHWS - ID] **(cont.)**

Envirosite ID: 414587248
EPA ID: IDD073011793

SHWS - ID (cont.)

Facility Address :	2230 W MAIN ST, BOISE
County :	Ada
Reference ID :	3887
Box Number :	2011BAZ3229
Program :	RCRA Hazardous Waste Site
All Programs for Site :	RCRA Hazardous Waste Site
Covenant :	N/R
Latitude :	43.622093
Longitude :	-116.218191
Last Date in Agency List :	03/19/2020

Map Id: 6
Direction: SSW
Distance: 0.149 mi.
Actual: 784.129 ft.
Elevation: 0.508 mi. / 2680.63 ft.
Relative: Lower

Site Name : ALSCOTT PROPERTY
NE CORNER 17TH ST & FRONT ST
BOISE, ID
Database(s) : [ALL SITES - ID]

Envirosite ID: 19860923
EPA ID: N/R

ALL SITES - ID

Facility Name :	ALSCOTT PROPERTY
Facility Address :	NE CORNER 17TH ST & FRONT ST, BOISE
County :	Ada
Reference ID :	5413
Box Number :	2011BAZ6644
Program :	General Remediation
All Programs for Site :	General Remediation
Covenant :	N/R
Latitude :	43.61965
Longitude :	-116.21536
Last Date in Agency List :	03/19/2020

Map Id: A7
Direction: SSE
Distance: 0.150 mi.
Actual: 792.583 ft.
Elevation: 0.508 mi. / 2682.274 ft.
Relative: Higher

Site Name : EYES OF THE WORLD
1576 W GROVE ST
BOISE, ID
Database(s) : [ALL SITES - ID, BROWNFIELDS - ID,
SHWS - ID]

Envirosite ID: 19863001
EPA ID: N/R

ALL SITES - ID

Facility Name : EYES OF THE WORLD
Facility Address : 1576 W GROVE ST, BOISE
County : ADA

Reference ID : 3421
Box Number : 2011BAZ2084
Program : Multiple Programs
All Programs for Site : Brownfields, RCRA Hazardous Waste Site
Covenant : N/R
Latitude : 43.6197180
Longitude : -116.2130910
Last Date in Agency List : 03/19/2020

BROWNFIELDS - ID

Facility Name : EYES OF THE WORLD
Facility Address : 1576 W GROVE ST, BOISE
County : ADA

Reference ID : 3421
Box Number : 2011BAZ2084
Program : Multiple Programs
All Programs for Site : Brownfields, RCRA Hazardous Waste Site
Covenant : N/R
Latitude : 43.6197180
Longitude : -116.2130910
Last Date in Agency List : 03/19/2020

SHWS - ID

Facility Name : EYES OF THE WORLD
Facility Address : 1576 W GROVE ST, BOISE
County : ADA

Reference ID : 3421
Box Number : 2011BAZ2084
Program : Multiple Programs
All Programs for Site : Brownfields, RCRA Hazardous Waste Site
Covenant : N/R
Latitude : 43.6197180
Longitude : -116.2130910
Last Date in Agency List : 03/19/2020

Map Id: A8
 Direction: SSE
 Distance: 0.150 mi.
 Actual: 792.583 ft.
 Elevation: 0.508 mi. / 2682.274 ft.
 Relative: Higher

Site Name : FORMER ECONOMY CLEANERS AND
 LAUNDRY INC
 1576 W GROVE ST
 BOISE, ID 83702
Database(s) : [ECHO, FRS, RCRA_NONGEN]

Envirosite ID: 414586605
EPA ID: IDR000203570

ECHO

Facility Name : FORMER ECONOMY CLEANERS AND LAUNDRY INC
 Facility Address : 1576 W GROVE ST, BOISE, ID 83702
 County : ADA

Site Details

Last Inspection Date : N/R
 Registry ID : 110038904941
 FIPS Code : 16001
 EPA Region : 10
 Inspection Count : 0
 Last Inspection Days : N/R
 Informal Count : 0
 Last Informal Action Date : N/R
 Formal Action Count : 0
 Last Formal Action Date : N/R
 Total Penalties : 0
 Penalty Count : N/R
 Last Penalty Date : N/R
 Last Penalty Amount : N/R
 QTRS IN NC : 0
 Programs IN SNC : 0
 Current Compliance Status : No Violation Identified
 Three-Year Compliance Status :
 Collection Method : ADDRESS MATCHING-HOUSE NUMBER
 Reference Point : CENTER OF A FACILITY OR STATION
 Accuracy Meters : 30
 Derived Tribes : N/R
 Derived HUC : 17050114
 Derived WBD : 170501140403
 Derived STCTY FIPS : 16001
 Derived Zip : 83702
 Derived CD113 : 02
 Derived CB2010 : 160010001003034
 MYRTK Universe : NNN
 NPDES IDs : N/R
 CWA Permit Types : N/R
 CWA Compliance Tracking : N/R
 CWA NAICS : N/R
 CWA SICs : N/R
 CWA Inspection Count : N/R
 CWA Last Inspection Days : N/R
 CWA Informal Count : N/R
 CWA Formal Action Count : N/R
 CWA Last Formal Action Date : N/R
 CWA Penalties : N/R
 CWA Last Penalty Date : N/R
 CWA Last Penalty Amount : N/R
 CWA Quarters IN NC : N/R
 CWA Current Compliance Status : N/R
 CWA Current SNC Flag : N
 CWA 13 Quarters Compliance Status : N/R
 CWA 13 Quarters Effluent Exceedances: N/R
 CWA Three-Year QNCR Codes : N/R
 DFR URL : [Click here for hyperlink provided by the agency.](#)

Map Id: A8
 Direction: SSE
 Distance: 0.150 mi.
 Actual: 792.583 ft.
 Elevation: 0.508 mi. / 2682.274 ft.
 Relative: Higher

Site Name : FORMER ECONOMY CLEANERS AND
 LAUNDRY INC
 1576 W GROVE ST
 BOISE, ID 83702

Database(s) : [ECHO, FRS, RCRA_NONGEN] **(cont.)**

Envirosite ID: 414586605
EPA ID: IDR000203570

ECHO (cont.)

Facility SIC :	N/R
Facility NAICS :	611699 45322 - All Other Miscellaneous Schools and Instruction. Gift, Novelty, and Souvenir Stores.
Facility Last Inspection EPA Date :	N/R
Facility Last Inspection State Date :	N/R
Facility Last Formal Act EPA Date :	N/R
Facility Last Formal Act State Date :	N/R
Facility Last Informal Act EPA Date :	N/R
Facility Last Informal Act State Date :	N/R
Facility Federal Agency :	N/R
TRI Reporter :	N/R
Facility Imp Water Flag :	N/R
Current SNC Flag :	N
Indian County Flag :	N
Federal Flag :	N/R
US Mexico Border Flag :	N/R
Chesapeake Bay Flag :	N/R
AIR Flag :	N
NPDES Flag :	N
SDWIS Flag :	N
RCRA Flag :	Y
TRI Flag :	N
GHG Flag :	N
Major Flag :	N/R
Active Flag :	N/R
NAA Flag :	Y
Latitude :	43.6195
Longitude :	-116.21335
Last Date in Agency List :	02/10/2020

FRS

Facility Name : FORMER ECONOMY CLEANERS AND LAUNDRY INC
 Facility Address : 1576 W GROVE ST, BOISE, ID 83702
 County : ADA

Registry ID : 110038904941
 FRS Facility URL : [Click here for hyperlink provided by the agency.](#)
 Last Date in Agency List : 12/12/2019

Source Description :

RCRAInfo is EPA's comprehensive information system that supports the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984 through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA. RCRAInfo also supports generation of the National Hazardous Waste Biennial Report. All generators and treatment, storage, and disposal facilities who handle hazardous waste are required to report to the EPA Administrator at least once every two years to support creation of the Biennial Report.

Map Id: A8
Direction: SSE
Distance: 0.150 mi.
Actual: 792.583 ft.
Elevation: 0.508 mi. / 2682.274 ft.
Relative: Higher

Site Name : FORMER ECONOMY CLEANERS AND
LAUNDRY INC
1576 W GROVE ST
BOISE, ID 83702
Database(s) : [ECHO, FRS, RCRA_NONGEN] **(cont.)**

Envirosite ID: 414586605
EPA ID: IDR000203570

FRS (cont.)

FRS Environmental Interest
Source and System ID :

RCRAINFO - IDR000203570

RCRA_NONGEN

Facility Name : FORMER ECONOMY CLEANERS AND LAUNDRY INC
Facility Address : 1576 W GROVE ST, BOISE, ID 83702
County : ADA

Date Form Received by Agency : 12/23/2008
EPA ID : IDR000203570
Mailing Address : 1576 W GROVE ST, BOISE, ID 83702
Contact : RON PHILLIPS
Contact Address : 3380 AMERICANA TERRACE STE 201, BOISE, ID 83706
Contact Country : US
Contact Telephone : 208-389-1030
Contact Email : RON.PHILLIPS@TETRATECH.COM
EPA Region : 10
Land Type : Private
Source Type : Notification
Classification : Not a generator, verified
Description : Not a generator, verified
Last Date in Agency List : 02/14/2020

Owner/Operator Summary

Owner/Operator Name : DAVE WAGERS
Owner/Operator Address : 4028 DEL MONTE DR, BOISE, ID 83704
Owner/Operator Country : US
Owner/Operator Telephone : N/R
Owner/Operator Email : N/R
Owner/Operator Fax : N/R
Legal Status : Private
Owner/Operator Type : Operator
Owner/Operator Start Date : 12/28/1994
Owner/Operator End Date : N/R

Owner/Operator Name : DAVE WAGERS
Owner/Operator Address : 4028 DEL MONTE DR, BOISE, ID 83704
Owner/Operator Country : US
Owner/Operator Telephone : N/R
Owner/Operator Email : N/R
Owner/Operator Fax : N/R
Legal Status : Private
Owner/Operator Type : Owner
Owner/Operator Start Date : 12/28/1994
Owner/Operator End Date : N/R

Handler Activities Summary

U.S. Importer of Hazardous Waste : N
Mixed Waste (Haz. and Radioactive) : N

Map Id: A8
 Direction: SSE
 Distance: 0.150 mi.
 Actual: 792.583 ft.
 Elevation: 0.508 mi. / 2682.274 ft.
 Relative: Higher

Site Name : FORMER ECONOMY CLEANERS AND
 LAUNDRY INC
 1576 W GROVE ST
 BOISE, ID 83702

Database(s) : [ECHO, FRS, RCRA_NONGEN] **(cont.)**

EnviroSite ID: 414586605
EPA ID: IDR000203570

RCRA_NONGEN (cont.)

Recycler of Hazardous Waste :	N
Transporter of Hazardous Waste :	N
Treater, Storer or Disposer of HW :	N
Underground Injection Activity :	N
On-site Burner Exemption :	N
Furnace Exemption :	N
Used Oil Fuel Burner :	N
Used Oil Processor :	N
Used Oil Refiner :	N
Used Oil Fuel Marketer to Burner :	N
Used Oil Specification Marketer :	N
Used Oil Transfer Facility :	N
Used Oil Transporter :	N

Historical Generators

Date Form Received by Agency :	11/12/2008
Facility Name :	FORMER ECONOMY CLEANERS AND LAUNDRY INC
Classification :	Large Quantity Generator

Hazardous Waste Summary

Waste Code / Name :	D001 - IGNITABLE WASTE
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Notices of Violations Summary

Regulation Violated :	N
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Map Id: A9
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 801.651 ft.
 Elevation: 0.508 mi. / 2681.952 ft.
 Relative: Lower

Site Name : IDAHO TRUST BANK
 SE CORNER 16 ST & GROVE ST
 BOISE, ID

Database(s) : [ALL SITES - ID]

EnviroSite ID: 19864117
EPA ID: N/R

ALL SITES - ID

Facility Name :	IDAHO TRUST BANK
Facility Address :	SE CORNER 16 ST & GROVE ST, BOISE
County :	Ada

Reference ID :	14374
Box Number :	2012BAZ436
Program :	General Remediation
All Programs for Site :	General Remediation
Covenant :	N/R
Latitude :	43.61945

Map Id: A9
Direction: SSE
Distance: 0.152 mi.
Actual: 801.651 ft.
Elevation: 0.508 mi. / 2681.952 ft.
Relative: Lower

Site Name : IDAHO TRUST BANK
SE CORNER 16 ST & GROVE ST
BOISE, ID
Database(s) : [ALL SITES - ID] (**cont.**)

EnviroSite ID: 19864117
EPA ID: N/R

ALL SITES - ID (**cont.**)

Longitude : -116.21364
Last Date in Agency List : 03/19/2020

Map Id: A10
Direction: SSE
Distance: 0.152 mi.
Actual: 802.682 ft.
Elevation: 0.508 mi. / 2682.267 ft.
Relative: Lower

Site Name : 1576 WEST GROVE
1576 WEST GROVE
BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
BROWNFIELDS, FRS]

EnviroSite ID: 16505958
EPA ID: N/R

BROWNFIELDS-ACRES

Facility Name : 1576 West Grove
Facility Address : 1576 West Grove, Boise, ID 83702
County : N/R

Site Details

Property ID : 18924
EPA FRS ID : N/R
EPA FRS Site Name : N/R
Alias Name : N/R
Current Use : N/R
Future Use : N/R
GP Funding Type ID : Hazardous & Petroleum
Property Size : .28
Local Parcel Number : R10113007361

Former Use : The property was purchased by the current owner in 2001 from Richard and Betty Jordan. The Jordans owned the property since 1950 and operated the property as a warehouse. Three USTs were installed in the late 1940s with no record of removal. Richard and Betty Jordan owned the property from 1950 - 2001. They operated the property as a warehouse.

Ownership Entity ID : Private
Current Owner : Wagners Properties LLP
Photo Available : N/R
Video Available : N/R
Ownership Change : N
Ownership Liability Factor : N
Cleanup Required Flag : U
Cleanup Required Date : N/R
State Tribal Enroll ID Number : N/R
State Tribal Enroll Date : N/R
Property Not Enrolled Flag : N/R
NFA Issue Date : N/R
Info Devices : N/R
Check Pilot Flag : N/R
CERCLIS WastELAN Indicator : N/R

Map Id: A10
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 802.682 ft.
 Elevation: 0.508 mi. / 2682.267 ft.
 Relative: Lower

Site Name : 1576 WEST GROVE
 1576 WEST GROVE
 BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
 BROWNFIELDS, FRS] **(cont.)**

Envirosite ID: 16505958
EPA ID: N/R

BROWNFIELDS-ACRES (cont.)

RCRA Indicator :	N/R
BF Proj Number :	N/R
Mun Owned :	N/R
Approx Value :	N/R
Build Sqft :	N/R
Date of Form :	N/R
Add Date :	03/20/2006
Mod Date :	03/29/2010
Mod User :	VME
CERCLIS Flag :	N/R
RFR Flag :	N
RFR Date :	N/R
RFR Grant ID :	N/R
Multi Story Flag :	N/R
Institutional Control In Place Flag :	N/R
Institutional Control In Place Date :	N/R
Institutional Control Additional Info :	N/R
Institutional Control Required Flag :	U
Institutional Control Required Date :	N/R
Institutional Control Data Address :	N/R
Property Controls :	N/R
Govt Controls :	N/R
Permit Tools :	N/R
Eng. Control in Place :	N/R
Eng. Control in Place Date :	N/R
Eng. Control Additional Info :	N/R
Eng. Control Required Flag :	U
Eng. Control Flag Cover Tech :	N/R
Eng. Control Flag Immobilization :	N/R
Eng. Control Flag Barriers :	N/R
Eng. Control Flag Security :	N/R
Eng. Control Flag Other :	N/R
Eng. Control Other :	N/R
Eng. Control Data Address :	N/R
Cleanup Req Ukn Comment :	N/R
AWP Catalyst Y/N :	N/R
Lat/Long Override Flag :	N/R
Latitude Measure :	43.619719
Longitude Measure :	-116.213131
Src Map Scale Num :	1:1200
Ref Point ID :	102
Hcm Id :	N/R
Datum Code ID :	3
Horiz Accuracy Measure :	N/R
Last Date in Agency List :	02/12/2020

Contaminants Summary

Contaminant :	VOCs
Contaminant Found :	Y
Contaminant Cleaned Up :	N/R
Other Description :	N/R
Other Cleaned Up :	N/R

Map Id: A10
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 802.682 ft.
 Elevation: 0.508 mi. / 2682.267 ft.
 Relative: Lower

Site Name : 1576 WEST GROVE
 1576 WEST GROVE
 BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
 BROWNFIELDS, FRS] **(cont.)**

Envirosite ID: 16505958
EPA ID: N/R

BROWNFIELDS-ACRES (cont.)

Affected Media
 Media Affected :

Soil

FED BROWNFIELDS

Facility Name : 1576 West Grove
 Facility Address : 1576 West Grove, Boise, ID 83702

Site Details

ACRES Property ID : 18924
 Cooperative Agreement Number : 96044101
 Type of Brownfields Grant : Assessment
 Type of Funding : Hazardous & Petroleum
 Grant Recipient Name : Capital City Development Corporation
 IC Data Address : N/R
 Redevelopment Completion Date : N/R
 Property Size (acres) : .28
 Local Property Number(s) : R10113007361
 Ownership Entity : Private
 Current Owner : Wagners Properties LLP
 Did Ownership Change : N
 SFLLP fact into the ownership : N
 Latitude : 43.619719
 Longitude : -116.213131
 Horizontal Collection Method : N/R
 Source Map Scale : 1:1200
 Reference Point : Center of a Facility or Station
 Horizontal Reference Datum : World Geodetic System of 1984

Description/History : The property was purchased by the current owner in 2001 from Richard and Betty Jordan. The Jordans owned the property since 1950 and operated the property as a warehouse. Three USTs were installed in the late 1940s with no record of removal. Richard and Betty Jordan owned the property from 1950 - 2001. They operated the property as a warehouse.

Last Date in Agency List : 03/10/2020

ACRES Property ID : 18924
 Cooperative Agreement Number : 97093201
 Type of Brownfields Grant : Assessment
 Type of Funding : Hazardous & Petroleum
 Grant Recipient Name : Capital City Development Corporation
 IC Data Address : N/R
 Redevelopment Completion Date : N/R
 Property Size (acres) : .28
 Local Property Number(s) : R10113007361
 Ownership Entity : Private
 Current Owner : Wagners Properties LLP
 Did Ownership Change : N
 SFLLP fact into the ownership : N
 Latitude : 43.619719
 Longitude : -116.213131

Map Id: A10
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 802.682 ft.
 Elevation: 0.508 mi. / 2682.267 ft.
 Relative: Lower

Site Name : 1576 WEST GROVE
 1576 WEST GROVE
 BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
 BROWNFIELDS, FRS] **(cont.)**

EnviroSite ID: 16505958
EPA ID: N/R

FED BROWNFIELDS **(cont.)**

Horizontal Collection Method : N/R
 Source Map Scale : 1:1200
 Reference Point : Center of a Facility or Station
 Horizontal Reference Datum : World Geodetic System of 1984

Description/History : The property was purchased by the current owner in 2001 from Richard and Betty Jordan. The Jordans owned the property since 1950 and operated the property as a warehouse. Three USTs were installed in the late 1940s with no record of removal. Richard and Betty Jordan owned the property from 1950 - 2001. They operated the property as a warehouse.

Last Date in Agency List : 03/10/2020

Additional Details

Past Use: Greenspace (acres) : N/R
 Past Use: Residential (acres) : N/R
 Past Use: Commercial (acres) : N/R
 Past Use: Industrial (acres) : N/R
 Past Use: Multistory (acres) : N/R
 Cleanup Required : U
 Contaminants Found: Controlled Substances: N/R
 Contaminants Found: Petroleum : N/R
 Contaminants Found: Asbestos : N/R
 Contaminants Found: Lead : N/R
 Contaminants Found: PAHs : N/R
 Contaminants Found: PCBs : N/R
 Contaminants Found: VOCs : Y
 Contaminants Found: Selenium : N/R
 Contaminants Found: Iron : N/R
 Contaminants Found: Arsenic : N/R
 Contaminants Found: Cadmium : N/R
 Contaminants Found: Chromium : N/R
 Contaminants Found: Copper : N/R
 Contaminants Found: Mercury : N/R
 Contaminants Found: Nickel : N/R
 Contaminants Found: Pesticides : N/R
 Contaminants Found: SVOCs : N/R
 Contaminants Found: Other Metals : N/R
 Contaminants Found: Other : N/R
 Contaminants Found: Other (Descr) : N/R
 Contaminants Found: Unknown : N/R
 Contaminants Found: None : N/R
 Contaminants Cleaned Up: Controlled Substances: N/R
 Contaminants Cleaned Up: Petroleum : N/R
 Contaminants Cleaned Up: Asbestos : N/R
 Contaminants Cleaned Up: Lead : N/R
 Contaminants Cleaned Up: PAHs : N/R
 Contaminants Cleaned Up: PCBs : N/R
 Contaminants Cleaned Up: VOCs : N/R
 Contaminants Cleaned Up: Selenium : N/R
 Contaminants Cleaned Up: Iron : N/R

Map Id: A10
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 802.682 ft.
 Elevation: 0.508 mi. / 2682.267 ft.
 Relative: Lower

Site Name : 1576 WEST GROVE
 1576 WEST GROVE
 BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
 BROWNFIELDS, FRS] (**cont.**)

EnviroSite ID: 16505958
EPA ID: N/R

FED BROWNFIELDS (**cont.**)

Contaminants Cleaned Up: Arsenic :	N/R
Contaminants Cleaned Up: Cadmium :	N/R
Contaminants Cleaned Up: Chromium :	N/R
Contaminants Cleaned Up: Copper :	N/R
Contaminants Cleaned Up: Mercury :	N/R
Contaminants Cleaned Up: Nickel :	N/R
Contaminants Cleaned Up: Pesticides :	N/R
Contaminants Cleaned Up: SVOCs :	N/R
Contaminants Cleaned Up: Other Metals:	N/R
Contaminants Cleaned Up: Other :	N/R
Contaminants Cleaned Up: Other	
(Descr):	N/R
Contaminants Cleaned Up: Unknown :	N/R
Contaminants Cleaned Up: None :	N/R
Media Affected: Air :	N/R
Media Affected: Sediments :	N/R
Media Affected: Soil :	Y
Media Affected: Drinking Water :	N/R
Media Affected: Ground Water :	N/R
Media Affected: Surface Water :	N/R
Media Affected: Bldg Materials :	N/R
Media Affected: Indoor Air :	N/R
Media Affected: Unknown :	N/R
Media Cleaned Up: Air :	N/R
Media Cleaned Up: Sediments :	N/R
Media Cleaned Up: Soil :	N/R
Media Cleaned Up: Drinking Water :	N/R
Media Cleaned Up: Ground Water :	N/R
Media Cleaned Up: Surface Water :	N/R
Media Cleaned Up: Bldg Materials :	N/R
Media Cleaned Up: Indoor Air :	N/R
Media Cleaned Up: Unknown :	N/R
ST/Tribal Prj ID Number :	N/R
Further Action/Cleanup :	N/R
Enrollment ST/Tribal Prj :	N/R
Institutional Ctrl (ICs) Req? :	U
IC Category: Proprietary Controls :	N/R
IC Category: Informational Devices :	N/R
IC Category: Governmental Controls :	N/R
IC Category: Enforcement/Permit Tools:	N/R
ICs in Place? :	N/R
Date ICs in Place :	N/R
Cleanup Start Date :	N/R
Cleanup Completion Date :	N/R
Redevelopment Start Date :	N/R
Future Use: Greenspace :	N/R
Future Use: Residential :	N/R
Future Use: Commercial :	N/R
Future Use: Industrial :	N/R
Future Use: Multistory (acres) :	N/R
Number of Cleanup and Redev Jobs :	N/R
Acreage and Greenspace Created :	N/R
Photographs are Available :	N/R
Video is Available :	N/R

Map Id: A10
 Direction: SSE
 Distance: 0.152 mi.
 Actual: 802.682 ft.
 Elevation: 0.508 mi. / 2682.267 ft.
 Relative: Lower

Site Name : 1576 WEST GROVE
 1576 WEST GROVE
 BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
 BROWNFIELDS, FRS] **(cont.)**

Envirosite ID: 16505958
EPA ID: N/R

FED BROWNFIELDS **(cont.)**

Assessment Details

Accomplishment Counted : N
 Assessment Phase : Phase I Environmental Assessment
 Assessment Start Date : 10/11/2007
 Assessment Completion Date : 10/11/2007
 Amount of Assessment Funding : 2740
 Source of Assessment Funding : N/R
 Entity Providing Assessment Funds : US EPA - Brownfields Assessment Cooperative Agreement
 Source of Cleanup Funding : N/R
 Entity Providing Cleanup Funds : N/R
 Amount of Cleanup Funding : N/R
 Source of Redevelopment Funding : N/R
 Entity Prvding Redevelopment Funds : N/R
 Amount of Redevelopment Funding : N/R

Accomplishment Counted : N
 Assessment Phase : Phase II Environmental Assessment
 Assessment Start Date : 12/19/2008
 Assessment Completion Date : 12/19/2008
 Amount of Assessment Funding : 39900
 Source of Assessment Funding : N/R
 Entity Providing Assessment Funds : US EPA - Brownfields Assessment Cooperative Agreement
 Source of Cleanup Funding : N/R
 Entity Providing Cleanup Funds : N/R
 Amount of Cleanup Funding : N/R
 Source of Redevelopment Funding : N/R
 Entity Prvding Redevelopment Funds : N/R
 Amount of Redevelopment Funding : N/R

Accomplishment Counted : Y
 Assessment Phase : Phase I Environmental Assessment
 Assessment Start Date : 09/28/2007
 Assessment Completion Date : 09/28/2007
 Amount of Assessment Funding : 2900
 Source of Assessment Funding : N/R
 Entity Providing Assessment Funds : US EPA - Brownfields Assessment Cooperative Agreement
 Source of Cleanup Funding : N/R
 Entity Providing Cleanup Funds : N/R
 Amount of Cleanup Funding : N/R
 Source of Redevelopment Funding : N/R
 Entity Prvding Redevelopment Funds : N/R
 Amount of Redevelopment Funding : N/R

FRS

Facility Name : 1576 WEST GROVE
 Facility Address : 1576 WEST GROVE, BOISE, ID 83702
 County : ADA

Registry ID : 110038702776
 FRS Facility URL : [Click here for hyperlink provided by the agency.](#)
 Last Date in Agency List : 12/12/2019

Map Id: A10
Direction: SSE
Distance: 0.152 mi.
Actual: 802.682 ft.
Elevation: 0.508 mi. / 2682.267 ft.
Relative: Lower

Site Name : 1576 WEST GROVE
1576 WEST GROVE
BOISE, ID 83702
Database(s) : [BROWNFIELDS-ACRES, FED
BROWNFIELDS, FRS] (**cont.**)

EnviroSite ID: 16505958
EPA ID: N/R

FRS (cont.)

Source Description :

ACRES stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions.

FRS Environmental Interest

Source and System ID :

ACRES - 18924

Map Id: A11
Direction: SSE
Distance: 0.173 mi.
Actual: 914.491 ft.
Elevation: 0.508 mi. / 2682.612 ft.
Relative: Higher

Site Name : DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST
BOISE, ID 83706
Database(s) : [FA - ID, UST - ID]

EnviroSite ID: 11209126
EPA ID: N/R

FA - ID

Facility Name :
Facility Address :

DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST, BOISE, 83706

Site Details

Date Certified : N/R
Facility ID : 3-010081
Facility Type : Not Listed
Facility Status : Closure
Facility Phone : N/R
Within 1000 Feet of a Drinking Water Source: Yes
Latitude : 43.61931
Longitude : -116.21322
Last Date in Agency List : 02/15/2016

Financial Responsibility

Expiration Date : N/R
Type : N/R

UST - ID

Facility Name :
Facility Address :

DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST, BOISE, 83706

Facility ID : 3-010081
Facility Type : Not Listed

Map Id: A11
Direction: SSE
Distance: 0.173 mi.
Actual: 914.491 ft.
Elevation: 0.508 mi. / 2682.612 ft.
Relative: Higher

Site Name : DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST
BOISE, ID 83706

Database(s) : [FA - ID, UST - ID] **(cont.)**

Envirosite ID: 11209126
EPA ID: N/R

UST - ID **(cont.)**

Facility Status :	Closure
Facility Phone :	N/R
Date Certified :	N/R
Last Inspection Date :	N/R
Edited by :	dgray
Owner Name :	PAT WHITE
Within 1000 feet of a Drinking Water Source? :	Yes
Facility Latitude :	43.61931
Facility Longitude :	-116.21322
Last Date in Agency List :	04/02/2020

Contact Details

Start Date :	01/01/2010
End Date :	N/R
Trained Date :	N/R
Contact Name :	PAT WHITE
Contact Type :	Owner

Start Date :	04/16/1992
End Date :	N/R
Trained Date :	N/R
Contact Name :	RICHARD HAMIAH
Contact Type :	Other

Financial Responsibility

Expiration Date :	N/R
Type :	N/R

Tank Details

Tank Number :	3-010081*1
Tank Material :	Asphalt Coated or Bare Steel
Date Installed :	01/01/1966
Capacity :	1000
Status :	Permanently Out of Use
Substance :	Not Listed
CAS Number/CERCLA Name :	N/R
Compartment :	No
Manifolded :	No
Secondary Tank Options :	None
Has Tank been Repaired :	No
Emergency Generator :	No
Sump Containment :	N/R
Tank Notes :	REMOVED PER EPAUST 1-14-99NO CLOSURE DATE WAS GIVEN SO SURVEY DATE WAS USED

Tank Number :	3-010081*2
Tank Material :	Asphalt Coated or Bare Steel
Date Installed :	12/22/1988

Map Id: A11
Direction: SSE
Distance: 0.173 mi.
Actual: 914.491 ft.
Elevation: 0.508 mi. / 2682.612 ft.
Relative: Higher

Site Name : DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST
BOISE, ID 83706

Database(s) : [FA - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209126
EPA ID: N/R

UST - ID (**cont.**)

Capacity :	500
Status :	Permanently Out of Use
Substance :	Used Oil
CAS Number/CERCLA Name :	N/R
Compartment :	No
Manifolded :	No
Secondary Tank Options :	None
Has Tank been Repaired :	No
Emergency Generator :	No
Sump Containment :	N/R
Tank Notes :	N/R

Pipe Details

Date Installed :	N/R
Start Date :	N/R
End Date :	N/R
Status :	N/R
Pipe Type :	N/R
Pipe Material :	N/R
Description :	N/R
Construction :	N/R
Construction Details :	N/R
Flex Connector/Fittings CP Types :	N/R
Comments :	N/R

Dispenser Connection

Dispenser :	N/R
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Tank Connection

Tank :	N/R
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Dispensers

Start Date :	N/R
End Date :	N/R
Sump Containment :	N/R
Flex Connector CP Type :	N/R
Local Description :	N/R

Inspection List

Inspection Date :	N/R
Inspector :	N/R
Prevention :	N/R
Detection :	N/R
Total :	N/R

Map Id: A11
Direction: SSE
Distance: 0.173 mi.
Actual: 914.491 ft.
Elevation: 0.508 mi. / 2682.612 ft.
Relative: Higher

Site Name : DEAN'S GOODYEAR TIRE CENTER
1515 GROVE ST
BOISE, ID 83706

Database(s) : [FA - ID, UST - ID] **(cont.)**

Envirosite ID: 11209126
EPA ID: N/R

UST - ID (cont.)

LUST Events

LUST ID :	N/R
Confirmed Release Date :	N/R
Cleanup Complete Date :	N/R
Enforcement Effective Date :	N/R
Enforcement Termination Date :	N/R
EC :	N/R

Map Id: B12
Direction: S
Distance: 0.175 mi.
Actual: 925.380 ft.
Elevation: 0.508 mi. / 2681.618 ft.
Relative: Lower

Site Name : BOISE FIRE STATION #5
212 S 16TH ST
BOISE, ID 83702

Database(s) : [FA - ID, UST - ID]

Envirosite ID: 11209188
EPA ID: N/R

FA - ID

Facility Name :	BOISE FIRE STATION #5
Facility Address :	212 S 16TH ST, BOISE, 83702

Site Details

Date Certified :	11/27/1991
Facility ID :	3-010029
Facility Type :	Local Government
Facility Status :	Closure
Facility Phone :	N/R
Within 1000 Feet of a Drinking Water Source:	Yes
Latitude :	43.618923
Longitude :	-116.213898
Last Date in Agency List :	01/08/2020

Financial Responsibility

Expiration Date :	11/27/1991
Type :	Self-Insured

UST - ID

Facility Name :	BOISE FIRE STATION #5
Facility Address :	212 S 16TH ST, BOISE, 83702

Facility ID :	3-010029
Facility Type :	Local Government
Facility Status :	Closure
Facility Phone :	N/R
Date Certified :	11/27/1991
Last Inspection Date :	N/R

Map Id: B12
Direction: S
Distance: 0.175 mi.
Actual: 925.380 ft.
Elevation: 0.508 mi. / 2681.618 ft.
Relative: Lower

Site Name : BOISE FIRE STATION #5
212 S 16TH ST
BOISE, ID 83702
Database(s) : [FA - ID, UST - ID] (**cont.**)

EnviroSite ID: 11209188
EPA ID: N/R

UST - ID (cont.)

Edited by : klowder
Owner Name : BOISE CITY-PUBLIC WORKS DEPT
Within 1000 feet of a Drinking Water
Source?: Yes
Facility Latitude : 43.618923
Facility Longitude : -116.213898
Last Date in Agency List : 04/02/2020

Contact Details

Start Date : 11/27/1991
End Date : N/R
Trained Date : N/R
Contact Name : BOISE CITY-PUBLIC WORKS DEPT
Contact Type : Owner

Start Date : 11/27/1991
End Date : N/R
Trained Date : N/R
Contact Name : Cathy Chertudi
Contact Type : Other

Financial Responsibility

Expiration Date : 11/27/1991
Type : Self-Insured

Tank Details

Tank Number : 3-010029*1
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 12/22/1988
Capacity : 1500
Status : Permanently Out of Use
Substance : Diesel
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Pipe Details

Date Installed : N/R
Start Date : N/R
End Date : N/R
Status : N/R
Pipe Type : N/R
Pipe Material : N/R

Map Id: B12
 Direction: S
 Distance: 0.175 mi.
 Actual: 925.380 ft.
 Elevation: 0.508 mi. / 2681.618 ft.
 Relative: Lower

Site Name : BOISE FIRE STATION #5
 212 S 16TH ST
 BOISE, ID 83702
Database(s) : [FA - ID, UST - ID] **(cont.)**

Envirosite ID: 11209188
EPA ID: N/R

UST - ID **(cont.)**

Description : N/R
 Construction : N/R
 Construction Details : N/R
 Flex Connector/Fittings CP Types : N/R
 Comments : N/R

Dispenser Connection
 Dispenser : N/R

Tank Connection
 Tank : N/R

Dispensers
 Start Date : N/R
 End Date : N/R
 Sump Containment : N/R
 Flex Connector CP Type : N/R
 Local Description : N/R

Inspection List
 Inspection Date : N/R
 Inspector : N/R
 Prevention : N/R
 Detection : N/R
 Total : N/R

LUST Events
 LUST ID : N/R
 Confirmed Release Date : N/R
 Cleanup Complete Date : N/R
 Enforcement Effective Date : N/R
 Enforcement Termination Date : N/R
 EC : N/R

Map Id: B13
 Direction: S
 Distance: 0.177 mi.
 Actual: 932.959 ft.
 Elevation: 0.508 mi. / 2681.119 ft.
 Relative: Lower

Site Name : FRONT STREET STATION #22
 1600 FRONT
 BOISE, ID 83702
Database(s) : [FA - ID, LUST - ID, UST - ID]

Envirosite ID: 11209137
EPA ID: N/R

FA - ID

Facility Name : FRONT STREET STATION #22
 Facility Address : 1600 FRONT, BOISE, 83702

Site Details

Date Certified : 10/24/1991
 Facility ID : 3-010044
 Facility Type : Gas Station
 Facility Status : Closure
 Facility Phone : N/R
 Within 1000 Feet of a Drinking Water Source: Yes
 Latitude : 43.6192
 Longitude : -116.2144
 Last Date in Agency List : 01/08/2020

Financial Responsibility

Expiration Date : 10/24/1991
 Type : State Fund

LUST - ID

Facility Name : FRONT STREET STATION #22
 Facility Address : 1600 FRONT, BOISE, 83702

Site Details

Release Date : 03/19/1997
 Cleanup Date : 09/11/2001
 LUST ID : 7
 Facility ID : 3-010044
 Status : Site Cleanup Completed
 Cleanup Method : N/R
 Last Date in Agency List : 04/08/2020

UST - ID

Facility Name : FRONT STREET STATION #22
 Facility Address : 1600 FRONT, BOISE, 83702

Facility ID : 3-010044
 Facility Type : Gas Station
 Facility Status : Closure
 Facility Phone : N/R
 Date Certified : 10/24/1991
 Last Inspection Date : N/R
 Edited by : klowder
 Owner Name : Stinker Stores
 Within 1000 feet of a Drinking Water Source?: Yes
 Facility Latitude : 43.6192
 Facility Longitude : -116.2144

Map Id: B13
Direction: S
Distance: 0.177 mi.
Actual: 932.959 ft.
Elevation: 0.508 mi. / 2681.119 ft.
Relative: Lower

Site Name : FRONT STREET STATION #22
1600 FRONT
BOISE, ID 83702
Database(s) : [FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209137
EPA ID: N/R

UST - ID (cont.)

Last Date in Agency List : 04/02/2020

Contact Details

Start Date : 10/24/1991
End Date : N/R
Trained Date : N/R
Contact Name : KENT JOHNSON
Contact Type : Other

Start Date : 10/24/1991
End Date : N/R
Trained Date : N/R
Contact Name : Stinker Stores
Contact Type : Owner

Financial Responsibility

Expiration Date : 10/24/1991
Type : State Fund

Tank Details

Tank Number : 3-010044*1
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 4000
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : AMENDED PER EPAUST 2-4-98

Tank Number : 3-010044*2
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 4000
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R

Map Id: B13
Direction: S
Distance: 0.177 mi.
Actual: 932.959 ft.
Elevation: 0.508 mi. / 2681.119 ft.
Relative: Lower

Site Name : FRONT STREET STATION #22
1600 FRONT
BOISE, ID 83702
Database(s) : [FA - ID, LUST - ID, UST - ID] **(cont.)**

Envirosite ID: 11209137
EPA ID: N/R

UST - ID (cont.)

Tank Notes : AMENDED PER EPAUST 3-17-98. TANK REMOVED WHEN FOREST SERVICE TOOK OVER THE PROPERTY.

Tank Number : 3-010044*3
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 4000
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010044*4
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 5000
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010044*5
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 5000
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : N/R

Tank Number : 3-010044*6
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 5000
Status : Permanently Out of Use

Map Id: B13
Direction: S
Distance: 0.177 mi.
Actual: 932.959 ft.
Elevation: 0.508 mi. / 2681.119 ft.
Relative: Lower

Site Name : FRONT STREET STATION #22
1600 FRONT
BOISE, ID 83702
Database(s) : [FA - ID, LUST - ID, UST - ID] **(cont.)**

EnviroSite ID: 11209137
EPA ID: N/R

UST - ID (cont.)

Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : AMENDED PER EPAUST 3-17-98

Tank Number : 3-010044*7
Tank Material : Asphalt Coated or Bare Steel
Date Installed : 01/01/1966
Capacity : 2500
Status : Permanently Out of Use
Substance : Gasohol
CAS Number/CERCLA Name : N/R
Compartment : No
Manifolded : No
Secondary Tank Options : None
Has Tank been Repaired : No
Emergency Generator : No
Sump Containment : N/R
Tank Notes : AMENDED PER EPAUST 3-4-98

Pipe Details

Date Installed : N/R
Start Date : N/R
End Date : N/R
Status : N/R
Pipe Type : N/R
Pipe Material : N/R
Description : N/R
Construction : N/R
Construction Details : N/R
Flex Connector/Fittings CP Types : N/R
Comments : N/R

Dispenser Connection

Dispenser : N/R

Tank Connection

Tank : N/R

Dispensers

Start Date : N/R
End Date : N/R
Sump Containment : N/R

Map Id: B13
Direction: S
Distance: 0.177 mi.
Actual: 932.959 ft.
Elevation: 0.508 mi. / 2681.119 ft.
Relative: Lower

Site Name : FRONT STREET STATION #22
1600 FRONT
BOISE, ID 83702
Database(s) : [FA - ID, LUST - ID, UST - ID] (**cont.**)

Envirosite ID: 11209137
EPA ID: N/R

UST - ID (cont.)

Flex Connector CP Type : N/R
Local Description : N/R

Inspection List

Inspection Date : N/R
Inspector : N/R
Prevention : N/R
Detection : N/R
Total : N/R

LUST Events

LUST ID : 7
Confirmed Release Date : 03/19/1997
Cleanup Complete Date : 09/11/2001
Enforcement Effective Date : N/R
Enforcement Termination Date : N/R
EC : No

Map Id: B14
Direction: S
Distance: 0.177 mi.
Actual: 932.959 ft.
Elevation: 0.508 mi. / 2681.119 ft.
Relative: Lower

Site Name : FRONT ST STATION NO 22
1600 FRONT
BOISE, ID
Database(s) : [ALL SITES - ID]

Envirosite ID: 19863290
EPA ID: N/R

ALL SITES - ID

Facility Name : FRONT ST STATION NO 22
Facility Address : 1600 FRONT, BOISE
County : Ada

Reference ID : 6432
Box Number : 2011BAZ2324
Program : Leaking Underground Storage Tanks
All Programs for Site : Leaking Underground Storage Tanks, Underground Storage Tanks
Covenant : N/R
Latitude : 43.6192
Longitude : -116.2144
Last Date in Agency List : 03/19/2020

Map Id: B15
 Direction: S
 Distance: 0.177 mi.
 Actual: 936.277 ft.
 Elevation: 0.508 mi. / 2681.618 ft.
 Relative: Lower

Site Name : BOISE FIRE STATION NO 5
 212 S 16TH ST
 BOISE, ID
Database(s) : [ALL SITES - ID]

Envirosite ID: 19861510
EPA ID: N/R

ALL SITES - ID

Facility Name : BOISE FIRE STATION NO 5
 Facility Address : 212 S 16TH ST, BOISE
 County : Ada

 Reference ID : 5976
 Box Number : 2011BAZ763
 Program : Underground Storage Tanks
 All Programs for Site : Underground Storage Tanks
 Covenant : N/R
 Latitude : 43.618923
 Longitude : -116.213898
 Last Date in Agency List : 03/19/2020

Map Id: A16
 Direction: SSE
 Distance: 0.185 mi.
 Actual: 976.206 ft.
 Elevation: 0.508 mi. / 2682.599 ft.
 Relative: Higher

Site Name : DEANS GOODYEAR TIRE CENTER
 1515 GROVE ST
 BOISE, ID
Database(s) : [ALL SITES - ID]

Envirosite ID: 19862617
EPA ID: N/R

ALL SITES - ID

Facility Name : DEANS GOODYEAR TIRE CENTER
 Facility Address : 1515 GROVE ST, BOISE
 County : Ada

 Reference ID : 8360
 Box Number : 2011BAZ1747
 Program : Underground Storage Tanks
 All Programs for Site : Underground Storage Tanks
 Covenant : N/R
 Latitude : 43.61931
 Longitude : -116.21322
 Last Date in Agency List : 03/19/2020

Map Id: B17
Direction: S
Distance: 0.185 mi.
Actual: 977.295 ft.
Elevation: 0.508 mi. / 2681.332 ft.
Relative: Lower

Site Name : MCGUFFIN FUEL & FEED
1601 FRONT ST
BOISE, ID 83702
Database(s) : [ALL SITES - ID, FA - ID, LUST - ID, UST - ID]

EnviroSite ID: 11209139
EPA ID: N/R

ALL SITES - ID

Facility Name : MCGUFFIN FUEL & FEED
Facility Address : 1601 FRONT ST, BOISE
County : Ada

Reference ID : 9143
Box Number : 2011BAZ4342
Program : Leaking Underground Storage Tanks
All Programs for Site : Leaking Underground Storage Tanks, Underground Storage Tanks
Covenant : N/R
Latitude : 43.61763
Longitude : -116.21241
Last Date in Agency List : 03/19/2020

FA - ID

Facility Name : MCGUFFIN FUEL & FEED
Facility Address : 1601 FRONT ST, BOISE, 83702

Site Details

Date Certified : 04/17/1990
Facility ID : 3-010500
Facility Type : State Government
Facility Status : Closure
Facility Phone : N/R
Within 1000 Feet of a Drinking Water Source: Yes
Latitude : 43.61763
Longitude : -116.21241
Last Date in Agency List : 02/15/2016

Financial Responsibility

Expiration Date : N/R
Type : N/R

LUST - ID

Facility Name : MCGUFFIN FUEL & FEED
Facility Address : 1601 FRONT ST, BOISE, 83702

Site Details

Release Date : 03/30/1992
Cleanup Date : 03/10/1998
LUST ID : 347
Facility ID : 3-010500
Status : Site Cleanup Completed
Cleanup Method : N/R
Last Date in Agency List : 04/08/2020

FEDERAL RCRA CORRACTS FACILITIES LIST

CORRACTS: List of facilities where Resource Conservation and Recovery Act Corrective Action Program used to investigate and remediate hazardous releases

Agency Version Date: 02/10/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/23/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-1667
Most Recent Contact: 04/24/2020

HIST CORRACTS 2: List of facilities where Resource Conservation and Recovery Act Corrective Action Program used to investigate and remediate hazardous releases that are no longer in current agency list.

Agency Version Date: 10/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/26/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-1667
Most Recent Contact: 03/30/2020

FEDERAL DELISTED NPL SITE LIST

DELISTED NPL: National Priority List of sites that were delisted and no longer require action

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

DELISTED PROPOSED NPL: Sites that have been delisted from the proposed National Priority List

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

SEMS_DELETED NPL: All Deleted National Priority List Sties

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

FEDERAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS

EPA LF MOP: Sites in the EPA Landfill Methane Outreach Program

Agency Version Date: 02/10/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/17/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 04/20/2020

FEDERAL ERNS LIST

ERNS: Emergency Response Notification System records of reported spills

Agency Version Date: 03/18/2020
Agency Update Frequency: Annually
Planned Next Contact: 05/20/2020

Agency: National Response Center United States Coast Guard
Agency Contact: N/R
Most Recent Contact: 03/18/2020

FEDERAL RCRA GENERATORS LIST

HIST RCRA_CESQG: List of Resource Conservation and Recovery Act licensed conditionally exempt small quantity generators that are no longer in current agency list.

Agency Version Date: 10/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/26/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 03/30/2020

FEDERAL RCRA GENERATORS LIST (cont.)

HIST RCRA_LQG: List of Resource Conservation and Recovery Act licensed large quantity generators that are no longer in current agency list.

Agency Version Date: 10/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/26/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 03/30/2020

HIST RCRA_NONGEN: List of Resource Conservation and Recovery Act licensed non-generators that are no longer in current agency list.

Agency Version Date: 10/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/26/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 03/30/2020

HIST RCRA_SQG: List of Resource Conservation and Recovery Act licensed small quantity generators that are no longer in current agency list.

Agency Version Date: 10/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/26/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 03/30/2020

RCRA_LQG: Resource Conservation and Recovery Act listing of licensed large quantity generators

Agency Version Date: 02/10/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/23/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 04/24/2020

RCRA_NONGEN: Resource Conservation and Recovery Act listing of licensed non-generators

Agency Version Date: 02/10/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/23/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 04/24/2020

RCRA_SQG: Resource Conservation and Recovery Act listing of licensed small quantity generators

Agency Version Date: 02/10/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/23/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 04/24/2020

RCRA_VSQG: Resource Conservation and Recovery Act listing of licensed very small quantity generators.

Agency Version Date: 02/10/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/23/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 04/24/2020

FEDERAL NPL SITE LIST

NPL: List of priority contaminated sites among identified releases or threatened releases of hazardous substances pollutants or contaminants nationally

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

NPL EPA R1 GIS: Geospatial data for the Environmental Protection Agency Region 1 National Priority List subject to environmental regulation

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-2132
Most Recent Contact: 03/16/2020

FEDERAL NPL SITE LIST (cont.)

NPL EPA R3 GIS: Geospatial data for the Environmental Protection Agency Region 3 National Priority List subject to environmental regulation

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-2132
Most Recent Contact: 03/16/2020

NPL EPA R6 GIS: Geospatial data for the Environmental Protection Agency Region 6 National Priority List subject to environmental regulation

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-2132
Most Recent Contact: 03/16/2020

NPL EPA R8 GIS: Geospatial data for the Environmental Protection Agency Region 8 National Priority List subject to environmental regulation

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-2132
Most Recent Contact: 03/16/2020

NPL EPA R9 GIS: Geospatial data for the Environmental Protection Agency Region 9 National Priority List subject to environmental regulation

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-2132
Most Recent Contact: 03/16/2020

PART NPL: Sites that are a part of an National Priority List site referred to as the parent site

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

PROPOSED NPL: Sites that have been proposed for the National Priority List

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

SEMS_FINAL NPL: All Included National Priority List Sites

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

SEMS_PROPOSED NPL: All Proposed National Priority List Sites

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

FEDERAL INSTITUTIONAL CONTROLS / ENGINEERING CONTROLS REGISTRIES

RCRA IC_EC: Sites with institutional or engineering controls related to Resource Conservation and Recovery Act

Agency Version Date: 03/24/2020
Agency Update Frequency: Varies
Planned Next Contact: 06/02/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 215-814-2469
Most Recent Contact: 03/24/2020

FEDERAL INSTITUTIONAL CONTROLS / ENGINEERING CONTROLS REGISTRIES (cont.)

Fed E C: Federal listing of remediation sites with engineering controls

Agency Version Date: 09/30/2013
Agency Update Frequency: Varies
Planned Next Contact: 06/29/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 800-424-9346
Most Recent Contact: 04/01/2020

Fed I C: Federal listing of remediation sites with institutional controls

Agency Version Date: 09/30/2013
Agency Update Frequency: Varies
Planned Next Contact: 06/29/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 800-424-9346
Most Recent Contact: 04/01/2020

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS

FEMA UST: FEMA underground storage tank listing

Agency Version Date: 06/21/2019
Agency Update Frequency: Varies
Planned Next Contact: 07/27/2020

Agency: FEMA
Agency Contact: 202-212-5283
Most Recent Contact: 04/30/2020

INDIAN UST R1: Underground Storage Tanks on Indian Land in EPA Region 1

Agency Version Date: 03/03/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 08/10/2020

Agency: U.S. Environmental Protection Agency Region 1
Agency Contact: 855-246-3642
Most Recent Contact: 05/12/2020

INDIAN UST R10: Underground Storage Tanks on Indian Land in EPA Region 10

Agency Version Date: 10/11/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 06/08/2020

Agency: U.S. Environmental Protection Agency Region 10
Agency Contact: 855-246-3642
Most Recent Contact: 03/30/2020

INDIAN UST R2: Underground Storage Tanks on Indian Land in EPA Region 2

Agency Version Date: 12/07/2016
Agency Update Frequency: Quarterly
Planned Next Contact: 05/18/2020

Agency: U.S. Environmental Protection Agency Region 2
Agency Contact: 855-246-3642
Most Recent Contact: 03/09/2020

INDIAN UST R4: Underground Storage Tanks on Indian Land in EPA Region 4

Agency Version Date: 10/10/2019
Agency Update Frequency: Semi Annually
Planned Next Contact: 06/08/2020

Agency: U.S. Environmental Protection Agency Region 4
Agency Contact: 855-246-3642
Most Recent Contact: 03/30/2020

INDIAN UST R5: Underground Storage Tanks on Indian Land in EPA Region 5

Agency Version Date: 10/01/2019
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: U.S. Environmental Protection Agency Region 5
Agency Contact: 855-246-3642
Most Recent Contact: 03/19/2020

INDIAN UST R6: Underground Storage Tanks on Indian Land in EPA Region 6

Agency Version Date: 01/23/2020
Agency Update Frequency: Semi Annually
Planned Next Contact: 06/29/2020

Agency: U.S. Environmental Protection Agency Region 6
Agency Contact: 855-246-3642
Most Recent Contact: 04/02/2020

STATE AND TRIBAL REGISTERED STORAGE TANK LISTS (cont.)

INDIAN UST R7: Underground Storage Tanks on Indian Land in EPA Region 7

Agency Version Date: 10/11/2019
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: U.S. Environmental Protection Agency Region 7
Agency Contact: 855-246-3642
Most Recent Contact: 03/19/2020

INDIAN UST R8: Underground Storage Tanks on Indian Land in EPA Region 8

Agency Version Date: 10/03/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 08/07/2020

Agency: U.S. Environmental Protection Agency Region 8
Agency Contact: 855-246-3642
Most Recent Contact: 05/11/2020

INDIAN UST R9: Underground Storage Tanks on Indian Land in EPA Region 9

Agency Version Date: 04/08/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 08/07/2020

Agency: U.S. Environmental Protection Agency Region 9
Agency Contact: 855-246-3642
Most Recent Contact: 05/11/2020

HIST UST - ID: List of underground storage tank that is no longer in current agency list.

Agency Version Date: 04/18/2019
Agency Update Frequency: Annually
Planned Next Contact: 08/04/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0347
Most Recent Contact: 05/08/2020

UST - ID: Underground storage tank listing

Agency Version Date: 04/02/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 06/29/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0347
Most Recent Contact: 04/02/2020

STATE AND TRIBAL LEAKING STORAGE TANK LISTS

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land in EPA Region 1

Agency Version Date: 03/03/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 08/10/2020

Agency: U.S. Environmental Protection Agency Region 1
Agency Contact: 855-246-3642
Most Recent Contact: 05/12/2020

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land in EPA Region 10

Agency Version Date: 10/11/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 06/08/2020

Agency: U.S. Environmental Protection Agency Region 10
Agency Contact: 855-246-3642
Most Recent Contact: 03/30/2020

INDIAN LUST R2: Leaking Underground Storage Tanks on Indian Land in EPA Region 2

Agency Version Date: 12/07/2016
Agency Update Frequency: Quarterly
Planned Next Contact: 05/18/2020

Agency: U.S. Environmental Protection Agency Region 2
Agency Contact: 855-246-3642
Most Recent Contact: 03/09/2020

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land in EPA Region 4

Agency Version Date: 10/10/2019
Agency Update Frequency: Semi Annually
Planned Next Contact: 06/08/2020

Agency: U.S. Environmental Protection Agency Region 4
Agency Contact: 855-246-3642
Most Recent Contact: 03/30/2020

STATE AND TRIBAL LEAKING STORAGE TANK LISTS (cont.)

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land in EPA Region 5

Agency Version Date: 10/01/2019
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: U.S. Environmental Protection Agency Region 5
Agency Contact: 855-246-3642
Most Recent Contact: 03/19/2020

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land in EPA Region 6

Agency Version Date: 01/13/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 06/01/2020

Agency: U.S. Environmental Protection Agency Region 6
Agency Contact: 855-246-3642
Most Recent Contact: 03/23/2020

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land in EPA Region 7

Agency Version Date: 03/19/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: U.S. Environmental Protection Agency Region 7
Agency Contact: 855-246-3642
Most Recent Contact: 03/19/2020

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land in EPA Region 8

Agency Version Date: 10/03/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 05/29/2020

Agency: U.S. Environmental Protection Agency Region 8
Agency Contact: 855-246-3642
Most Recent Contact: 03/20/2020

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land in EPA Region 9

Agency Version Date: 10/04/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 08/07/2020

Agency: U.S. Environmental Protection Agency Region 9
Agency Contact: 855-246-3642
Most Recent Contact: 05/11/2020

LUST - ID: Leaking underground storage tank sites listing

Agency Version Date: 04/08/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/06/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0247
Most Recent Contact: 04/08/2020

STATE AND TRIBAL BROWNFIELD SITES

TRIBAL BROWNFIELDS: Tribal brownfield remediation site listing

Agency Version Date: 02/10/2014
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 07/13/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 04/15/2020

BROWNFIELDS - ID: Listing of brownfield remediation sites

Agency Version Date: 03/19/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/28/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0246
Most Recent Contact: 03/19/2020

STATE AND TRIBAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS

HIST LF - ID: A 1997 listing of historical landfills

Agency Version Date: 04/26/2017
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 07/13/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0416
Most Recent Contact: 04/14/2020

STATE AND TRIBAL LANDFILL AND/OR SOLID WASTE DISPOSAL SITE LISTS (cont.)

SWF 2 - ID: List of Solid Waste facilities from Facility Mapper.

Agency Version Date: 03/18/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/27/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0416
Most Recent Contact: 03/18/2020

SWF CLOSED - ID: Closed solid waste facilities and landfill listing

Agency Version Date: 06/28/2018
Agency Update Frequency: Quarterly
Planned Next Contact: 07/17/2020

Agency: IDAHO DEPARTMENT of ENVIRONMENTAL QUALITY
Agency Contact: N/R
Most Recent Contact: 04/22/2020

SWF/LF - ID: Solid waste facility and landfill listing

Agency Version Date: 03/18/2020
Agency Update Frequency: Annually
Planned Next Contact: 05/27/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0416
Most Recent Contact: 03/18/2020

STATE- AND TRIBAL - EQUIVALENT CERCLIS

SHWS - ID: State hazardous waste sites

Agency Version Date: 03/19/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0246
Most Recent Contact: 03/19/2020

STATE AND TRIBAL VOLUNTARY CLEANUP SITES

VCP - ID: Voluntary cleanup program remediation sites

Agency Version Date: 03/19/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0246
Most Recent Contact: 03/19/2020

LOCAL BROWNFIELD LISTS

BROWNFIELDS-ACRES: EPA Brownfields Assessment, Cleanup and Redevelopment Exchange System.

Agency Version Date: 02/12/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/06/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 04/09/2020

Fed Brownfields: Federal brownfield remediation sites

Agency Version Date: 03/10/2020
Agency Update Frequency: Semi Annually
Planned Next Contact: 05/19/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 03/10/2020

LOCAL LISTS OF HAZARDOUS WASTE / CONTAMINATED SITES

FED CDL: The U.S. Department of Justice listing of clandestine drug lab locations

Agency Version Date: 03/02/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 08/07/2020

Agency: U.S. Department of Justice
Agency Contact: 202-307-7610
Most Recent Contact: 05/11/2020

LOCAL LISTS OF HAZARDOUS WASTE / CONTAMINATED SITES (cont.)

US HIST CDL: The U.S. Department of Justice historical listing of clandestine drug lab locations

Agency Version Date: 08/05/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 06/19/2020

Agency: U.S. Department of Justice
Agency Contact: 202-307-7610
Most Recent Contact: 03/23/2020

CDL - ID: Clandestine drug lab location listing

Agency Version Date: 03/30/2020
Agency Update Frequency: Varies
Planned Next Contact: 06/08/2020

Agency: Idaho Dept of Health and Welfare
Agency Contact: 800-445-8647
Most Recent Contact: 03/30/2020

HIST CDL - ID: Listing of Clandestine drug lab location that is no longer in current agency list.

Agency Version Date: 09/06/2018
Agency Update Frequency: Annually
Planned Next Contact: 05/29/2020

Agency: Idaho Dept of Health and Welfare
Agency Contact: 800-445-8647
Most Recent Contact: 03/02/2020

LOCAL LISTS OF LANDFILL / SOLID WASTE DISPOSAL SITES

HIST INDIAN ODI R8: List of Region 8 Indian land open dump inventory sites maintained within the STARS program that is no longer in current agency list.

Agency Version Date: 11/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 08/11/2020

Agency: Indian Health Service
Agency Contact: 855-246-3642
Most Recent Contact: 05/15/2020

INDIAN ODI R8: Region 8 Indian land open dump inventory sites maintained within the STARS program

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: Indian Health Service
Agency Contact: 855-246-3642
Most Recent Contact: 03/16/2020

ODI: Open dump inventory sites

Agency Version Date: 10/03/2017
Agency Update Frequency: No Update
Planned Next Contact: 06/09/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 03/31/2020

TRIBAL ODI: Indian land open dump inventory for all regions

Agency Version Date: 06/27/2019
Agency Update Frequency: Varies
Planned Next Contact: 06/29/2020

Agency: Indian Health Service
Agency Contact: 301-443-3593
Most Recent Contact: 04/02/2020

HIST SWRCY - ID: List of recycling facility that are no longer in current agency list.

Agency Version Date: 04/13/2015
Agency Update Frequency: Annually
Planned Next Contact: 06/16/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0146
Most Recent Contact: 03/18/2020

SWRCY - ID: Recycling facility listing

Agency Version Date: 04/13/2015
Agency Update Frequency: Quarterly
Planned Next Contact: 07/17/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0146
Most Recent Contact: 04/20/2020

LOCAL LISTS OF LANDFILL / SOLID WASTE DISPOSAL SITES (cont.)

SWTIRE - ID: A listing of registered waste tire collectors

Agency Version Date: 03/22/2016

Agency Update Frequency: No Longer Maintained

Planned Next Contact: 06/23/2020

Agency: Idaho Department of Environmental Quality

Agency Contact: 208-373-0416

Most Recent Contact: 03/25/2020

RECORDS OF EMERGENCY RELEASE REPORTS

HMIRS (DOT): Hazardous Material spills reported by the Department of Transportation

Agency Version Date: 02/04/2020

Agency Update Frequency: Varies

Planned Next Contact: 07/13/2020

Agency: U.S. Department of Transportation

Agency Contact: (202) 366-4996

Most Recent Contact: 04/15/2020

HIST SPILLS - ID: Historical oil and hazardous material spills report sites that are no longer in current agency list.

Agency Version Date: 06/14/2019

Agency Update Frequency: Varies

Planned Next Contact: 08/07/2020

Agency: Idaho Department of Health and Welfare

Agency Contact: 208-334-5564

Most Recent Contact: 05/13/2020

SPILLS - ID: Oil and hazardous material spills report sites

Agency Version Date: 02/18/2020

Agency Update Frequency: Varies

Planned Next Contact: 08/07/2020

Agency: Idaho Department of Health and Welfare

Agency Contact: 208-334-5564

Most Recent Contact: 05/13/2020

LOCAL LAND RECORDS

LIENS 2: Comprehensive Environmental Response Compensation and Liability Act sites with liens

Agency Version Date: 05/11/2017

Agency Update Frequency: No Longer Maintained

Planned Next Contact: 07/13/2020

Agency: U.S. Environmental Protection Agency

Agency Contact: 800-424-9346

Most Recent Contact: 04/15/2020

OTHER ASCERTAINABLE RECORDS

AFS: Air Facility Systems Quarterly Extract

Agency Version Date: 03/20/2020

Agency Update Frequency: Quarterly

Planned Next Contact: 05/29/2020

Agency: Environmental Protection Agency

Agency Contact: (202) 566-1667

Most Recent Contact: 03/20/2020

ALT FUELING: Alternative Fueling Stations by fuel type.

Agency Version Date: 02/12/2020

Agency Update Frequency: Quarterly

Planned Next Contact: 07/21/2020

Agency: U.S. Department of Energy

Agency Contact: N/R

Most Recent Contact: 04/22/2020

BRS: Reporting of hazardous waste generation and management from large quantity generators

Agency Version Date: 02/10/2020

Agency Update Frequency: Biennial

Planned Next Contact: 07/23/2020

Agency: Environmental Protection Agency

Agency Contact: (202) 566-1667

Most Recent Contact: 04/24/2020

CDC HAZDAT: The Agency for Toxic Substances and Disease Registry's Hazardous Substance Release/Health Effects Database.

Agency Version Date: 01/06/2020

Agency Update Frequency: Varies

Planned Next Contact: 05/25/2020

Agency: Agency for Toxic Substances and Disease Registry

Agency Contact: 770-488-6399

Most Recent Contact: 03/16/2020

OTHER ASCERTAINABLE RECORDS (cont.)

COAL ASH DOE: List of existing and planned generators with 1 megawatt or greater of combined capacity that are utilizing coal ash impoundments.

Agency Version Date: 11/28/2019
Agency Update Frequency: Varies
Planned Next Contact: 07/14/2020

Agency: Department of Energy
Agency Contact: (202) 586-8800
Most Recent Contact: 04/16/2020

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

Agency Version Date: 07/31/2014
Agency Update Frequency: Varies
Planned Next Contact: 06/01/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 03/23/2020

COAL GAS: Manufactured Gas Plant locations

Agency Version Date: 02/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/31/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 05/04/2020

CONSENT (DECREEES): Legal decisions regarding responsibility for Superfund locations

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 03/16/2020

DEBRIS R5 LF: US EPA Region 5 Disaster Debris Recovery Database is a list of public facilities for disaster construction and demolition materials, electronics, household hazardous waste, metals, tires, and vehicles in EPA Region 5.

Agency Version Date: 02/28/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 08/04/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 05/08/2020

DEBRIS R5 SWRCY: US EPA Region 5 Disaster Debris Recovery Database is a list of public facilities for disaster construction and demolition materials, electronics, household hazardous waste, metals, tires, and vehicles in EPA Region 5.

Agency Version Date: 02/28/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 08/04/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 05/08/2020

DOD: Department of Defense sites

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 03/16/2020

DOT OPS: Incident Data Report

Agency Version Date: 01/20/2020
Agency Update Frequency: Varies
Planned Next Contact: 06/08/2020

Agency: U.S. Department of Transportation
Agency Contact: (202) 366-4996
Most Recent Contact: 03/30/2020

ECHO: ECHO is EPA Enforcement and Compliance History Online website to search for facilities in your community to assess their compliance with environmental regulations related to CAA, CWA, RCRA, & SDWA.

Agency Version Date: 02/10/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/17/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 202-566-1667
Most Recent Contact: 04/20/2020

OTHER ASCERTAINABLE RECORDS (cont.)

ENOI: The Electronic Notice of Intent (eNOI) database contains construction sites and industrial facilities that submit permit requests to EPA for Construction General Permits (CGP) and Multi-Sector General Permits (MSGP).

Agency Version Date: 11/15/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 06/30/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/03/2020

EPA FUELS: List of companies and facilities registered to participate in EPA Fuel Programs under Title 40 CFR Part 80.

Agency Version Date: 03/20/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/29/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: (202) 564-2307
Most Recent Contact: 03/20/2020

EPA OSC: Listing of oil spills and hazardous substance release sites requiring EPA On-Site Coordinators.

Agency Version Date: 02/05/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/13/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: (202) 564-2307
Most Recent Contact: 04/15/2020

EPA WATCH: The EPA Watch List was used to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. EPA maintained the lists from 2011 - 2013.

Agency Version Date: 02/09/2018
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 07/13/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: (202) 564-2307
Most Recent Contact: 04/14/2020

FA HWF: Hazardous Waste Facilities with Financial Assurance

Agency Version Date: 02/25/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/31/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 05/05/2020

FEDLAND: Federal land locations

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 03/16/2020

FRS: Facility Registry Systems

Agency Version Date: 12/12/2019
Agency Update Frequency: Varies
Planned Next Contact: 06/04/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 03/26/2020

FTTS: Tracking of administrative and enforcement activities related to FIFRA/TSCA

Agency Version Date: 04/16/2013
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 07/31/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-2280
Most Recent Contact: 05/06/2020

FTTS INSP: Tracking of inspections related to FIFRA/TSCA

Agency Version Date: 05/08/2017
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 07/24/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-2280
Most Recent Contact: 04/29/2020

OTHER ASCERTAINABLE RECORDS (cont.)

FUDS: Defense sites that require cleanup

Agency Version Date: 03/23/2020
Agency Update Frequency: Varies
Planned Next Contact: 06/01/2020

Agency: US Army Corps of Engineering
Agency Contact: (202) 761-0011
Most Recent Contact: 03/23/2020

HIST AFS: List of Air Facility Systems Quarterly Extract that are no longer in current agency list.

Agency Version Date: 06/14/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 07/13/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/15/2020

HIST AFS 2: List of Air Facility Systems Quarterly Extract that are no longer in current agency list.

Agency Version Date: 11/26/2018
Agency Update Frequency: Quarterly
Planned Next Contact: 05/19/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 02/21/2020

HIST DOD: Department of Defense historical sites

Agency Version Date: 08/17/2018
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 05/26/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 02/28/2020

HIST LEAD_SMELTER: List of former lead smelter sites that is no longer in current agency list.

Agency Version Date: 12/12/2018
Agency Update Frequency: Annually
Planned Next Contact: 07/31/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 05/04/2020

HIST MLTS: List of sites in possession/use of radioactive materials regulated by NRC that is no longer in current agency list.

Agency Version Date: 07/13/2016
Agency Update Frequency: Annually
Planned Next Contact: 08/11/2020

Agency: Nuclear Regulatory Commission
Agency Contact: (800) 397-4209
Most Recent Contact: 05/15/2020

HIST PCB TRANS: List of PCB Disposal Facilities that are no longer in current agency list.

Agency Version Date: 01/18/2018
Agency Update Frequency: No Update
Planned Next Contact: 06/01/2020

Agency: Environmental Protection Agency
Agency Contact: (703) 308-8404
Most Recent Contact: 03/03/2020

HIST PCS ENF: List of permitted facilities to discharge wastewater (Federal equivalent to NPDES) that are no longer in current agency list.

Agency Version Date: 12/08/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/22/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-6582
Most Recent Contact: 03/24/2020

HIST PCS FACILITY: List of Permitted facilities to discharge wastewater (Federal equivalent to NPDES) that are no longer in current agency list.

Agency Version Date: 12/18/2018
Agency Update Frequency: Annually
Planned Next Contact: 06/22/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-6582
Most Recent Contact: 03/24/2020

OTHER ASCERTAINABLE RECORDS (cont.)

HIST SSTS: List of tracking of facilities who produce pesticides and their quantity that are no longer in current agency list.

Agency Version Date: 02/13/2019
Agency Update Frequency: Annually
Planned Next Contact: 06/05/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 03/09/2020

HWC DOCKET: Listing of Federal facilities which are managing or have managed hazardous waste; or have had a release of hazardous waste.

Agency Version Date: 10/28/2019
Agency Update Frequency: Quarterly
Planned Next Contact: 05/29/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: (202) 564-2307
Most Recent Contact: 03/20/2020

ICIS: Comprised of all Federal Administrative and Judicial enforcement information [intended to replace PCS] by tracking enforcement and compliance information (also contains what used to be known as FFTS)

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/21/2020

INACTIVE PCS: Inactive Permitted facilities to discharge wastewater

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-6582
Most Recent Contact: 04/21/2020

INDIAN RESERVATION: Indian Reservation sites

Agency Version Date: 02/25/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/31/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 05/05/2020

LUCIS: Land Use Control Information Systems

Agency Version Date: 01/23/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/15/2020

Agency: Department of the Navy: BRAC PMO
Agency Contact: (619) 532-0900
Most Recent Contact: 04/17/2020

LUCIS 2: Land Use Control Information Systems

Agency Version Date: 01/17/2018
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 06/01/2020

Agency: Department of the Navy: BRAC PMO
Agency Contact: (619) 532-0900
Most Recent Contact: 03/03/2020

MINES: Mines Master Index Files

Agency Version Date: 02/12/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/21/2020

Agency: Department of Labor
Agency Contact: (202) 693-9400
Most Recent Contact: 04/22/2020

MINES USGS: Listing of all active mines and mineral plants in 2003

Agency Version Date: 02/17/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/24/2020

Agency: USGS Mineral Resources Program
Agency Contact: (703) 648-5953
Most Recent Contact: 04/27/2020

OTHER ASCERTAINABLE RECORDS (cont.)

MLTS: Sites in possession/use of radioactive materials regulated by NRC

Agency Version Date: 03/31/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/19/2020

Agency: Nuclear Regulatory Commission
Agency Contact: (800) 397-4209
Most Recent Contact: 02/21/2020

NPL AOC: Areas of Concern related to NPL remediation sites

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: Environmental Protection Agency
Agency Contact: N/R
Most Recent Contact: 03/16/2020

NPL LIENS: National Priority List of sites with Liens

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

OSHA: OSHA's listing of inspections violations and fatality information

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Occupational Safety & Health Administration
Agency Contact: 800-321-6742
Most Recent Contact: 04/21/2020

PADS: Listing of generators transporters commercial store/ brokers and disposers of PCB

Agency Version Date: 03/13/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/22/2020

Agency: Environmental Protection Agency
Agency Contact: (703) 308-8404
Most Recent Contact: 03/13/2020

PCB TRANSFORMER: Disposal and Storage of Polychlorinated Biphenyl (PCB) Waste

Agency Version Date: 03/25/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 06/03/2020

Agency: Environmental Protection Agency
Agency Contact: (703) 308-8404
Most Recent Contact: 03/25/2020

PCS ENF: Permitted facilities to discharge wastewater (Federal equivalent to NPDES)

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-6582
Most Recent Contact: 04/21/2020

PCS FACILITY: Permitted facilities to discharge wastewater (Federal equivalent to NPDES)

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-6582
Most Recent Contact: 04/21/2020

RAATS: Listing of major violators with enforcement actions issued under RCRA. Includes administrative and civil actions filed by the EPA. This dataset is no longer maintained.

Agency Version Date: 09/23/2019
Agency Update Frequency: Varies
Planned Next Contact: 05/18/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 02/20/2020

RADINFO: EPA regulated facilities with radiation and radioactive materials

Agency Version Date: 08/01/2019
Agency Update Frequency: Varies
Planned Next Contact: 08/03/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 05/07/2020

OTHER ASCERTAINABLE RECORDS (cont.)

RMP: Facilities producing/handling/ process/ distribute/ store specific chemicals report plans required by the Clean Air Act

Agency Version Date: 03/17/2020
Agency Update Frequency: Monthly
Planned Next Contact: 07/27/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 564-2534
Most Recent Contact: 04/30/2020

ROD: Permanent remedy at an NPL site

Agency Version Date: 01/06/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/25/2020

Agency: Environmental Protection Agency
Agency Contact: (800) 424-9346
Most Recent Contact: 03/16/2020

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners

Agency Version Date: 01/23/2020
Agency Update Frequency: No Update
Planned Next Contact: 06/29/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/02/2020

SEMS_SMELTER: This report includes sites that have smelting-related, or potentially smelting-related, indicators in the SEMS database. The report includes information on the site location as well as contaminants of concern.

Agency Version Date: 01/06/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 05/25/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 703-603-8867
Most Recent Contact: 03/16/2020

SSTS: Tracking of facilities who produce pesticides and their quantity

Agency Version Date: 01/29/2020
Agency Update Frequency: Annually
Planned Next Contact: 07/06/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/08/2020

STORMWATER: Permitted storm water sites

Agency Version Date: 02/11/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/20/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/21/2020

TOSCA-PLANT: Plants controlled by the Toxic Substance Control Act

Agency Version Date: 04/08/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/06/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/08/2020

TRIS: Information regarding toxic chemicals that are being used/manufactured/ treated/ transported/released into the environment

Agency Version Date: 02/10/2020
Agency Update Frequency: Varies
Planned Next Contact: 07/17/2020

Agency: Environmental Protection Agency
Agency Contact: (202) 566-1667
Most Recent Contact: 04/20/2020

UMTRA: Uranium Recovery Sites

Agency Version Date: 07/18/2019
Agency Update Frequency: Varies
Planned Next Contact: 07/22/2020

Agency: United States Nuclear Regulatory Commission
Agency Contact: (301) 415-8200
Most Recent Contact: 04/23/2020

OTHER ASCERTAINABLE RECORDS (cont.)

VAPOR: EPA Vapor Intrusion Database

Agency Version Date: 02/08/2019
Agency Update Frequency: Varies
Planned Next Contact: 06/30/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: 855-246-3642
Most Recent Contact: 04/03/2020

Corrective Actions 2020: In 2009 the EPA created the 2020 Corrective Action Baseline list of contaminated or potentially contaminated sites with a cleanup goal to complete 95% by the year 2020. The names on the list indicate the facility owners who may or may not have caused the contamination.

Agency Version Date: 12/21/2018
Agency Update Frequency: No Longer Maintained
Planned Next Contact: 05/18/2020

Agency: U.S. Environmental Protection Agency
Agency Contact: N/R
Most Recent Contact: 02/20/2020

AIRS - ID: Listing of facilities with air permits

Agency Version Date: 01/01/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/20/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0437
Most Recent Contact: 03/11/2020

ALL SITES - ID: Listing of all remediation sites

Agency Version Date: 03/19/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0246
Most Recent Contact: 03/19/2020

DAYCARE - ID: Daycare facility listing

Agency Version Date: 03/04/2020
Agency Update Frequency: Varies
Planned Next Contact: 08/10/2020

Agency: Idaho Department of Health and Welfare
Agency Contact: 800-926-2588
Most Recent Contact: 05/13/2020

DRYCLEANERS - ID: Drycleaner facility listing

Agency Version Date: 09/05/2018
Agency Update Frequency: No Update
Planned Next Contact: 07/13/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0234
Most Recent Contact: 04/14/2020

ENVCVN - ID: Remediation sites with environmental covenants

Agency Version Date: 03/19/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/28/2020

Agency: Idaho Department of Environmental Quality
Agency Contact: 208-373-0246
Most Recent Contact: 03/19/2020

FA - ID: Underground storage tank financial assurance listing

Agency Version Date: 01/08/2020
Agency Update Frequency: Varies
Planned Next Contact: 05/20/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0347
Most Recent Contact: 03/18/2020

FA 2 - ID: Solid waste facility financial assurance listing

Agency Version Date: 05/31/2016
Agency Update Frequency: No Update
Planned Next Contact: 07/31/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0523
Most Recent Contact: 05/06/2020

OTHER ASCERTAINABLE RECORDS (cont.)

T 2 - ID: List of facilities that must submit an Emergency and Hazardous Chemical Inventory Form

Agency Version Date: 12/12/2019
Agency Update Frequency: Varies
Planned Next Contact: 06/04/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-373-0437
Most Recent Contact: 03/26/2020

UIC - ID: Underground injection well site locations listing

Agency Version Date: 02/12/2020
Agency Update Frequency: Quarterly
Planned Next Contact: 07/21/2020

Agency: Idaho Department of Environment and Natural Resources
Agency Contact: 208-287-4800
Most Recent Contact: 04/22/2020

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 5
Historical Documentation

HIG Research Summary

Site Location

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID

Requested by

Envirosite Corporation
2 Corporate Drive
Shelton, CT

HIG Project

2037790

Client Project

41444

Date Created

05/19/2020



This Research Summary identifies the products and services provided by Historical Information Gatherers, Inc. (HIG) for the above referenced site location. All products are provided as PDFs unless otherwise noted.

City Directory Pages/Abstracts

Research Methodology: A search was conducted for city directories that include coverage of the site area using HIG's City Directory Collection and other sources, if needed. Directories for the following years were identified for the site area. A comma between date ranges indicates a gap of 10 years or more in available city directories:

Boise, ID 1927-2018

The above listed directories were reviewed at approximate 5 year intervals to determine if the street(s) specified in the order were included in the directories and had listings for the site area. HIG attempted to identify former street names and aliases and if identified, these were also included in the review.

Research Results: City directory information, when provided, was used to create a multi-page file(s) named CD- followed by the street name. When City Directory Pages are provided, the publication name and date are shown at the top of each page. When a City Directory abstract is provided, the first page of the abstract includes the relevant publication information. The years of coverage identified for each street and any identified historical street names are as follows:

Idaho Street W (1927-2018)

FIM+ Maps

The HIG Historical Map Collection and the United States Library of Congress Map Collection were searched for fire insurance maps (FIMs), real estate atlases and similar maps for the site location and adjoining properties. These maps were used to create a multi-page file named FIM+Maps. The maps have title blocks that include the map publisher, year the map was created and, if applicable, the year the map was last updated. The years provided are:

1912, 1949, 1956

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Historical Aerial Photo Report | 2020

Order Number: 41444

Report Generated: 05/21/2020

Project Name: Phase I ESA 1715 W.
Idaho Street, Boise, Idaho Ada Parcel
R5538941262, 0.406 Acres

Project Number:

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID, 83702

2 Corporate Dr
Suite 450
Shelton, CT 06484
Toll Free: 866-211-2028
www.envirositecorp.com

Envirosite's Historical Aerial Photo Report is designed to assist in evaluating a subject property resulting from past activities. EnviroSite's Historical Aerial Photo Report includes a search of available historical aerial photographs, dating back to the 1930s, or earliest available photographs.

ENVIROSITE SEARCHED SOURCES

SUBJECT PROPERTY:

CAPITAL CITY DEVELOPMENT CORP.
1715 W Idaho
Boise, ID, 83702

YEAR:

1953
1971
1981
1986
1987
1992
1998
2004
2009
2011
2013
2015
2017

SCALE:

1" = 1,000'
1" = 500'
1" = 1,000'
1" = 1,000'
1" = 1,000'
1" = 500'
1" = 500'
1" = 500'
1" = 500'
1" = 500'
1" = 500'
1" = 500'
1" = 500'

SOURCE:

U.S.G.S
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NAPP
DOQ
DOQ
NAIP
NAIP
NAIP
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NAIP
NAIP

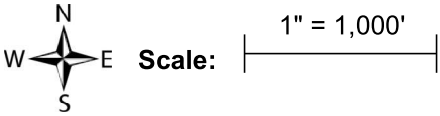
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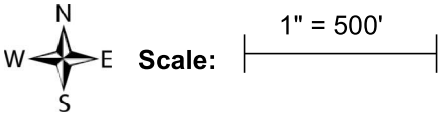
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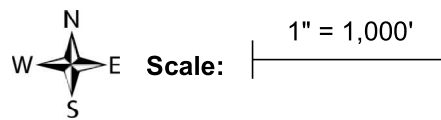
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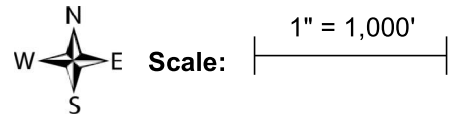
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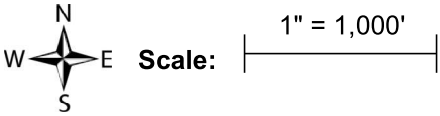
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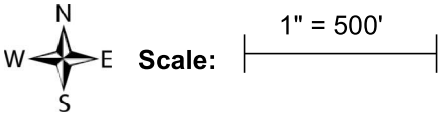
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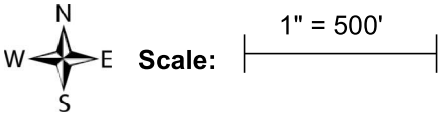
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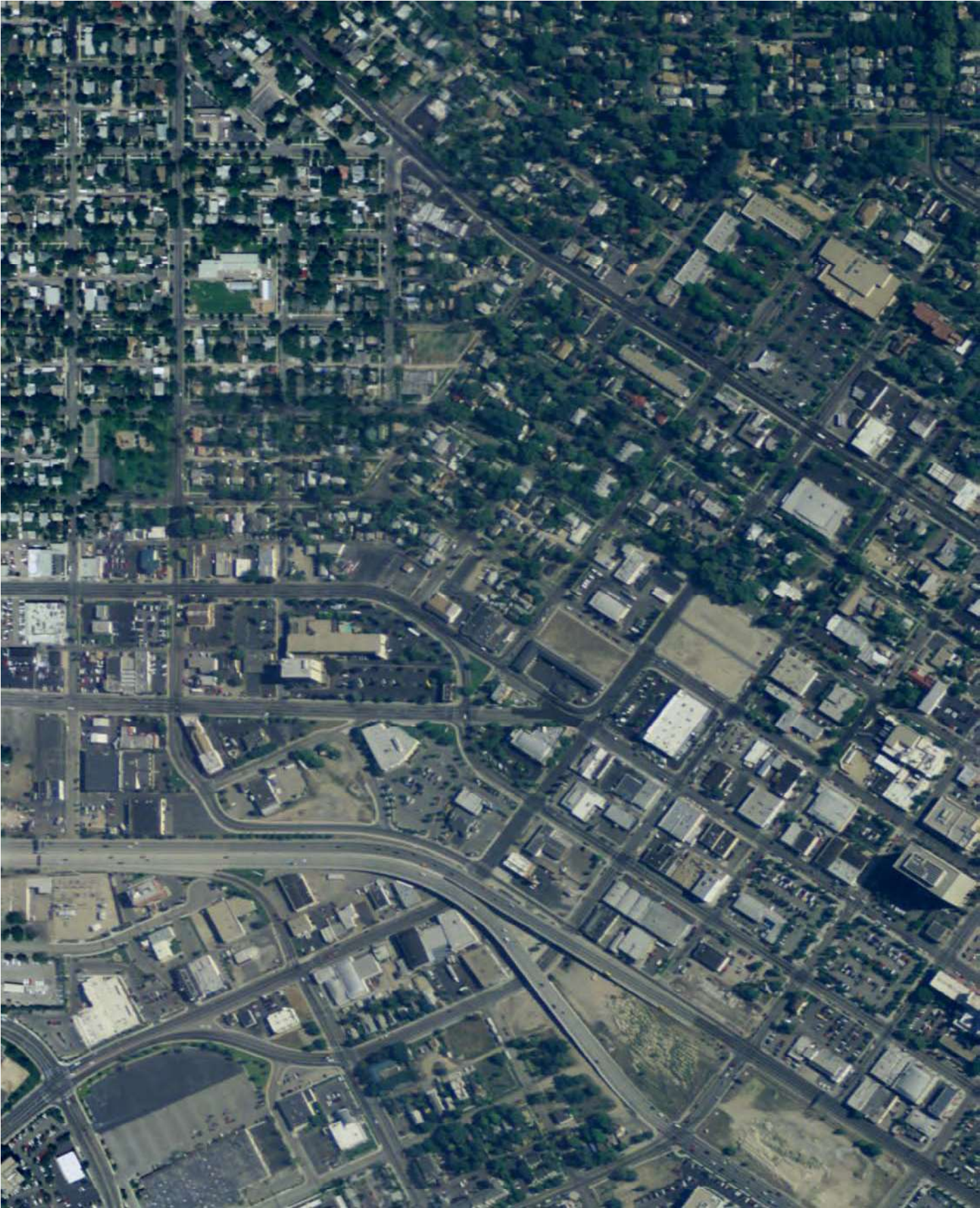
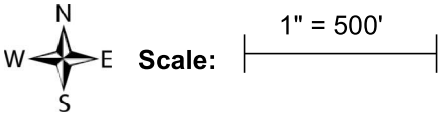
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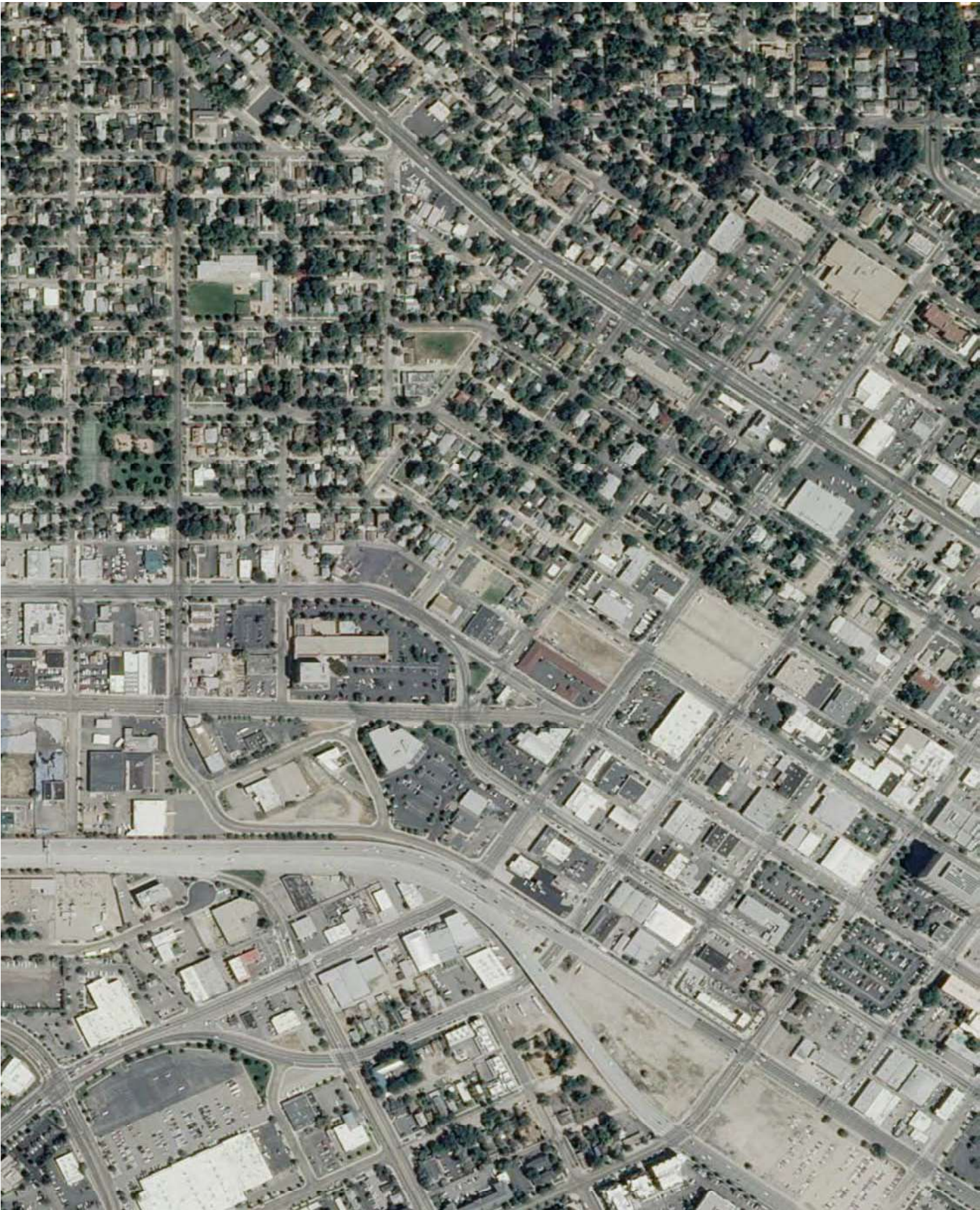
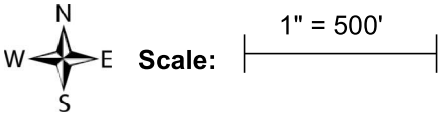
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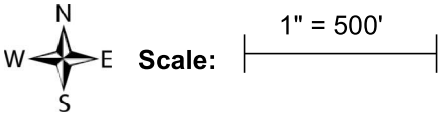
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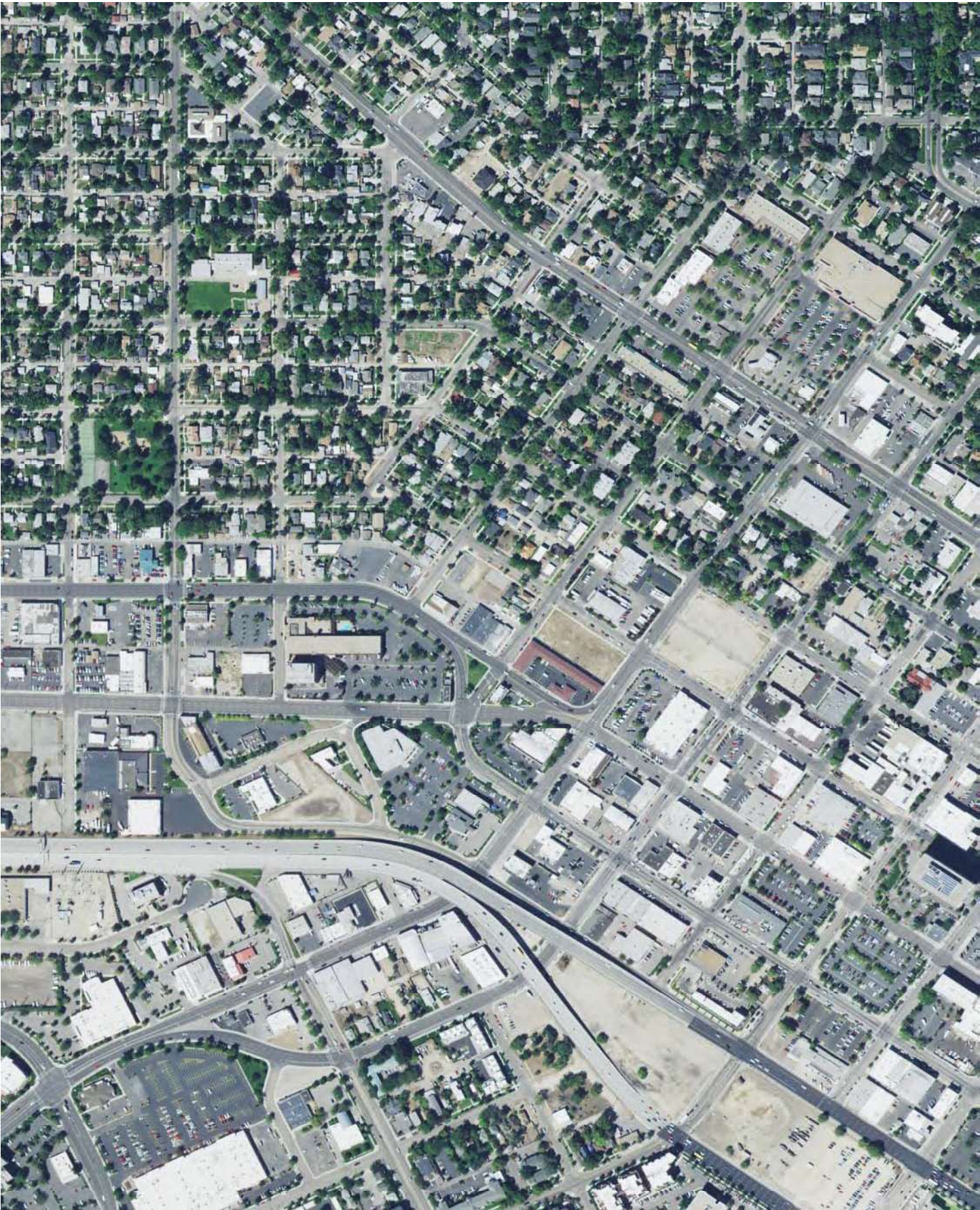
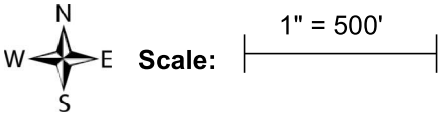
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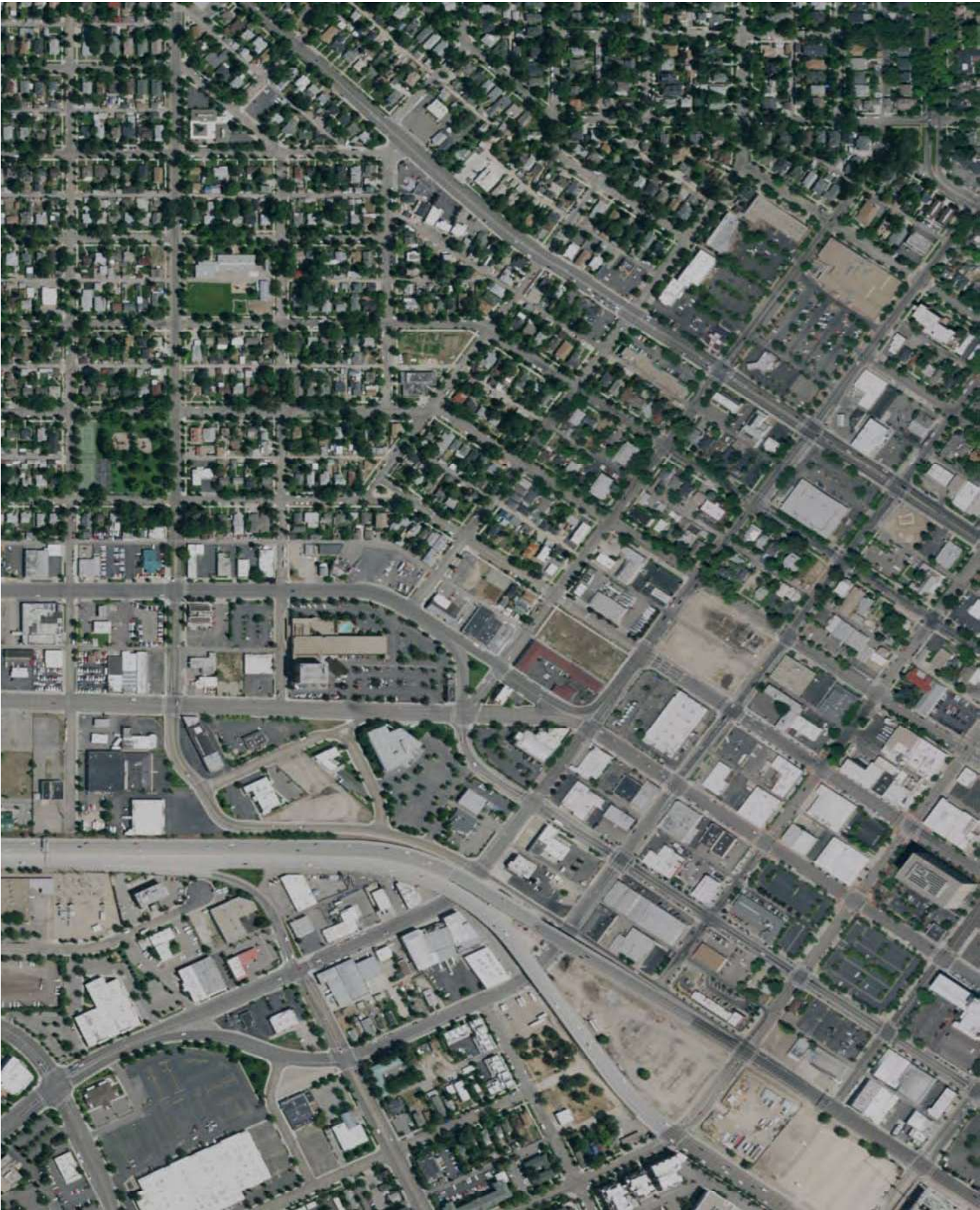
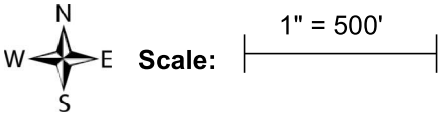
FLIGHT YEAR:
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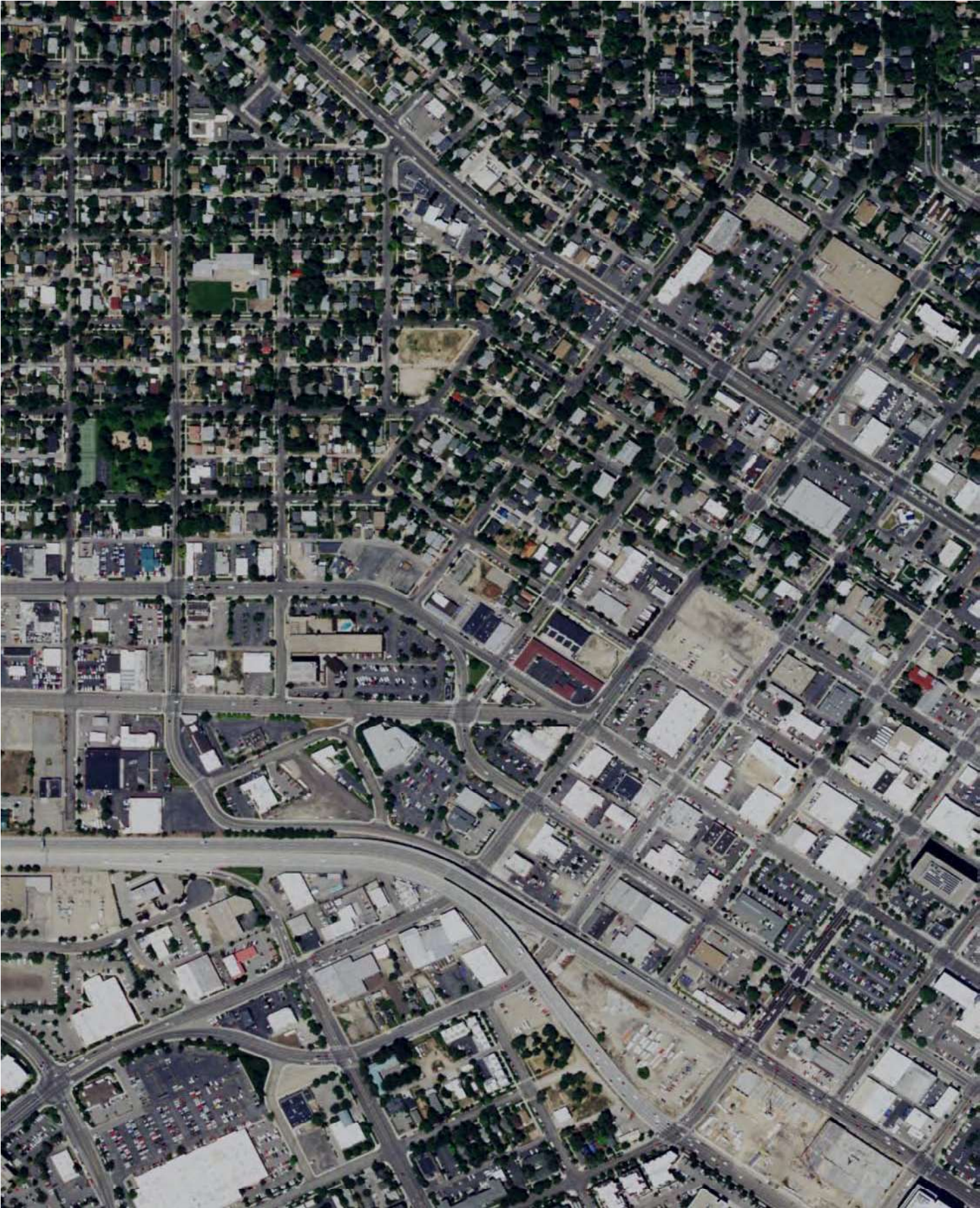
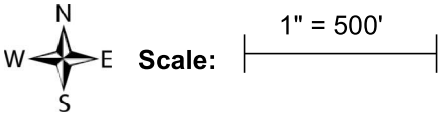
FLIGHT YEAR:
2013



FLIGHT YEAR:
2015



FLIGHT YEAR:
2017



NEW NEIGHBOR

+ S DENVER AVE INTERSECTS Continued

from prior page

W IDAHO ST Cont'd

- HOWARD LOPEZ KELLY & WOYCHICK attorneys /208-342-4344
- MC CURDY WILLIAM attorneys /208-947-7250
- RENAISSANCE REMODELING CO INC kitchen remodeling & planning /208-384-0591
- STRUCTURED communications /208-472-8842
- STUDIO SALON & SPA beauty salons /208-577-6252
- 100 KEY BANK banks /208-364-8500
- 200 Fisher John T /208-364-8500
- 325 BRIGHT LADDER INC nonclassified establishments /760-519-5643
- 325 Moore Rebecca J /208-364-8500
- 600 SUMMIT SOLUTIONS LLC physicians & surgeons equip /208-672-7272
- 650 CAR PARK INC parking stations & garages /208-336-6597
- 650 DOWNTOWN PUBLIC PARKING SYSTEM parking stations & garages /208-336-6597
- 700 702 W IDAHO LLC building contractors /208-345-7018
- 700 Burke John J /208-345-7018
- 700 GALLATIN PUBLIC AFFAIRS public relations counselors /208-336-1986
- 700 GS STRATEGY GROUP public relations counselors /208-342-1545
- 800 ELIA MOORE LAW attorneys /208-336-6900
- 800 MOORE & ELIA LLP attorneys /208-336-6900
- 900 FEDERAL DEFENDERS OF IDAHO attorneys /208-331-5500
- 1000 EUGENE ROY LEWIS attorneys /208-947-7252
- 1000 GREYSTAR REAL ESTATE PARTNERS real estate /208-343-6700
- 1000 PROFITSCORE CAPITAL MANAGEMENT investment securities /208-472-8849
- 1100 ALLIED OFFICES executive suites /208-391-6500
- 1100 BRACK & ASSOC INC nonclassified establishments /208-472-8841
- 1100 FAMILY BUSINESS CONSULTING GROUP engineers-consulting /208-342-7775
- 1100 GROVER LAW OFFICE PLLC bankruptcy serv /208-391-3434
- 1100 IDAHO FAMILY LAW attorneys /208-287-4499
- 1100 Kelly Michael /208-947-5895
- 1100 KEY BUSINESS CTR executive suites /208-947-5895
- 1100 Patterson Kara /208-947-5895
- 1100 SAGE FORENSIC ACCOUNTING acctg & bkpg genl serv /208-629-7315
- 1100 SCHAEFER LAW FIRM immigration & naturalization /208-810-4851
- 712 MOON'S KITCHEN CAFE restaurants /208-385-0472
- Potter Carolee /208-385-0472
- 720 IDAHO PEDESTRIAN & BICYCLE non-profit org /208-345-1105
- KPFF CONSULTING ENGINEERS serv /208-336-6985
- THRIVENT FINANCIAL Insurance /208-391-7111
- 33 JTREE SEO internet serv /208-345-3255
- 36 LOGISTICAL MARKETING business serv /208-345-3255
- 46 ROX SAULS EVENTS events-special /301-221-2550
- 730 OLD CHICAGO pizza /208-363-0037
- 750 MAI THAI restaurants /208-344-8424
- MT DOWNTOWN INC nonclassified establishments /208-344-8424
- 780 PHO NOUVEAU restaurants /208-367-1111
- 783 ELECTRIC CHAIR beauty salons /208-331-2588
- + N 6TH ST INTERSECTS
- 800 100 MODE LOUNGE cocktail lounges /208-342-8633
- 112 ASPEN LEAF YOGURT LLC yogurt /208-343-3648
- 112 EUREKA restaurants /208-286-4410
- 112 KOI RESTAURANT & BAR restaurants /208-343-3474
- 300 CAPROCK GROUP financial advisory serv /208-368-9600
- 350 STRATUS GLOBAL PARTNERS LLC marketing consultants /208-344-7422
- 802 NORTH FACE sportswear-retail /208-331-9790
- 805 ADT-ALARM & SECURITY security control equip & sys /208-272-9672
- HEALTHWISE INC social serv /208-331-9790
- 200 Kingensmith Joel W /208-331-9790
- 300 MARKETING MEDIA GROUP LLC advertising /208-442-1104
- 310 WESTWATER RESEARCH surveys-water rights /208-442-1104
- 400 TEM ENTERPRISES nonclassified establishments /208-780-1100
- 807 ALAVITA food products-retail /208-424-6722
- 816 CHICO'S clothing-retail /208-344-4589
- 817 LUX FASHION LOUNGE accessories-fashion /208-344-4589

Continued Next Column

+ S DENVER AVE INTERSECTS Continued

from prior column

W IDAHO ST Cont'd

- 818 LUNCH BOX FRANCHISE & ADMIN franchising /208-333-1445
- LUNCHBOXWAX DOWNTOWN BOISE beauty salons /208-789-2956
- 821 VANDALSTORE sportswear-retail /208-433-1889
- 824 WEST ELM housewares-retail /208-342-0163
- 825 FANCY PANTS women's apparel-retail /208-345-3339
- 827 BANK OF THE WEST banks /208-343-0606
- 828 McGrath Lisa /208-336-5186
- 840 ANDY'S DELI sandwiches /208-336-5186
- + N 9TH ST INTERSECTS
- + N 10TH ST INTERSECTS
- + ZIP CODE 83702 CAR-RT C026
- 1001 100 WASHINGTON FEDERAL NA banks /208-343-1833
- + N 11TH ST INTERSECTS
- 1101 EDGE coffee shops /208-344-5383
- 1105 PAINTED SMILES ADVERTISING advertising /208-343-0107
- RECORD EXCHANGE records tapes & compact discs /208-344-8010
- 1118 EL KORAH SHRINERS fraternal org /208-343-0571
- SHRINE OASIS fraternal org /208-343-1341
- + N 12TH ST INTERSECTS
- 1220 IDAHO POWER CO electric companies /208-388-2364
- 1221 Baker Shane /208-388-2364
- DELTA COMMUNITY CREDIT UNION credit unions /404-715-4725
- IDACORP ENERGY SVC electric companies /208-388-2200
- IDACORP FINANCIAL SVC INC financial advisory serv /208-388-2200
- IDACORP INC electric companies /208-388-2200
- Johnson Floyd /208-388-2200
- Medlin Denise /208-388-2200
- + N 13TH ST INTERSECTS
- + N 14TH ST INTERSECTS
- 1401 AXUS INTERNATIONAL nonclassified establishments /208-358-0877
- Bisbing Jennifer /208-358-0877
- Boesel Karen D /208-358-0877
- CUSTOMATED INC computers /208-358-0877
- Elwell Emily M /208-358-0877
- Elwell Mikaela /208-358-0877
- Johnson Cary A /208-358-0877
- Lewis John D /208-358-0877
- Mitchell Holly /208-358-0877
- Murenbeild Michael J /208-358-0877
- Murenbeild Kathryn /208-358-0877
- PROPULSION INNO energy conservation prod-serv /208-629-2096
- Rohnert Heather /208-629-2096
- Rohnert Ashlee /208-629-2096
- Smith Jennifer A /208-629-2096
- Ueno Tomomi /208-629-2096
- 200 REFERENCE180.COM acctg & bkpg genl serv /208-391-4461
- 205 Moon Alana S /208-391-4461
- 301 Michanco Scarlett /208-391-4461
- 306 McManis Carrie A /208-391-4461
- 312 Vanhooser Dane /208-391-4461
- 312 Wright Christie J /208-391-4461
- 1404 101 BOISE ROCK SCHOOL schools /208-559-0085
- 1412 Gann Walt /208-559-0085
- WINDERMERE REAL EST BOISE VLY real estate /208-258-2222
- 110 MICHENER INVESTMENT real estate investments /208-336-3202
- 110 Michener Roger B /208-336-3202
- 110 Michener Hoyt D /208-336-3202
- 130 TRI-COUNTY PROCESS SERVING process servers /208-344-4132
- 200 MAXEY TOOKEY ARCHITECTS architects /208-344-9600
- 210 JOHN B TODD LAW OFFICE attorneys /208-424-1132
- 239 HEALTHWELL VENTURES & NTRGNCS vitamin & food supplements /208-364-9055
- 250 MCCLENDON ENGINEERING INC engineers /208-342-2919
- 1415 Coffield Jon /208-336-9726
- + N 16TH ST INTERSECTS
- 1639 Ransom Eric H /208-336-9726
- 1645 Cook Sean H /208-336-9726
- 1653 Callow John T /208-336-9726
- 1681 Blevins Susan M /208-336-9726
- 1687 Bell Craig L /208-336-9726
- + N 17TH ST INTERSECTS
- 1700 - 1706 No Current Listing (2 Hses) /208-336-9726
- 1706 B Tualalelei Sili /208-336-9726
- C Diaz Charles D /208-336-9726
- D No Current Listing /208-336-9726
- 1710 Doty Kris D /208-336-9726
- 1712 - 1718 No Current Listing (2 Hses) /208-336-9726
- 1722 Rencher Brian P & Monica L /208-336-9726
- + N 18TH ST INTERSECTS
- 1804 Crooke Madison /208-336-9726
- Ochrstensen Aileen O & Carey A /208-336-9726
- 1805 No Current Listing /208-336-9726
- 1807 McNorlan James III /208-336-9726
- 1808 Sorensen Peter S & Kimberly N /208-336-9726
- 1811 Janowitz Amanda L /208-336-9726
- 1812 A Arno Jessica /208-336-9726
- B Condon Chris J /208-336-9726

W IDAHO ST Cont'd

- 1815 Forsberg Jacob M /208-336-9726
- + N 19TH ST INTERSECTS
- 1817 101 No Current Listing /208-336-9726
- 102 Reggear Amanda /208-336-9726
- 201 Lar Norma /208-336-9726
- 202 - No Current Listing (3 Apts) /208-336-9726
- 1820 Ogletree Heather /208-336-9726
- 1821 No Current Listing /208-336-9726
- 1822 Strand John C /208-336-9726
- 1824 No Current Listing /208-336-9726
- + N 19TH ST BEGINS
- 1903 Mathews Meribeth M /208-336-9726
- Mathews David /208-336-9726
- 1904 Meyer Colin W /208-336-9726
- 1905 McDonald Viktoria L /208-336-9726
- A No Current Listing /208-336-9726
- B Martinsen Jessica /208-336-9726
- 1906 - 1907 No Current Listing (2 Hses) /208-336-9726
- 1909 Naylor Meghan /208-336-9726
- Schenk Matthew /208-336-9726
- Smith Susan /208-336-9726
- 1910 Deltoro Tyler /208-336-9726
- Douglas Scott /208-336-9726
- 1911 - 1913 No Current Listing (3 Hses) /208-336-9726
- 1914 Kersulus Darius /208-336-9726
- 1915 No Current Listing /208-336-9726
- 1917 Fisher Rachel /208-336-9726
- Howley Bridgette /208-336-9726
- + N 22ND ST INTERSECTS
- 2202 No Current Listing /208-336-9726
- 2203 101 Sheldon Erik /208-336-9726
- 102 Hazen Amner /208-336-9726
- 103 No Current Listing /208-336-9726
- 104 Cole William /208-336-9726
- 104 Wilming Morgan M /208-336-9726
- 2209 Fochtman Steven /208-336-9726
- 101 No Current Listing /208-336-9726
- 103 Edmondson Taylor /208-336-9726
- 103 Garcia Asier /208-336-9726
- 2211 1/2 Keeney Austin /208-336-9726
- Smith Lucy /208-336-9726
- 2214 Norton Elizabeth /208-336-9726
- Surabian Mark /208-336-9726
- 2215 Hollenbeck Krystal /208-336-9726
- 2216 No Current Listing /208-336-9726
- 2218 Hesse Breana N /208-336-9726
- 2219 Barnett Clint B /208-336-9726
- Blake Emma L /208-336-9726
- + N 23RD ST INTERSECTS
- + ZIP CODE 83702 CAR-RT C017
- 2311 1/2 Evans Matthew M /208-336-9726
- 2315 Ford Robin /208-336-9726
- Ford Eric /208-336-9726
- 2317 - 2319 No Current Listing (2 Hses) /208-336-9726
- 2321 Hirt Jonathan D /208-336-9726
- 2323 Coles Daniel J /208-336-9726
- Wood Abigail /208-336-9726
- + N 24TH ST INTERSECTS
- 2400 Jones Tad A & Kerma /208-336-9726
- 2401 Nelson Samuel D /208-336-9726
- Padron Maribel R /208-336-9726
- 2405 1/2 Brown Christopher /208-336-9726
- 2406 No Current Listing /208-336-9726
- 2410 Erwin Kristina K /208-336-9726
- 2411 Mendiola Joseph D /208-336-9726
- 2412 Ames Aaron /208-336-9726
- Robison Sheryl /208-336-9726
- 2415 Hardin Jennifer L /208-336-9726
- 2415 1/2 Fagan Judy /208-336-9726
- Gray Samantha R /208-336-9726
- Gray Don /208-336-9726
- 2416 Maria James /208-336-9726
- 2418 No Current Listing /208-336-9726
- 2419 Ellis Mallory G /208-336-9726
- Wilson Brooks H /208-336-9726
- 2421 Miller Justine /208-336-9726
- 2424 No Current Listing /208-336-9726
- + N 25TH ST INTERSECTS
- 2501 Knudson Brent R & Keiko /208-336-9726
- (1939) /208-336-9726
- 2502 Gunn George N /208-336-9726
- Gunn Colin D /208-336-9726
- Unn Cheryl /208-336-9726
- WALTZING WITH BEARS INC genl merchandise-retail /208-336-2403
- 2503 Rummey John D /208-336-9726
- 2504 Babcock Joni M /208-336-9726
- 2505 Aldrich Sarah /208-336-9726
- Aldrich Anna /208-336-9726
- 2510 No Current Listing /208-336-9726
- 2511 White Anne /208-336-9726
- 2512 Ellis Daniel S /208-336-9726
- 2513 Wilde Kathryn A /208-336-9726
- 2515 Headrick Michael S & Kirsten /208-336-9726
- (1939) /208-336-9726
- Sel Kirsten /208-336-9726
- 2516 Gault Benjamin A /208-336-9726
- 2517 Nunez Brett J & Lori K /208-336-9726
- 2519 1/2 Nunez Rose V /208-336-9726
- Raymond Ragiel /208-336-9726
- 2520 No Current Listing /208-336-9726
- 2523 Gardner David E /208-336-9726
- Gardner Melissa /208-336-9726
- Roland Michael /208-336-9726
- + N 26TH ST INTERSECTS
- 2600 Genth Hayden G /208-336-9726
- McCarrel Michael /208-336-9726
- 2604 Bernard Michael S /208-336-9726
- Bernard Palina /208-336-9726
- 2608 No Current Listing /208-336-9726
- 2618 STEWART'S GEN SHOP jewelry-retail /208-336-9726
- (1939) /208-336-9726
- 2620 Stewart Brent J /208-336-9726
- 2624 Williams Steven R /208-336-9726
- 2627 GREENWOOD INVESTMENTS investments /208-336-9726
- Greenwood James /208-336-9726
- KULCHAK & ASSOC attorneys /208-336-9726

W IDAHO ST Cont'd

- MERKLE GARY CPA accountants /208-336-9726
- PERRY LAW attorneys /208-336-1001
- WARNER LAW OFFICES PLLC attorneys /208-336-1001
- + ZIP CODE 83702 CAR-RT C015
- 2700 ARC DOCUMENT SOLUTIONS reprographic serv /208-342-4141
- 2701 SHAM'S AUTO SALES LLC auto dis-used cars /208-377-1802
- Stark Amanda /208-377-1802
- 2711 No Current Listing /208-377-1802
- 2715 BOISE DETAIL auto detail & clean-up serv /208-343-3025
- 2719 Foust Josh /208-338-0123
- 2720 ADAS LLC nonclassified establishments /208-338-0123
- POPULAS FURNITURE furniture-mfrs /208-362-8001
- 2723 Dillen Jeff /208-344-3568
- + N 28TH ST INTERSECTS
- 2803 ANDY'S SUPPLY INC genl merchandise-retail /208-344-3568
- 2816 No Current Listing /208-344-3568
- + N 29TH ST INTERSECTS
- 2923 TATES RENTS rental serv-stores & yards /208-345-7368
- + N 30TH ST INTERSECTS
- BUSINESS 158 HOUSEHOLDS 175
- S ILLINOIS AVE (BOISE)-FROM 499 W ARIZONA LN SOUTH
- + W ARIZONA LN CONTINUES
- + ZIP CODE 83706 CAR-RT C003
- 2101 Babcock Larry J /208-344-9871
- 2102 Russel Kenneth W /208-344-9871
- 2109 Coja Nicholas B /208-344-9871
- 2110 Voshell Shannon L /208-344-9871
- 2115 Ingh Rebecca A /208-344-9871
- 2116 No Current Listing /208-344-9871
- 2121 Austin Mark S & Kimberly A /208-344-9871
- (1972) /208-344-9871
- 2122 Aidan Judy /208-344-9871
- Alden Lucio P /208-344-9871
- Reyes Tiana /208-344-9871
- Torres Vicente V & Primitiva D /208-344-9871
- 2134 Briggs Alec B /208-344-9871
- Wayner Ariel /208-344-9871
- 2141 Lashley Jonathan W /208-344-9871
- Lashley Colleen /208-344-9871
- Zeller Jonathan /208-344-9871
- 2142 Steiger Keith & Jessica /208-344-9871
- 2149 Franco Isidro M & Stacy M /208-344-9871
- Tamara Kent /208-344-9871
- 2150 Moriarty Malori M /208-344-9871
- 2155 No Current Listing /208-344-9871
- 2163 Barrett Jack /208-344-9871
- Perry Nicole A /208-344-9871
- 2177 Erickson Dominic M /208-344-9871
- Erickson Andrea /208-344-9871
- + W ARIZONA LN ENDS
- 2189 Holloway Billie F /208-344-9871
- Rightmeier Larry B /208-344-9871
- Rightmeier Brent /208-344-9871
- 2195 Cox Kevin & Shawna /208-344-9871
- + W IOWA ST INTERSECTS
- 2213 Griffin Tad H & Mona D /208-344-9871
- (1975) /208-344-9871
- 2215 Middleton Carol J /208-344-9871
- Middleton Jean M /208-344-9871
- 2216 Decker Joseph /208-344-9871
- Naylor Jess /208-344-9871
- 2221 Andrew Teresa L /208-344-9871
- Andrew Michelle /208-344-9871
- 2222 Fuller Scott C /208-344-9871
- 2229 Strong Vern D /208-344-9871
- 2230 Thometz Barbara /208-344-9871
- Thometz Christopher J /208-344-9871
- 2234 King Lisa /208-344-9871
- King Emily /208-344-9871
- Loewe Emily /208-344-9871
- 2238 Billow Dan E /208-344-9871
- (1975) /208-344-9871
- 2246 Werenic Steve J & Diana M /208-344-9871
- (1975) /208-344-9871
- 2267 Megale Ian R /208-344-9871
- Megale Anna /208-344-9871
- 2275 Jirik Annmarie J /208-344-9871
- 2283 Wylie Allan H & Mary M /208-344-9871
- 2291 Kimmet Michael G /208-344-9871
- 2300 Brown Karen /208-344-9871
- 2301 Cureton Scott T & Jami E /208-344-9871
- 2327 Reynolds Jim W & Cheryl L /208-344-9871
- (1975) /208-344-9871
- 2339 Faul Christina M /208-344-9871
- Faul James /208-344-9871
- 2351 Shaw Amy A /208-344-9871
- Shaw Robert /208-344-9871
- 2363 Kosak Kaley A /208-344-9871
- Parsons Brad A /208-344-9871
- Parsons Kaley A /208-344-9871
- + W MELROSE ST INTERSECTS
- HOUSEHOLDS 50
- E IMMIGRANT PASS CT (BOISE)-FROM 3601 SWEETWATER DR NORTHEAST
- + IMMIGRANT PASS DR ENDS
- + ZIP CODE 83716 CAR-RT C020
- 3612 Hill John /208-344-9871
- Nelson Glen E & Janny S /208-344-9871
- (1997) /208-344-9871
- 3613 Pereira Michael E Jr & Pamela A /208-344-9871
- (1997) /208-344-9871
- 3644 No Current Listing /208-344-9871
- 3645 Longbottom Steven L & Jean M /208-344-9871
- (1997) /208-344-9871
- 3672 Buxton Richard L /208-344-9871

E IMMIGRANT PASS CT Cont'd

- 3689 Day Marita /208-342-1424
- 3690 Reichle David A & Megan L /208-342-1424
- (1997) /208-342-1424
- 3753 No Current Listing /208-342-1424
- 3757 Zhai Betty /208-342-1424
- Zhai Huihui Z /208-342-1424
- 3765 Boersig Bill K & Karyn L /208-342-1424
- 3779 Sitzmann Daniel D /208-342-1424
- 3780 Nelson Thomas A & Rosalee /208-342-1424
- (1997) /208-342-1424
- 3801 Eichmeyer Seth A & Jennifer /208-342-1424
- (1997) /208-342-1424
- 3808 Coleman Aaron P & Barbara J /208-342-1424
- (1997) /208-342-1424
- 3823 Starnan Kathleen A & Cliff R /208-342-1424
- (1997) /208-342-1424
- 3826 Phillips Tammy J /208-342-1424
- Phillips Patrick /208-342-1424
- 3840 Luid David L & Amy E /208-342-1424
- (1007) /208-342-1424
- 3852 Smith Shannon D /208-342-1424
- Smith Laurie A /208-342-1424
- 3867 Landers Keith W /208-342-1424
- (1997) /208-342-1424
- 3874 Block Lonny W /208-342-1424
- Block Freda S /208-342-1424
- 3895 Wallace John A & Jeannette A /208-342-1424
- (1997) /208-342-1424
- 3898 Miller Merlin D /208-342-1424
- Miller Ross W /208-342-1424
- 3916 Kilne Jennifer /208-342-1424
- Willett Michael P & Jennifer A /208-342-1424
- (1997) /208-342-1424
- + S ADONIS WAY BEGINS
- HOUSEHOLDS 27
- E IMMIGRANT PASS DR (BOISE)
- + ZIP CODE 83716 CAR-RT C020
- 3402 Ashworth Lonny J & Vicki A /208-342-1424
- (1997) /208-342-1424
- 3427 Laws Arthur A /208-342-1424
- Laws Alex A /208-342-1424
- 3450 Mc Intire Amanda J /208-342-1424
- Yocum Matt K & Amanda /208-342-1424
- 3451 No Current Listing /208-342-1424
- 3474 Graham Brittany /208-342-1424
- 3497 Streeby Corinne /208-342-1424
- 3498 Kozoroff Dale /208-342-1424
- 3521 Douthitt Karen /208-342-1424
- 3522 Williams Theresa L /208-342-1424
- Williams Flora /208-342-1424
- 3533 Burnham Kelli /208-342-1424
- Carlson Mallory M /208-342-1424
- 3546 Parker Boyd J & Kathleen B /208-342-1424
- (1997) /208-342-1424
- 3547 Griffin Colleen /208-342-1424
- 3559 Baldino Carolyn M /208-342-1424
- Baldino Robert V /208-342-1424
- 3570 Tilton Cynthia D /208-342-1424
- Tilton Chantel D /208-342-1424
- 3571 Lilly Robert D /208-342-1424
- 3594 Ryder Peter W /208-342-1424
- Ryder Amanda /208-342-1424
- HOUSEHOLDS 18
- S IMPATIENS PL (BOISE)-FROM 3731 E LAKE FOREST DR SOUTHEAST
- + ZIP CODE 83716 CAR-RT C016
- 5548 Liffick Danny /208-367-0060
- 5555 Mariellus

W IDAHO ST - S IMPATIENS PL

190

HOMEOWNER

W IDAHO ST Cont'd

1100 PROFESSIONAL CAREER SOLUTIONS career & vocational counseling / @208-272-8840
 1100 SAMUEL A HOAGLAND ATTORNEY attorneys / @208-386-9292
 1100 SHEEHAN JEFFREY T attorneys / @208-287-4499
 712 MOON'S KITCHEN CAFE restaurants / @208-385-0472
 718 ROSE ROOM banquet rooms / @208-381-0483
 720 ANNUITY GUYS insurance annuities / @208-424-7966
 DOWNTOWN BOISE ASSN associations / @208-385-7300
 JTREE.NET internet serv / @208-991-3736
 KHAMU SOLUTIONS LLC cash registers & suppl / @208-345-2250
 KPFF CONSULTING ENGINEERS engineers-consulting / @208-336-6985
 LOGISTICAL MARKETING business serv / @208-345-3255
 PATRICIA BALL LAW OFFICE attorneys / @208-388-2200
 Stoldorf Jason /
 TOM JAMES CO clothing-retail / @208-938-5245
 720 WARD JERRY M attorneys / @208-424-3654
 730 OLD CHICAGO pizza / @208-383-0037
 735 Adornetto Biagio /
 UNDER GROUND BARBER SHOP barbers / @208-343-7333
 745 FRAMWORKS PICTURE FRAMING picture frames-dirs / @208-287-8150
 750 MAI THAI RESTAURANT restaurants / @208-344-8424
 755 BOISE FLORIST florists-retail / @208-345-6055
 765 Morris Karla / @208-367-1111
 780 PHO NOUVEAU restaurants / @208-331-2588
 783 ELECTRIC CHAIR beauty salons / @208-331-2588
 785 LUX FASHION LOUNGE clothing-used / @208-344-4589
 + N 8TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C023
 800 ASPEN LEAF YOGURT yogurt / @208-343-3648
 DONAHOE PACE & PARTNERS advertising / @208-344-7374
 FATTY'S BAR bars / @208-514-2531
 100 GRAPE ESCAPE restaurants / @208-368-0200
 802 NORTH FACE sportswear-retail / @208-331-9790
 805 SUMMIT SOLUTIONS LLC nonclassified establishments / @208-672-7272
 200 CAPROCK GROUP financial advisory serv / @208-368-9600
 300 MARKETING MEDIA GROUP LLC advertising / @208-472-2129
 301 IDAHO NATIONAL ENGINEERING government offices-us / @208-334-9572
 310 WESTWATER RESEARCH surveyors- water rights / @208-343-0255
 401 XTRA AIRWAYS airline companies / @208-333-9872
 807 Ellis Bert W /
 814 JANE RUN sporting goods-retail / @208-338-5263
 816 CHICO'S clothing-retail / @208-424-6722
 817 CRICKET CLOTHING CO women's apparel-retail / @208-336-4343
 819 CASSIS LLC gift shops / @208-345-5501
 821 Smart Andy /
 VANDALSTORE sportswear-retail / @208-433-1889
 822 ANTHROPOLOGIE women's apparel-retail / @208-345-3411
 825 FANCY PANTS women's apparel-retail / @208-345-3339
 827 BANK OF THE WEST banks / @208-343-0606
 828 CHEERS invitations & announcements / @208-342-1805
 840 ANDY'S DELI sandwiches / @208-336-5186
 + N 9TH ST INTERSECTS
 900 ADT SECURITY SVC security sys / @208-503-1849
 911 Chattraw Ben / @

W IDAHO ST Cont'd

918 MACY'S department stores / @208-388-7000
 + N 10TH ST INTERSECTS
 1001 WASHINGTON FEDERAL banks / @208-343-1883
 400 MOORE & ELIA LLP attorneys / @208-336-6900
 + N 11TH ST INTERSECTS
 1101 EDGE gift shops / @208-344-5383
 1105 Obrien Timothy /
 PAINTED SMILES ADVERTISING advertising / @208-343-0107
 RECORD EXCHANGE records tapes & compact discs / @208-344-8010
 1117 EL KORAH SHRINE CIRCUS circus companies / @208-333-8350
 + N 12TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C009
 1221 IDACORP ENERGY SVC electric companies / @208-388-2200
 IDACORP INC electric companies / @208-388-2200
 IDAHO ENERGY RESOURCES CO energy mgmt sys & products208-388-2200
 IDAHO POWER CO electric companies / @208-388-2200
 IDAHO POWER DIVERSIFIED ENT CO electric equip/supl-whol / @208-388-2200
 Royster Cindy S /
 Soos Arpad /
 + N 13TH ST INTERSECTS
 + N 14TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C026
 1401 BUSINESSPLANS PROS LLC business mgmt consultants / @208-841-3700
 I O DUPONT INC nonclassified establishments / @208-908-0630
 NOVEL PROJECTS INC book dirs-retail / @208-287-1732
 PROPULSION INNO energy conservation prod-serv / @208-629-2096
 1404 101 IDAHO FLOOR SUPPLY carpet & rug dirs- new / @208-321-9090
 102 CUSTOMATED INC computers / @208-336-2586
 104 Hunt Christopher J /
 1405 WATER COOLER water coolers fountains/filter / @208-908-0625
 1412 WINDERMERE ACCESS REALTY real estate208-258-2222
 100 AMERICAN LUNG ASSN associations / @208-345-5864
 110 BATES INVESTMENTS real estate investments / @208-429-9600
 110 MICHENER INVESTMENT real estate investments / @208-336-3202
 110 Michener Roger B /
 110 Michener Hoyt D
 130 TRI-COUNTY PROCESS SERVING process servers / @208-344-4132
 200 SUSAN G KOMEN FOR THE CURE cancer info / @208-384-0013
 210 JOHN B TODD LAW OFFICE attorneys / @208-424-1132
 210 SETZKE LAW OFFICES attorneys / @208-345-4444
 210 TREBAR FINANCIAL SVC nonclassified establishments / @208-344-3272
 237 APEX PROPERTY MGMT SLTNS LLC real estate mgmt / @208-343-3260
 238 ASSOCIATED DESIGN GROUP INC engineers- electrical / @208-331-5665
 240 SECURITAS SECURITY SVC USA security guard & patrol serv / @208-898-9256
 + N 16TH ST INTERSECTS
 + N 17TH ST INTERSECTS
 1700 - 1706 No Current Listing (2 Hses)
 1710 Shohet Chad /
 1712 Espinosa Gabriel /
 1718 No Current Listing
 1722 Rancher Brian P & Monica L /
 + N 18TH ST INTERSECTS
 1804 Jonakin Kathryn M /
 McClure Christopher J /
 McClure Erin D
 1805 Joiner Ronnie L /
 1807 No Current Listing
 1808 Sorensen Peter S & Kimberly N /
 1811 Janowitz Judee L /

W IDAHO ST Cont'd

Janowitz Amanda
 1812 A Horst Lindsay /
 1812 1/2 Allen Leslie L /
 Casper Michelle /
 1815 Monroe Kelli A /
 + N 19TH ST INTERSECTS
 1817 102 Powell Anita
 1818 - 1821 No Current Listing (4 Hses)
 1822 Strand John C /
 1824 No Current Listing
 + N 19TH ST BEGINS
 * ZIP CODE 83702 CAR-RT C017
 1903 No Current Listing
 1904 Longbucco Dominic /
 1905 Goodman Stephanie /
 1906 Coy Kenneth W /
 1907 - 1909 No Current Listing (2 Hses)
 1910 Cadeno Mariorie M /
 1911 - 1913 1/2 No Current Listing (3 Hses)
 1914 Darrow Yvonne M /
 1915 No Current Listing
 1917 Fisher Jeremy /
 Fisher Rachel
 + N 22ND ST INTERSECTS
 2202 No Current Listing
 2203 104 Cole William /
 104 Quantstrom Skyler L /
 2209 Reid Bradford /
 2211 Gibson Angela /
 Smith Lucy /
 Smith Lily
 2214 - 2215 No Current Listing (2 Hses)
 2216 Allen Chad J /
 Allen Cristina
 2218 Griffith Katie /
 2219 Carruthers John A /
 + N 23RD ST INTERSECTS
 2311 - 2315 No Current Listing (2 Hses)
 2317 Crowder Deanna L /
 2319 Mars Clifford J /
 McNutt Charice /
 2321 Lester Dana /
 2323 Mahoney Troy
 + N 24TH ST INTERSECTS
 2400 Jones Tad A & Karma /
 2401 Nelson Samuel D /
 2405 1/2 Lago Elizabeth /
 2406 ARROW ROCK ARCHITECTS architects / @208-344-3722
 Culbertson Frank A /
 Hartmans Donna M /
 2410 Erwin Kristina K /
 2411 Young Alicia /
 2411 Mendiola Joseph D /
 2412 Ames Ashlyn /
 Robinson Theron P /
 2415 1/2 Fagan Judy /
 2416 Otto Jack /
 Otto Kayla J
 2418 No Current Listing
 2419 Spatz Peter A /
 2421 Onell Timothy M & Justine O /
 2424 Nelson Malinda L /
 + N 25TH ST INTERSECTS
 2501 Knudson Brent R & Keiko /
 2502 Gunn Cheryl D & George N /
 2503 (1951)208-336-2403
 WALTZING WITH BEARS INC genl merchandise-retail / @208-336-2403
 2504 Babcock Joni M /
 2505 Guenther Joseph R /
 2510 Smith Jason B /
 2511 No Current Listing
 2512 Ellis Daniel S /
 2513 Kaiser Robert W /
 Kaiser Meagan M
 2515 Headrick Michael S /
 Headrick Kirstee
 2516 Rockwell Erica /
 2517 Hudson Jason L /
 Nunez Brett /
 2519 Barrett Lori A /
 Erpelding Matthew W /
 2520 Carroll Brian W & Tracy J /
 2523 Halsey Shannon /
 + N 26TH ST INTERSECTS
 2600 - 2604 No Current Listing (2 Hses)
 2608 Gates Kim /
 2618 STEWART'S GEM SHOP jewelers-retail / @208-342-1151
 2624 Stewart Brent J /
 Stewart Eugene D
 2627 KULCHAK & ASSOC attorneys / @208-338-1001
 MERKLE GARY CPA accountants / @208-375-4573
 PERRY LAW attorneys / @208-338-1001

W IDAHO ST Cont'd

WAHNEH LAW OFFICES PLLC attorneys / @208-629-8407
 * ZIP CODE 83702 CAR-RT C015
 2701 AUTO IMPORTS auto dirs-used cars / @208-375-4157
 2711 White Greg /
 2715 BOISE DETAIL auto detail & clean-up serv / @208-343-3025
 2719 Painter David /
 2720 ADAS furniture-mfrs / @208-362-8001
 2723 Dillon Jeff /
 + N 28TH ST INTERSECTS
 2801 Christianson Orrin /
 2803 J N J DEPUTY SALES OFFICE genl merchandise-retail / @208-336-3915
 K B ORTHOPEDICS physicians & surgeons / @208-331-5029
 2810 NAPA AUTO PARTS auto parts & suppl-retail-new / @208-342-4531
 2816 No Current Listing
 + N 29TH ST INTERSECTS
 2903 ALPICELLA BAKERY bakers-retail / @208-387-0030
 BRJ WINE CELLARS INC wines-whol / @208-377-0017
 2903 B Fisk Anthony /
 2923 TATESRENTS rental serv-stores & yards / @208-345-7368
 + N 30TH ST INTERSECTS
 BUSINESSES '61 HOUSEHOLDS 123
 S ILLINOIS AVE (BOISE)-FROM 499 W ARIZONA LN SOUTH
 + W ARIZONA LN CONTINUES
 * ZIP CODE 83706 CAR-RT C003
 2101 Babcock Larry J /
 Babcock Christy M
 2102 Russell Kenneth W & Maxine D /
 2109 Acaredo Daniel T /
 2110 Voshell Shannon L /
 2115 Echigoyen Nicole J /
 Echigoyen Merlin
 Peterson Nicole /
 2116 Signan Kevin M /
 Sigman Ashley
 2121 Austin Mark S & Kimberly A /
 2122 Torres Yvonne V & Primitiva D /
 2133 Matthews Roger W & Martha /
 2134 Thornton Brook /
 2141 Lee Roland B /
 Lee Bruce R
 2142 No Current Listing
 2149 Kent Timothy /
 Kent Tamaran N
 Mora-Franco Isidro /
 Mora-Franco Stacy H
 2150 Holly James T & Mari M /
 2155 No Current Listing
 2163 Crawford Patricia A /
 Mahurin Elvis /
 2177 Middleton Jeffrey D & Carol J /
 + W ARIZONA LN ENDS
 2189 Glover Ryan J /
 2195 Cox Kevin /
 Cox Sylvia
 Matthews Carrow /
 + W IOWA ST INTERSECTS
 2213 Griffin Tad H & Mona D /
 2215 Reed Susan /
 2216 No Current Listing
 2221 Andrew Samuel C & Teresa L /
 2222 Fencil Darryl J /
 2229 Strong Vern D /
 Strong Darrell C
 2230 Thometz Christopher J /
 Thometz Barbara
 2234 King Molly E /
 King Lisa
 2238 Billow Dan E /
 2246 Werenicz Steve J & Diana M /
 2267 No Current Listing
 2275 Jirik Annmarie J /
 2283 Wyllie Allan H & Mary M /
 2291 Kimmitt Michael G /
 2300 No Current Listing
 2301 Cureton Scott T & Jami E /
 + W MELROSE ST INTERSECTS
 HOUSEHOLDS 39

E IMMIGRANT PASS CT (BOISE)-FROM 3601 SWEETWATER DR NORTHEAST
 * IMMIGRANT PASS DR ENDS
 * ZIP CODE 83716 CAR-RT C020
 3612 Nelson Glen E & Sue /
 3613 Pereira Michael E & Pamela A /
 3644 Nelson Elizabeth F /
 Nelson Ryan
 3645 Longbottom Steven L & Jean M /
 3672 Cowan Mark J /
 3673 No Current Listing
 3689 Adams Dave L Jr /
 Adams Nicholas
 3690 Reichle David A & Megan L /
 * ZIP CODE 83716 CAR-RT C016
 3752 No Current Listing
 3757 Zhai Hailing Z /
 3765 Boersig Bill K & Karyn L /
 3766 No Current Listing
 3779 Sitzmann Daniel D /
 Sitzmann Corey M
 3780 Nelson Thomas A & Rosalee /
 3801 Eichmeyer Seth A & Jennifer /
 3808 Coleman Aaron P & Barbara J /
 3823 Staman Kathleen A & Cliff R /
 3826 Phillips Tammy J /
 Taylor Phillips-Lanev /
 3849 Luft David L & Amy E /
 3852 Smith Shannon D /
 Smith Laurie A
 3867 Rutter Paul S & Megan L /
 3874 Block Lonny W /
 3895 Wallace John A /
 Wallace Jeannette A
 3898 Miller Merlin D /
 Miller Jennifer A
 3916 Willett Michael P /
 Willett Jennifer A
 + S ADAMS WAY BEGINS
 HOUSEHOLDS 26
 IMMIGRANT PASS DR (BOISE)
 * ZIP CODE 83716 CAR-RT C020
 3402 Bruce Laurence W & Yvette R /
 3427 Laws Arthur A /
 Laws Alex A
 3450 Yocum Matthew K /
 3451 No Current Listing
 3474 Dewart Theresa R /
 3497 Hopkins Troy J /
 Hopkins Nicole S
 3498 Drury Michael C /
 3521 Winkle Arlene M /
 3522 Williams Theresa L /
 3533 Carlson Dirk T /
 3546 Parker Boyd J & Kathleen B /
 3570 Taitton Carolyn M /
 3570 Taitton Cynthia D /
 3571 Lilly Robert D /
 3594 Ryder Peter W /
 HOUSEHOLDS 17
 S IMPATIENS PL (BOISE)-FROM 3731 E LAKE FOREST DR SOUTHEAST
 * ZIP CODE 83716 CAR-RT C016
 5548 Dempsey Terrie L /
 Dempsey Bob
 5555 Williamson Bob M /
 5562 Brooks Donna M /
 5573 Becker Cameron W & Marianne L /
 5584 Laritiche Blaine C /
 Laritiche Nichole
 5587 Koehrmans Angela R /
 5590 Davis Katlin M /
 Miller Linda /
 5596 Winkle William A & Carola K /
 5599 Tuckness Aaron /
 5600 Westley Charles R /
 Westley Kellie A

NEW NEIGHBOR

E HUNTER DR Cont'd

Koger Erica D
 Sharp Erica
 1519 No Current Listing
 1524 Kane Clara S [16]208-887-0812
 1537 Goedeckling Peter J & Carolyn L [12]
208-887-5388
 1553 Widdington Frank M & Kristina M [2]
208-319-1968

+ N VALMET AVE BEGINS

BUSINESSES 1 HOUSEHOLDS 34

N HYACINTH LN (BOISE)-FROM 5599 W

TIVOLI LN SOUTH

• ZIP CODE 83703 CAR-RT C041

3549 Francis John J & Jane C [9]
208-336-9914

3557 Smith Charlotte A [2]
208-343-8440

3558 No Current Listing
208-853-0397

3573 Day Joyce L [2]
208-853-0397

3574 Albert Nancy [4]
208-853-3582

3582 Neil Scott M & Jennifer L [6]
208-853-3582

+ N LAKEHARBOR LN INTERSECTS

HOUSEHOLDS 8

N HYDE AVE (MERIDIAN)-FROM 2901 W

BONNER ST NORTH

• ZIP CODE 83646 CAR-RT R018

2286 Neston Rob R & Kelly R [9]
208-888-6585

2311 Quick Kenneth S & Karl A [13]
208-898-9315

2316 Ingersoll Mark D & Wendy U [10]
208-898-9315

2342 No Current Listing
208-898-9315

+ W KENDRICK ST ENDS

HOUSEHOLDS 4

N IBERIS AVE (MERIDIAN)-FROM 255 E

SPINOSA DR NORTH

• ZIP CODE 83646 CAR-RT C013

1865 Sohaan M [10]208-846-9123

Sohaun Irene M208-846-9123

1888 House Rowene E [2]
208-888-2821

1894 Parks John G Jr & Zelma M [2]
208-893-5080

1900 Gardner Betty L [10]
208-288-2338

1903 - 1910 No Current Listing (2 Hses)
208-887-9822

1936 Morrison Lucille A [11]
208-887-9822

+ E CARMEL DR INTERSECTS

HOUSEHOLDS 7

E IDAHO ST (BOISE)-FROM 199 N 1ST ST

SOUTHEAST

• ZIP CODE 83712 CAR-RT C003

100 Beck Thomas [2]
208-381-2711

CAMILO NICOLAS MD physicians &
 surgeons208-381-2782

ERLANDSON LINDA LEE nurses-
 practitioners208-381-2711

GENETIC COUNSELING CLINIC
 clinics208-381-2734

KUHN TONYA MD physicians &
 surgeons208-381-2711

LAW LISA MD physicians & surgeons
208-381-2711

MEDICAL ONCOLOGY nurses-
 practitioners208-381-2711

MOUNTAIN STATES ONCOLOGY
 GROUP physicians & surgeons
208-381-2711

MOUNTAIN STATES TUMOR INST
 nurses- practitioners208-381-2782

SMITH STEPHEN C MD physicians &
 surgeons208-381-2711

ST LUKES MOUNTAIN STATES
 TUMOR physicians & surgeons
208-381-2711

STINNETT JASON MD physicians &
 surgeons208-381-2711

SWERDLOFF JONATHAN N MD
 physicians & surgeons208-381-2711

+ W IDAHO ST BEGINS

WALTERS THEODORE A MD

physicians & surgeons208-381-2711

200 ALEXANDER DIANA MD
 physicians & surgeons208-381-7384

200 CHILDRENS SPECIALTY CTR
 clinics208-381-7000

200 IDAHO PEDIATRIC
 GASTROENTEROLOGY physicians &
 surgeons208-381-7310

200 MYELO & CYSTIC FIBROSIS
 CLINIC physicians & surgeons
208-381-7092

200 ST LUKE'S PEDIATRIC
 ENDORNOLOGY physicians &
 surgeons208-381-7340

E IDAHO ST Cont'd

200 ST LUKES DEVELOPMENTAL
 PEDTRCS physicians & surgeons
208-381-7312

201 BETTIS DAVID B [7]
208-381-7312

201 PEDIATRIC NEUROLOGY OF
 IDAHO physicians & surgeons
208-344-2525

202 CHERNY W BRUCE MD
 physicians & surgeons208-381-7360

203 RAND THOMAS H MD
 physicians & surgeons208-381-7330

204 PEDIATRIC CARDIOLOGY
 physicians & surgeons208-381-7350

301 KRAMER JONATHAN MD
 physicians & surgeons208-344-4900

301 SORENSON DEAN E MD
 physicians & surgeons208-343-7501

302 OB-GYN CENTER physicians &
 surgeons208-343-7501

302 TRACY JILL ANN nurses-
 practitioners208-343-7501

303 GRIFFITHS RUSSELL H MD
 physicians & surgeons208-433-1736

304 Walker Eloisa S [3]
208-345-5250

316 SMITH CASS R MD physicians &
 surgeons208-345-5250

400 Archibald Robert B [2]
208-345-5250

400 BENDORF CHASAN HEIDI MD
 physicians & surgeons208-345-5250

400 CHASEN HEIDI B MD
 physicians & surgeons208-345-5250

400 JAVBERNICK-HOD NECOLE A
 MD physicians & surgeons208-345-5250

100 400 Schiere Anthony
208-367-2871

400 Werdel John M
208-367-2871

400 WOMAN'S CLINIC physicians &
 surgeons208-345-5250

401 Klomp G Robt W [9]
208-345-5250

401 PRIMARY HEALTH
 OBSTETRICS physicians &
 surgeons208-385-9330

107 HOUSE OF FLOWERS florists-retail
208-344-3591

Rankin Ronald E [10]
208-367-2871

125 GRANWEHR BRUNO P MD
 physicians & surgeons208-367-2871

Lundquist Lynn [2]
208-367-2871

RIGGS RODNEY D physicians
 assistants208-367-2871

TREASURE VALLEY LABS INC
 laboratories208-331-2418

101 NEUROSCIENCE
 ASSOCIATES physicians &
 surgeons208-381-4863

102 NAEVE MICHAEL P MD
 physicians & surgeons208-343-2555

104 MOUNTAIN STATES HAND
 CLINIC physicians & surgeons
208-343-2555

104 Watkins Troy B Jr [2]
208-343-2555

203 BLUE SKY R MD physicians &
 surgeons208-338-0148

203 COFFMAN THOMAS MD
 physicians & surgeons208-338-0148

203 KORNFIELD LEE M MD
 physicians & surgeons208-342-4634

303 UROLOGY ASSOCIATES
 physicians & surgeons208-344-5757

303 Walker Donald E [3]
208-344-5757

+ AVENUE B INTERSECTS

+ BROADWAY AVE INTERSECTS

+ WARM SPRINGS AVE INTERSECTS

BUSINESSES 45 HOUSEHOLDS 11

W IDAHO ST (BOISE)-FROM 199 N 1ST ST

NORTHWEST

• ZIP CODE 83702 CAR-RT C028

103 FINCH & ASSOC attorneys
208-385-0800

Guyton Jim [4]208-336-8801

A ROBINSON JUSTIN DDS dentists
208-336-8801

A TERRY REILLY HEALTH SVC
 dentists208-433-9068

109 Bigley B [4]208-433-9068

IDAHO HERITAGE INN B & B bed &
 breakfast accommodations208-342-8066

137 Stadler Robert M [10]
208-336-6867

141 No Current Listing
208-376-8368

145 Auld James M & Lorna B [2]
208-376-8368

2 Valandani Monica
208-376-8368

W IDAHO ST Cont'd

5 Scholten Debi L
 10 Condel Jonathan E [9]
208-343-0737

+ 2ND ST ENDS

+ 3RD ST INTERSECTS

• ZIP CODE 83702 CAR-RT C006

301 Mendieta Pedro [4]
208-343-0737

302 BEER & CAIN attorneys
208-336-2323

Cain Dennis L [10]208-336-2323

NONA JEFFREY E attorneys
208-331-1633

305 COLE JERRY K DDS dentists
208-343-7271

310 EPILEPSY FOUNDATION OF
 IDAHO non-profit org208-344-4340

311 HORIZON HEALTH PRACTICE
 physicians & surgeons208-846-8616

Shaw Audra
208-343-7271

312 CATHERINE B SCOTT
 RESIDENTIAL home design &
 planning serv208-345-9789

ROGER FOSTER LLC ARCHITECT
 architects208-336-0159

325 ST LUKE'S HOME CARE home
 health serv208-381-2721

338 Murphy Larry D [13]208-455-2673

401 McKee Kevin R [10]
208-455-2673

408 KRALL MARKETING COMMS INC
 marketing consultants208-344-1278

Lords Jessica [3]208-459-0860

413 200 Moulton Barbara [2]
208-343-8877

200 THOMAS DEVELOPMENT CO
 real estate developers208-343-8877

301 CONSOLIDATED MORTGAGE
 INC real estate loans208-331-0038

301 Jorgensen Sarah [3]
208-338-9400

302 CENTRA CONSULTING INC
 business mgmt consultants208-338-9400

419 Garcia M [6]208-454-8911

436 Elsworth Georgia [2]208-455-9139

+ 5TH ST INTERSECTS

• ZIP CODE 83702 CAR-RT C021

500 ALLIANCE FOR LEADERSHIP
 training programs & serv208-331-2763

BRAIN INJURY ASSN OF IDAHO
 associations208-342-0999

CENTER FOR EMERGING
 FUTURES foundation208-426-0077

CONSTRUCTION RESOURCES
 INC construction companies208-343-3210

FLYING M COFFEEHOUSE coffee &
 tea208-345-4320

HERITAGE LUMBER INC lumber-
 whol208-331-3536

Myers Lisa
208-429-1194

204 DWELL DESIGN GROUP LLC
 building designers208-429-1946

245 DONESLEY SARA K marriage &
 family counselors208-860-2326

245 MARTI VICKI marriage & family
 counselors208-343-9323

265 HOLLY OLIVIA M marriage &
 family counselors208-343-7077

507 GIBSON FUNERAL HOME funeral
 directors208-342-8221

Hasmussen Hyan
208-342-8221

512 COMMERCIAL NORTHWEST real
 estate mgmt208-344-0288

CRG real estate investments
208-342-0305

DATA TECHNOLOGIES GROUP
 computer software208-343-1255

VALPAK advertising- direct mail
208-331-5011

WSI website design serv
208-841-5257

515 DAVIES-REID ORIENTAL RUGS
 carpet & rug dlrs- new208-384-0514

Ronfeld Daniel
208-342-2535

588 BRAND ENTERTAINMENT
 entertainment bureaus208-342-2535

CLOSED LOOP MARKETING &
 ADVG advertising208-342-2535

+ 6TH ST INTERSECTS

601 BOISE HUMAN RESOURCES DEPT
 government offices208-344-3850

602 FLOATING FEATHER EXPRESS
 DAY manicuring208-424-5153

TURN KEY PROPERTY
 MANAGEMENT real estate mgmt
208-424-9700

610 McMillan Jay C
 OLD SPAGETTI FACTORY
 restaurants208-336-2900

622 Eisenhower David R
208-424-2340

W IDAHO ST Cont'd

RALEN CONSTRUCTION genl
 contractors208-424-0167

624 STARBUCKS coffee shops
208-345-4437

647 BOISE CITY PRINT SHOP
 government offices208-384-3745

702 AMERICAN MANAGEMENT SVC
 real estate mgmt208-344-4195

BOARD DWIGHT V attorneys
208-383-6700

COFFMAN JENNIFER D attorneys
208-383-6700

COMMON GROUND
 CONCILIATION arbitration serv
208-342-1810

G SQUARE MANAGEMENT LLC
 real estate mgmt208-344-1104

GOLDEN INSURANCE ADVISORS
 insurance208-639-0745

Hodges William R [7]
208-364-8510

KEY BANK banks208-383-6700

MC DONAGH MICHAEL J attorneys
208-383-6700

POTTER SHAWN W attorneys
208-383-6700

STRUCTURED COMMUNICATION
 SYSTS communications208-472-8842

WESTERN REALTY ADVISORS real
 estate developers208-338-5156

100 VOLT TECHNICAL
 RESOURCES LLC business mgmt
 consultants208-472-8830

320 RESOURCES GLOBAL
 PROFESSIONALS employment
 contractors208-429-3800

700 HALL FARLEY OBERRECHT
 BLANTON attorneys208-395-8500

1000 HSC REAL ESTATE real estate
208-343-6700

1000 IDAHO STATE PHARMACY
 ASSN drug millers208-947-7272

1000 MC CURDY WILLIAM attorneys
208-947-7250

1000 PROFESSIONAL CAREER
 SOLUTIONS career & vocational
 counseling208-472-8840

1000 PROFESSIONAL OFFICE
 SUITES executive suites208-947-5895

1000 PROFITSCORE CAPITAL
 MANAGEMENT fuel mgmt
208-472-8849

1000 SHINKO ELECTRIC AMERICA
 electric contractors208-333-7010

1100 LOPEZ & KELLY attorneys
208-342-4300

W IDAHO ST - W INDIAN ROCKS ST

170

▲ HOMEOWNER

W IDAHO ST Cont'd

220 HIT & RUN process servers
.....208-342-3463
240 IDAHO MAGAZINE publishers-
magazine208-336-0653
+ N 16TH ST INTERSECTS
+ N 17TH ST INTERSECTS
1700 @ Serna Leva
1706 Brown Kevin [2]208-362-7908
C @ Rivera Tiffany A
1710 No Current Listing
1712 @ Middleton Bryan L
1718 No Current Listing
1722 Rencher Brian P [3]208-343-7253
+ N 18TH ST INTERSECTS
1804 Ochristensen Carey A [4]▲
Ochristensen Aireus O
1805 - 1807 No Current Listing (2 Hses)
1808 Sorensen Peter & Kimberly N [2]▲
1811 @ Whitehead Terry▲
1812 Jackson Trent R [2]208-429-1392
1815 No Current Listing
1817 Weightman Ursula [2]
1818 - 1821 No Current Listing (4 Hses)
1822 @ Johnston Heather A
1824 No Current Listing
+ N 19TH ST INTERSECTS
+ N 19TH ST INTERSECTS
• ZIP CODE 83702 CAR-RT C017
1903 No Current Listing
1904 @ Denton Brett
1905 Gibson Brian L [3]▲
1906 Coy Kenneth W [3]▲208-342-0438
1907 @ Johnston Michael J
1909 - 1912 No Current Listing (4 Hses)
1913 @ Goodman Scott J
Goodman David
1914 Smith Travis C & Brenda L [3]▲
1915 1/2 Northrup Jacqueline D [2]
1917 Carrie Patrick [2]
+ N 22ND ST INTERSECTS
2202 No Current Listing
2203 102 @ Gibeault Brian L
103 @ Almeida Maribel
104 @ Ferrer Ana V
2209 @ Footman Steven A
2211 @ Layno Heather R
2214 @ Heim Brian M▲
2215 - 2216 No Current Listing (2 Hses)
2218 @ Hicks Lindsey N
2219 No Current Listing
+ N 23RD ST INTERSECTS
2311 @ Connaughton Duston F▲
2315 - 2319 No Current Listing (3 Hses)
2321 Lester Dana [2]
2323 No Current Listing
+ N 24TH ST ENDS
2400 Jones Tad A & Karma [10]▲
.....208-363-9563
2401 @ Nelson Samuel D▲
@ Padron Maribel R
2405 No Current Listing
2406 Hartmans Donna M [13]
.....208-344-7186
2410 Erwin Kristina K [7]▲
2411 Mendiola Rose A [2]▲
.....208-343-8072
2412 Smith Thomas W [23]▲
Smith Janet E208-384-0263
2415 1/2 @ Scott Danielle M
2416 @ Beineke Steven B▲
2418 No Current Listing
2419 Colson Christopher G & Karen E [7]
.....208-319-0778
2421 @ Miller Justine
@ Oneil Timothy M▲
2424 Elsethagen Robert O Jr & Tana M
[1]▲208-343-8530
+ N 25TH ST INTERSECTS
2501 Knudson Brent R [10]
.....208-385-9602
2502 Gunn Cheryl D & George N [13]▲
.....208-336-2403
WALTZING WITH BEARS INC genl
merchandise- retail208-336-2403
2504 No Current Listing
2505 Guenther Joseph R [5]▲
2510 - 2511 No Current Listing (2 Hses)
2512 @ Temple Joseph J▲
2513 Stuart Erin H [12]
2515 No Current Listing
2516 @ Qualls Timothy▲
2517 Barber Jessica L [8]
@ Borja Sandra A▲
2519 Barrett Lori A [6]
@ Cogswell Brent W
2520 Carroll Brian W & Tracy J [8]
2523 Hamblin Jenny [5]▲
+ N 26TH ST INTERSECTS
2600 Anderson Jeffrey D [5]
2604 Bernard Michael S [10]▲
Bernard Palina
2608 No Current Listing
2618 STEWART'S GEM SHOP jewelers-
retail208-342-1151

W IDAHO ST Cont'd

2624 Stewart Brent J [13]▲
Stewart Eugene
2627 KULCHAK & ASSOC attorneys
.....208-338-1001
MERKLE GARY CPA accountants
.....208-375-4573
PERRY LAW PC attorneys
.....208-338-1001
2700 TREASURE WOOD FURNITURE
furniture-dlrs- retail208-342-6480
2711 Renbarger Dale R [3]
2715 BOISE DETAIL auto detail & clean-
up serv208-343-3025
2719 FOOTHILL MOTORS & OFFROAD
four wheel drive- rpr & serv
.....208-342-2468
Ryals Stanton [9]
2720 ADAS furniture-mfrs208-362-8001
2723 Dillen Jeff [1]208-424-0271
+ N 28TH ST INTERSECTS
2800 GREGG'S AUTOHAUS auto rpr &
serv208-342-4450
2801 TRANSMISSION PARTS INC
transmissions-auto208-424-7780
2803 ANDY'S SUPPLY INC tube fittings
.....208-344-3568
2809 Anderson Lewis E [24]
.....208-344-9014
2810 GENERAL AUTO PARTS NAPA
auto parts & suppl- retail-new
.....208-342-4531
Workland Paul E [6]
2816 No Current Listing
+ N 29TH ST INTERSECTS
2903 BRJ WINE CELLARS INC wines-
whol208-377-0017
2923 TATES RENTS rental serv- stores
& yards208-345-7368
+ N 30TH ST INTERSECTS
BUSINESSES 144 HOUSEHOLDS 125
ILLINOIS AVE (BOISE)-FROM 499 W IOWA ST
SOUTH
+ W ARIZONA LN CONTINUES
• ZIP CODE 83706 CAR-RT C018
2101 Babcock Larry J [3]▲
.....208-344-9871
2102 Russell Kenneth W & Dora M [23]▲
.....208-343-2550
2109 No Current Listing
2110 Koenig Brian L [5]▲
.....208-368-0940
2115 @ Ianore Jacqui
2116 Murray Aletha K [1]▲
.....208-424-0162
2121 Austin Mark S & Kimberly A [10]▲
.....208-368-0762
2122 Torres Vicente V [17]▲
.....208-342-1340
Torres Vincent D208-342-1340
2133 No Current Listing
2134 @ Norskog Toby J▲
@ Thornton Brook
2141 Lee Roland B [13]▲
Lee Bruce R
2142 @ Miles Jeremy C▲
Rossetti Lisa R [2]▲
2149 Clifton Terry [2]208-333-8215
Clifton Iamaran208-333-8215
2150 Holly James T [3]▲
Holly Mar
2155 @ Marler Catherine M
Marler Kelly J
2163 @ Crawford Patricia A▲
+ W ARIZONA LN ENDS
+ W ARIZONA LN CONTINUES
2177 Bourgault Michael J [2]
2189 Glover Ryan [9]▲
2195 @ Meyer Dennis F▲
+ W IOWA ST INTERSECTS
2213 Griffin Tad H & Mona D [32]▲
.....208-344-3661
2215 Barkes Dallas G [10]▲
2216 Blessing Michael B & Karla K [19]▲
.....208-343-9375
2221 Andrew Samuel C [19]▲
.....208-345-2915
2222 Fendl Darryl L [23]▲
.....208-336-0921
2229 Strong Vern D [29]▲
Strong Darrell C
2230 Thometz Barbara [2]▲
Thometz Christopher J
2234 King Molly E [17]▲208-336-4971
King Lisa208-336-4971
2238 Billow Daniel E [10]▲
.....208-424-9780
2246 Werenicz Steve J & Diana M [6]▲
2267 Martin Michael J [3]▲
Martin Erin L
2275 No Current Listing
2283 Wyllie Allan H & Mary M [13]▲
2291 - 2300 No Current Listing (2 Hses)
2301 Cureton Scott T & Jami E [5]▲
.....208-433-0962

ILLINOIS AVE Cont'd

+ W MELROSE ST INTERSECTS
HOUSEHOLDS 37
E IMMIGRANT PASS CT (BOISE)
+ IMMIGRANT PASS DR ENDS
+ SWEETWATER DR CONTINUES
• ZIP CODE 83716 CAR-RT C020
3612 Nelson Glen E & Janny S [15]▲
.....208-343-1501
3613 Pereira Michael E & Pamela A [11]▲
3644 Nelson Oscar O [15]▲
.....208-343-7079
3645 Longbottom Steven L & Jean M [12]
.....208-384-5444
3672 Cowan Mark J [1]▲
.....208-342-2297
3689 Adams Dave L Jr [13]▲
Adams Nicholas
3690 Reichle David A & Megan L [13]▲
.....208-345-7014
+ S ADONIS PL CONTINUES
• ZIP CODE 83716 CAR-RT C016
3757 Zhai Betty [2]▲
Zhai Huijing Z
3765 Boersig Bill K [6]▲208-344-1951
Boersig Karyn L208-344-1951
3766 No Current Listing
3779 Sitzmann Daniel D [3]▲
.....208-385-7391
Sitzmann Corey208-385-7391
3780 Nelson Thomas A & Rosalee [12]▲
.....208-345-2938
3801 Eichmeyer Seth A [6]▲
Eichmeyer Jennifer
3808 Coleman Aaron P & Barbara J [7]▲
.....208-342-2284
3823 Starman Cliff [2]▲
Starman Kathleen A
3826 Phillips Tammy J [7]▲
.....208-336-6524
3849 Luft David L & Amy E [5]▲
.....208-367-0890
3852 Smith Shannon D [5]▲
Smith Laurie A
3867 Rutter Paul S & Megan L [9]▲
.....208-424-8264
3874 Block Lonny W [5]▲
.....208-342-5983
3895 Wallace John A [6]▲
.....208-345-2296
Wallace Jeannette208-345-2296
3898 Miller Kent & Jennifer A [6]▲
.....208-343-9935
3916 No Current Listing
HOUSEHOLDS 24
IMMIGRANT PASS DR (BOISE)
• ZIP CODE 83716 CAR-RT C020
3402 No Current Listing
3427 Laws Alex A [2]▲
Laws Arthur A
3450 @ Butler Richard▲
3451 No Current Listing
3474 Dewalt Theresa [2]▲
3497 Hopkins Troy J [3]▲
Hopkins Nicole S
3498 Ashworth Cheryl R [3]▲
@ Unrich Cheryl
3521 Winkle Dustin D [6]▲
3522 Williams Theresa L & Jeff D [19]▲
.....208-343-1803
3533 Cox Larry N [14]▲
Cox Ramona
3546 Parker Boyd J & Kathleen B [19]▲
.....208-338-1641
3547 Tisdale Gay D [21]▲
.....208-342-4184
3559 Baldino Carolyn M [7]▲
3570 Tilton Cynthia D [10]▲
.....208-384-0804
3571 Lilly Robert D [7]▲208-362-2371
Lilly Joan F208-362-2371
3594 Ryder Peter W & Mary E [20]▲
.....208-345-7437
HOUSEHOLDS 17
S IMPATIENS PL (BOISE)-FROM 3313 E LAKE
FOREST DR SOUTHEAST
• ZIP CODE 83716 CAR-RT C016
5548 Dempsey Dallas D & Terrie L [2]▲
5555 No Current Listing
5562 Brooks Donna M [9]▲
5573 Becker Cameron W & Marianne L
[16]▲
5584 @ Larichie Blaine▲
5587 No Current Listing
5590 Bruck Gary L [12]▲208-343-9926
5596 @ Winkle William A & Carola K [13]▲
.....208-629-0192
5599 Norton Kathryn C [12]▲
5600 @ Dew Sharon208-639-0221
5628 Chambers Bruce A [13]▲
5631 Turrillin Bernard & Jennifer [11]▲
.....208-363-9113
5635 No Current Listing
5637 Saric Dragan & Klaujdia [10]▲
.....208-342-2017

S IMPATIENS PL Cont'd

5639 Laragan Joe K Sr & Tammy M [13]▲
HOUSEHOLDS 15
IMPERIAL LN (BOISE)-FROM 7499 CARRIAGE
LN NORTH
• ZIP CODE 83704 CAR-RT C084
1103 @ Bright Ryan208-322-5782
1104 @ Politano Marie E
1110 - 1111 No Current Listing (2 Hses)
1120 Kagan Lillian N [19]▲
.....208-377-5245
1121 Vulcano Jacque L [15]▲
1130 Ritter James G [12]▲
.....208-375-5761
1133 Dechambeau Gale P [30]▲
.....208-377-1288
1140 Egbert Donald D & Joann [7]▲
.....208-386-9607
1145 @ Bishop Mike T▲208-377-0773
HOUSEHOLDS 10
IMPERIAL WAY (BOISE)-FROM 7499 PREECE
DR
• ZIP CODE 83704 CAR-RT C082
811 Smart Morris R [19]208-376-6954
Smart Violet M208-376-6954
902 @ Farley H E
903 Isla George J & Christy S [19]▲
.....208-376-4227
904 Yaden Beth [2]208-375-6446
908 Hall Douglas E & Katherine A [21]▲
.....208-377-0433
909 Farnsworth Ronald M & Jana L [11]
.....208-321-8150
914 Hartmann Jessica [3]▲
Hartmann Gary R
915 Stoddard David M [10]▲
.....208-322-2741
Stoddard Florentina R
.....208-322-2741
917 @ Hartmann Jessica
920 @ Ekins Russell J & Paula M
923 Tomlinson John M & Bettie M [14]▲
HOUSEHOLDS 11
INCLINE WAY (MERIDIAN)-FROM 1899 N
INTERLACHEN WAY NORTHEAST
+ N WHITE JAK WAY CONTINUES
+ W WHITE ASH DR INTERSECTS
• ZIP CODE 83646 CAR-RT C008
1780 Adams K M [2]▲
Adams Michele T
+ N INTERLACHEN WAY INTERSECTS
1812 Heaton Jeri L & David A [17]▲
.....208-884-1976
1815 Farmer William A [18]▲
Farmer Ruth K208-887-0963
1816 Roubicek Betty D [18]▲
.....208-888-2067
1820 Natti Thomas A & Ann T [19]▲
.....208-887-2014
1829 Ruberry Rodney H & Clarice [23]▲
.....208-888-9638
1830 Crosby Harold D & Leann L [13]▲
.....208-884-3721
1850 Muhoberac John R & Bea R [3]▲
.....208-855-2351
1869 @ Smith Robyn L
1870 No Current Listing
1890 @ Zahn Heidi J▲208-895-0488
1911 Roncace Dennis R & Pamela K [23]
.....208-888-3184
1920 Link Nancy F & Thomas R [19]▲
.....208-884-3332
1921 Morford Melvin E [17]▲
.....208-888-3586
Morford Carmel L208-888-3586
1930 Nutt Ellen G [29]▲
1950 Gasaway Donald G & Ellen A [27]▲
.....208-888-9644
1951 Justice Patricia N [28]▲
1960 Headrick John R [28]▲
.....208-888-4232
1970 No Current Listing
1980 Corrie Robert D & Jeraldine A [26]▲
.....208-888-4304
1981 Nikolov Roswita B [11]▲
Nikolov Rose B
+ TURNBERRY WAY INTERSECTS
HOUSEHOLDS 21
INDEPENDENCE DR (BOISE)-FROM 3401
VERANDA WAY EAST
+ WEATHERED AVE CONTINUES
• ZIP CODE 83706 CAR-RT C001
2034 Lowe Ritchie A [5]▲
.....208-429-0684
2056 - 2078 No Current Listing (2 Hses)
2100 Strain Thomas N & Sherry M [13]▲
.....208-433-8286
2101 Stensaas Donald K & Jo J [19]▲
.....208-344-1952
+ VERANDA WAY BEGINS
2122 Atkinson Scott K [19]▲
.....208-342-7881
2144 @ Bourquin Dane L▲

INDEPENDENCE DR Cont'd

Bourquin Jeanne D
2145 Erb Patricia J [9]▲208-345-0400
2166 Whitehead Craig D [11]▲
Whitehead Clint J
2167 Hineman Max F [2]▲
.....208-344-2645
2188 Klimback William D & Sharon L [11]
.....208-387-1828
2189 Butterfield Ivan M & Margaret A [17]
.....208-342-3737
2210 Broughton Gary E [19]▲
2211 Merriman William M [15]▲
2232 Luvaas Dennis L & Kathryn J [24]▲
.....208-345-1272
2233 Christensen Donna J [26]▲
.....208-336-4413
Christensen Dj208-336-4413
2254 Sabino Robert E & Sally C [10]▲
Witt Sally208-853-0687
2255 Mann Terrence L & Laura J [15]▲
.....208-387-0638
2276 Walton Erich C & Cindy D [12]▲
.....208-424-3086
2277 Revino Richelle A [5]▲
Revino Gerald C208-331-0162
2298 Wing Amy K [11]▲208-422-0394
2299 Bauer Martin & Barbara E [13]▲
.....208-331-3663
2320 Prange Richard H & Carrie M [27]▲
.....208-336-9167
2321 Bendio Ruric E & Jan M [27]▲
.....208-344-9091
2342 Dunlap Steven C & Penny L [17]▲
.....208-336-0297
2364 Hadley James R & Pamela A [18]▲
Milan Joseph D▲
Milan Liesl
+ VINTAGE WAY INTERSECTS
HOUSEHOLDS 28
INDEPENDENCE ST (BOISE)-FROM 3501
CENTENNIAL WAY EAST
+ S MINUTEMAN WAY INTERSECTS
• ZIP CODE 83706 CAR-RT C002
1328 Carothers Todd M [5]▲
1337 Kruger Spencer C & Karellyn M [6]▲
.....208-331-1490
1344 No Current Listing
1365 Reynolds Flora [3]▲
.....208-429-1829
1366 Newton Donald E & Jill P [28]▲
.....208-384-0916
1388 Osgood Tracy A [9]▲
.....208-345-9389
+ S NARBURIDGE WAY INTERSECTS
1410 Logan Jason S [2]▲
1432 Ridenour Ronald L & Camille E [31]
.....208-336-5619
1441 Fackler Lynn E [31]▲
.....208-336-6680
Goeden Alex▲
1450 No Current Listing
1467 Bengoechea Maria A [14]▲
1470 - 1485 No Current Listing (2 Hses)
+ S TICONDEROGA WAY INTERSECTS
1508 Skogerson Lloyd E & Bonnie J [31]
.....208-343-6040
1542 Barnes Mark O & Diana L [32]▲
1566 Farrar Matthew M & Vicki E [17]▲
.....208-344-8724
1569 Dzuck Robert D & Kathy K [29]▲
.....208-345-1496
1580 Reynolds Jim W & Cheryl L [13]▲
.....208-303-0368
+ LAW AVE INTERSECTS
HOUSEHOLDS 19
W INDIAN ROCKS ST (MERIDIAN)-FROM 2673
N VALLIN AVE WEST
+ N MERIDIAN DR CONTINUES
• ZIP CODE 83646 CAR-RT R022
13 No Current Listing
18 @ Deleon Reina
31 @ Bolton William T▲
Bolton Karen L
36 No Current Listing
59 @ Brooks Becky M▲
64 Ash-Yocham Summer [3]▲
97 No Current Listing
102 Ricciotti John C & Joann [3]▲
.....208-855-2194
114 @ Winslow William A & Maureen B▲
133 Ruyle Patricia A [2]▲
.....208-855-2476
140 No Current Listing
167 @ Skenandore Peter J▲
Skenandore Christine M
.....208-888-6850
178 @ Videen Steven A & Elizabeth A▲
.....208-887-1920
191 No Current Listing
198 Whitlack Gene S [9]▲
.....208-884-5633

W IDAHO ST - ILLINOIS AVE

158

HOMEOWNER

W IDAHO ST Cont'd

301 Mendietta Pedro [2]208-343-0737
 Mendietta Richard208-343-0737
 302 BEER & CAIN attorneys208-336-2323
 Cain Dennis L [1]208-336-2323
 JEFFERY NONA E attorneys208-331-1633
 305 Cole Jerry K [1]208-343-7271
 COLE JERRY K DDS dentists208-343-7271
 Lundy John C [2]208-343-7271
 310 EPILEPSY FOUNDATION OF IDAHO non-
 profit org208-344-4340
 312 JEWELL C THOMAS MD physicians &
 surgeons208-336-3062
 325 BIRTH & PARENTING-SAINT LUKE'S
 nonclassified establishments208-381-1510
 ST LUKE'S HOSPICE hospices208-381-2721
 338 Murphey Larry D [2]208-455-2673
 + N 4TH ST INTERSECTS
 401 KEVIN MCKEE ARCHITECTURE architects
208-342-3300
 OCCUPANCY 66 graphic designers
208-386-9081
 407 Pannell Angela [2]208-455-9113
 408 Fréchette Ray [2]208-385-9876
 KOWALLIS & MACKAY real estate
208-385-9876
 Kowallis Doug [2]208-385-9876
 POWERHOUSE EVENTS CTR caterers
208-433-0197
 413 Joslin Denise L [2]208-336-4953
 200 Mannschreck Thomas C [2]208-343-8877
 200 Mannschreck Armen C208-343-8877
 200 THOMAS DEVELOPMENT CO real estate
 developers208-343-8877
 201 JAA INC marketing programs & serv
208-389-1084
 300 STRATTON & ASSOC accountants
208-336-4953
 419 Garcia M [2]208-454-8911
 420 J E SUTTON & ASSOC attorneys
208-336-4444
 + N 5TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C021
 500 CONSTRUCTION RESOURCES INC
 construction companies208-343-3210
 CONTACT ADVERTISING advertising
208-345-9091
 FLYING M COFFEEHOUSE coffee & tea
208-345-4320
 GEYER INVESTMENT CO real estate- rental
 serv208-345-3335
 HARTFORD LIFE insurance208-336-6832
 LIZARDPICKLE MEDIA multimedia
208-331-2777
 M HOMES LLC home builders208-344-4040
 MARTI VICKI marriage & family counselors
208-343-9323
 NORTHWEST NETWORK SVC serv
208-323-6035
 SERENITY WOMEN'S TRANSITIONAL
 homeless shelters208-424-1323
 204 DWELL DESIGN GROUP architectural
 designers208-429-1946
 240 ASIN HOMES genl contractors
208-343-6699
 265 BENEFITS CONSULTANTS INC business
 mgmt consultants208-345-3914
 507 GIBSON FUNERAL HOME funeral directors
208-342-8221
 512 VAL-PAK advertising- direct mail208-331-5011
 WRC ADVERTISING advertising
208-342-2525
 515 DAVIES-REID ORIENTAL RUGS carpet & rug
 dir- new208-384-0514
 524 W Gay Tammy
 + N 6TH ST INTERSECTS
 601 BOISE HUMAN RESOURCES DEPT
 government offices208-384-3850
 602 AKERS CAPITAL investments208-345-3456
 IDAHO PROSECUTING ATTORNEYS
 associations208-364-2140
 610 CAPOTI LITHOGRAPH & PRINTING
 commercial printing208-344-3507
 620 LOUIE'S PIZZA & ITALIAN RSTRNT
 restaurants208-344-5200
 622 MANHATTAN GRILL restaurants
208-331-1131
 624 STARBUCKS COFFEE CO coffee & tea
208-345-4437
 + N CAPITOL BLVD BEGINS
 702 DINGEL M ALLYN attorneys208-331-9737
 EQUITY OFFICE PROPERTIES TRUST real
 estate mgmt208-345-7018
 HOWARD LOPEZ & KELLY attorneys
208-342-4300
 Ipsen Loren C [2]208-343-5454
 KEY BANK banks208-364-8500
 MC DONALD INVESTMENTS investment
 securities208-364-8730
 WESTERN REALTY ADVISORS real estate
 developers208-338-5156
 10 ELAM & BURKE PA LAW LIBRARY special
 interest libraries
 207 Dennis Cynthia L [2]208-343-5454
 207 Dennis Gregory E
 320 RESOURCES CONNECTION
 employment contractors208-429-3800
 325 REPUBLIC NORTHWEST PKING INC
 parking stations & garages208-338-1074
 360 PEREGRINE CAPITAL MGMT INC
 investment securities208-342-3229

W IDAHO ST Cont'd

810 BURROUGHS & HUTCHINSON INC
 financial advisory serv208-343-7556
 1100 NIELSEN DAVID V attorneys
208-338-5525
 712 Davis Dianne [2]208-331-3066
 Davis Terry D
 VILLANO'S SPECIALTY MARKET restaurants
208-331-3066
 718 ROSE ROOM amusement & recreation
208-381-0483
 720 PUBLICIS DIAGLOG advertising208-395-8300
 730 OLD CHICAGO restaurants208-363-0037
 735 C C PHOTOGRAPHY & DIGITAL DSGN
 photographers- portrait208-433-0077
 745 SCANDIA DOWN SHOPS linens-retail
208-344-5585
 750 THAI CUISINE restaurants208-333-8400
 755 DOWNTOWN PARKING SYSTEM
 parking stations & garages208-368-7944
 765 BOISE FLORAL CO florists-retail
208-345-6011
 780 Pearson Karen J [2]208-426-8333
 785 DOWNTOWN CANDLE CO gift shops
208-426-8333
 + N 8TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C023
 800 Foster Byron V [2]208-388-0864
 10 A E JULIAN VINTAGE ROSE GLLRY
 nonclassified establishments208-388-0864
 100 GRAPE ESCAPE WINE BAR wines-retail
208-368-0200
 104 LIFE'S LITTLE TREASURES INC gift
 shops208-345-2828
 108 ESSE BABY childrens & infants wear
208-331-2255
 112 GRAND GOURMET schools-cooking
208-331-3500
 114 SOHO CAFFE DOWNTOWN coffee & tea
208-344-3121
 308 SOURCE ONE computer & equip dirs
208-381-0679
 803 KOFFEE X PRESS coffee & tea208-331-1666
 805 CAPITAL CITY DEVELOPMENT real estate
 developers208-384-4264
 SECURUS INC financial planning consultants
208-363-0330
 300 COLDWELL BANKER-CAPITOL CMRLC
 real estate investments208-344-7171
 302 RETAIL WEST PROPERTIES real estate
 developers208-331-0110
 305 M A MORTONSON CO genl contractors
208-342-6641
 807 MIDGE WOODS SALES AGENCY giftware-
 whol208-322-9455
 814 BEA'S BUSINESS PRODUCTS & GIFT office
 suppl208-345-2403
 817 CRICKET CLOTHING CO women's apparel-
 retail208-336-4343
 818 R GREY JEWELRY GALLERY jewelers-retail
208-385-9337
 821 APRIL'S DRAWERS women's apparel-
 retail208-343-3672
 824 EXPRESSIONS CUSTOM FURNITURE
 furniture-dirs-retail208-385-7940
 828 CHEERS invitations & announcements
208-342-1805
 840 ANDY'S DELI sandwiches208-336-5186
 + N 9TH ST INTERSECTS
 910 LAVENDER gift shops208-336-0600
 918 BON MARCHE department stores208-336-7000
 923 WELLS FARGO TRUST GROUP pension &
 profit sharing plans208-393-2114
 + N 10TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C009
 1001 WASHINGTON FEDERAL SAVINGS savings
 & loan associations208-338-7300
 3 BRASSEY WETHERELL CRAWFORD
 attorneys208-344-7300
 400 MOORE BASKIN & PARKER attorneys
208-336-6900
 + N 11TH ST INTERSECTS
 1101 EDGE gift shops208-344-5383
 1105 PAINTED SMILES ADVERTISING advertising
208-343-0107
 RECORD EXCHANGE records tapes &
 compact discs208-344-8010
 1118 EL KORAH SHRINE CIRCUS fraternal org
208-333-8350
 EL KORAH TEMPLE fraternal org
208-343-0571
 SHRINE OASIS fraternal org208-343-1341
 + N 12TH ST INTERSECTS
 1221 Budge Bruce P [2]208-387-4025
 Goope E C [2]208-345-0937
 IDA CORP ENERGY SOLUTIONS CO
 energy mgmt sys & products208-388-2200
 IDA CORP FINANCIAL financial advisory serv
208-388-2200
 IDA-WEST ENERGY CO electric equip/supl-
 whol208-388-2200
 IDACOMM nonclassified establishments
208-388-5710
 IDACORP INC utilities- holding companies
208-388-2200
 IDAHO ENERGY RESOURCES CO energy
 mgmt sys & products208-388-2200
 IDAHO POWER CO electric companies
208-388-2200
 IDAHO POWER DIVERSIFIED ENT CO
 electric equip/supl-whol208-388-2200
 McCann Timothy E [2]208-345-0937

W IDAHO ST Cont'd

601 ARTHUR ANDERSEN LLP accountants
208-345-0937
 + N 13TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C026
 1401 B RED DOOR STUDIOS artists-fine arts
208-376-1322
 1412 CASPETER SILVA INC printers208-336-8411
 FIRSTBANK NORTHWEST banks208-331-0980
 100 UNITED VISION FOR IDAHO business
 mgmt consultants208-331-7028
 110 BASS DANA real estate investments
208-336-3202
 110 MICHENER HOYT real estate
 investments208-336-3202
 110 MICHENER INVESTMENTS real estate
 investments208-336-3202
 110 MICHENER ROGER real estate
 investments208-336-3202
 110 ROSS LAWRENCE real estate
 investments208-336-3202
 130 PACIFICAD INC cad sys & serv
208-336-6641
 200 WHITNEY HOMES home design &
 planning serv208-343-2502
 210 IDAHO ASSOCIATION OF SOIL
 envnmnt conservation/ecologi208-338-5900
 235 CONTINENTAL BASKETBALL ASSOC
 sports clubs208-429-0101
 240 IDAHO STAMPEDE athletic org
208-388-4667
 1413 D J'S SPORTS BAR bars208-342-0393
 + N 15TH ST INTERSECTS
 + N 16TH ST INTERSECTS
 + N 17TH ST INTERSECTS
 1706 A Gulbranson Erick M [2]
 B - Not Verified (4 Apts)
 1709 W Grigsby Cynthia E & Greg C208-433-9756
 1710 - 1711 Not Verified (2 Hses)
 1712 Brucker Michael O [2]208-386-9424
 1718 - 1722 Not Verified (2 Hses)
 + N 18TH ST INTERSECTS
 1804 Holgate Blake D [2]208-429-6683
 1805 W Dover Jon208-384-9065
 1807 W Wuthrich Robert208-342-8857
 1808 Hopkins Charles L [2]208-342-8857
 1811 Not Verified
 1812 Utting Mark [2]208-338-7012
 A W Jeffress Kelli K208-345-3057
 B - Not Verified (2 Apts)
 1817 W Lucich Cary208-345-3057
 W Matteson Bonnie
 101 - 202 Not Verified (4 Apts)
 1818 W Barbera Joe208-344-4185
 1819 Swatsenbarg Sara E [2]208-331-2810
 1821 Not Verified
 + N 19TH ST INTERSECTS
 * ZIP CODE 83702 CAR-RT C017
 1903 Not Verified
 1904 W Jewell Theresa208-344-2132
 1905 W Madril Rachel208-384-9148
 1906 Coy Kenneth W [2]208-342-0438
 Coy Victor L208-342-0438
 1907 Headrick Michelle M [2]208-342-7487
 Headrick Sharon M208-342-7487
 1909 W Rlenz Jennifer208-344-0979
 1910 - 1911 Not Verified (2 Hses)
 1912 Workman S M [2]208-336-6437
 1913 Seal Robert [2]208-345-2219
 1914 W Brigman Michael D
 Brigman Michelle D208-345-2260
 W Cline S208-344-1522
 1915 1/2 W Dunn Jackie & Steven G208-344-1522
 1917 Grave Emily [2]208-331-2794
 + N 22ND ST INTERSECTS
 2202 Allen Mary J [2]208-384-9198
 2203 W Claiborne Andy208-344-0211
 Swenson Jodi [2]208-336-8502
 W Welch B208-336-8502
 101 - 103 Not Verified (3 Apts)
 104 Turner Christopher M & Jessica [2]208-395-0825
 2209 W Bowley Natalie208-342-2062
 W Bryon Brad208-433-9551
 101 Not Verified
 2211 Link Judith B [2]208-336-9406
 Link Robert P III208-336-9406
 2214 Eaton Christopher S [2]208-331-4516
 2215 W Broyles James D208-342-0126
 2216 Hodges Cheyenne [2]208-331-3208
 2218 Flatter Dana R [2]208-342-6348
 Flatter Carole I208-342-6348
 2219 Not Verified
 + N 23RD ST INTERSECTS
 2311 Reimer Anamarie R [2]208-343-6154
 Reimer Anna M208-343-6154
 2315 W Criddle Jason208-342-6348
 2317 Not Verified
 2319 Cox Shaun [2]208-342-6348
 Cox Naomi S208-342-6348
 2321 W Lester Dana208-342-6348
 2323 W Aslier Brett208-342-6348
 + N 24TH ST INTERSECTS
 2400 Jones Ted A [2]208-363-9563
 Jones Karma208-363-9563
 2401 W Sinsli Gina208-343-6154
 Sinsli Walter208-343-6154
 2405 Houlgate Cameron J [2]208-344-7184
 Houlgate Cam M208-344-7184
 2406 Culbertson Frank A [2]208-342-0568
 2410 Erwin Kristina K [2]208-342-0568

W IDAHO ST Cont'd

2411 Mandiola John S [2]208-343-8072
 Mandiola Joseph D208-343-8072
 2412 Smith Rita J [2]208-424-1547
 Smith Jane208-424-8304
 2415 Duncan Christopher H [2]208-424-8304
 Lee Luelia A [2]208-424-8304
 Lee Gary W208-424-8304
 2416 - 2421 1/2 Not Verified (3 Hses)
 2424 Eisehagen Robert O Jr & Tana M [2]208-343-8530
 + S 25TH ST INTERSECTS
 2501 Knudson Brent R [2]208-385-9602
 Knudson Keiko208-385-9602
 2502 Gunn Cheryl D [2]208-336-2403
 Gunn Jean V208-336-2403
 WALTZING WITH BEARS INC genl
 merchandise-retail208-336-2403
 2504 Fatings Jennifer A [2]208-426-0756
 2505 Graham Ashley J [2]208-426-0756
 2510 Casebolt Paul L [2]208-426-0756
 Casebolt Emily F
 W Goers William H & Deborah A208-426-0756
 2511 W Becirovic Sabahudin208-424-0240
 2512 W Harris Aleasha208-424-0240
 2513 - 2515 Not Verified (2 Hses)
 2516 Shook Harry W & Jean L [2]208-344-3137
 2517 Not Verified
 2519 W Barrett Lori208-424-0256
 W Lawatch Brad & Jennifer208-367-9290
 2520 W Carroll Brian W & Tracy J208-367-9290
 2523 Not Verified
 + N 26TH ST INTERSECTS
 2600 Forrest Linda [2]208-383-0360
 2604 Bernard Michael S [2]208-383-0360
 Bernard Palina208-383-0360
 2608 Hawkes Erin M [2]208-383-0360
 Hawkes Kay B208-383-0360
 2618 Stewart Dudley [2]208-342-1151
 STEWART'S GEM SHOP INC jewelers-retail
208-342-1151
 2624 Not Verified
 2627 KULCHAK & ASSOC attorneys208-433-0383
 KULCHAK J MICHAEL attorneys208-433-0383
208-375-4573
 MERKLE GARY CPA accountants208-338-1001
 PERRY & ASSOCIATES attorneys208-338-1001
 PERRY LAW PC attorneys208-338-1001
 + N 27TH ST INTERSECTS
 2700 TREASUREWOOD FURNITURE furniture-
 dirs-retail208-342-6480
 2711 CULTURAL CENTER-THE UNIVERSE music
 & live entertainment208-395-0000
 2715 BOISE DETAIL auto detail & clean-up serv
208-343-3025
 2719 A QUALITY AUTO REPAIR auto rpr & serv
208-344-4588
 2720 ALL ABOUT LOLLIPOPS candy &
 confectionery-whol208-333-9896
 2723 Not Verified
 + N 28TH ST INTERSECTS
 2800 GREGG'S AUDI-MERCEDES-PORSC HE
 auto parts & suppl-retail-new208-342-4450
 GREGG'S AUTOHAUS auto rpr & serv208-342-4450
 2801 DOUG'S AUTO REPAIR auto rpr & serv
208-389-4692
 TRANSMISSION PARTS INC auto parts &
 suppl-retail-new208-424-7780
 2803 ANDY'S SUPPLY INC hose & tubing-rubber
 & plastic208-344-3568
 2809 Anderson Lewis E [2]208-344-9014
 2810 GENERAL AUTO PARTS NAPA auto parts &
 suppl-retail-new208-342-4531
 2816 Not Verified
 + N 29TH ST INTERSECTS
 2903 ALPICELLA BAKERY bread/other bakery
 prod208-367-0020
 2923 TATES RENTS rental serv- stores & yards
208-345-7368
 + N 30TH ST INTERSECTS
 BUSINESSES 143 HOUSEHOLDS 137
 ILLINOIS AVE (BOISE)-FROM 401 W ARIZONA
 LN SOUTH
 + W PENNSYLVANIA ST INTERSECTS
 * ZIP CODE 83706 CAR-RT C003
 2101 Babcock Larry J [2]208-344-9871
 Babcock Chad E208-344-9871
 2102 Russell Kenneth W [2]208-367-1745
 Russell Paul F208-367-1745
 2109 W Harris Jeff208-368-0940
 2110 Koening Brian L [2]208-344-4310
 2115 W Kosen T208-344-4310
 2116 Murray Aletha K [2]208-368-0762
 2121 Austin Mark S & Kimberly A [2]208-342-1340
 2122 Torres Vincent D [2]208-342-1340
 Torres Primitiva D208-342-1340
 2133 Not Verified
 2134 Wells Timothy L [2]208-367-0694
 2141 Not Verified
 2142 Edwards Tresa L [2]208-426-0703
 2149 Not Verified
 2150 Moriarty William L [2]208-345-7348
 Moriarty Mari M208-345-7348
 2155 W Belt Tracey208-343-4755
 2163 Not Verified
 + W ARIZONA LN INTERSECTS
 2177 W Sheikh Mahmood208-433-9143
 2189 Glover Ryan T208-363-0233
 2195 W Giles Robert T & Angela P208-424-2212



362-2711

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NEW NEIGHBOR

147

IDAHO ST W to IMPERIAL LA

W IDAHO ST cont'd
302 Vacant
301 SYRINGA PROPERTY
MANAGEMENT 336-4810
420 HARRIS & SUTTON LAW
OFFICES 336-4444 900
+5TH ST INTERSECTS
500 CHANDLER BUILDING
FLYING M EXPRESSO restr
345-4320
Suites
200 OSPREY
ENVIRONMENTAL INC
384-9870
201 CONFERENCE ROOM
202 STATE PUBLIC HEALTH
DISTRICTS
(CONFERENCE OFC)
334-3566
203 GRANDER SERVICES
331-2360
204 WARD GROUP THE
345-3996
240 ASIN HOMES 343-6699
250 BERONIO LUMBER
345-6692
265 GEYER INVESTMENT CO
345-3335
270 COMPLETE PROPERTY
MANAGEMENT 387-0004
507 GIBSON FUNERAL HOME
342-8221
511 Vacant
512 W R C ADVERTISING
advertising 342-2525
515 HEALING ARTS INSTITUTE
massage 336-9134
517 BURROUGHS & HUTCHINSON
inv counsellors 343-7556
520 BOISE CITY PUBLIC WORKS
(city ofc)
+6TH ST INTERSECTS
601 BOISE CITY HUMAN
RESOURCES city ofc 384-3850
602 COUNTY PROSECUTING
ATTORNEY 364-2121
610 CAPITOL LITHOGRAPH &
PRINTING INC. 344-3507
620 LOUIE'S PIZZA & ITALIAN
RESTAURANT 344-5200
622 CHADWICK & COMPANY
jewelers 387-1855
624 BANGKOK HOUSE restr
336-0018
625 BOISE CITY FIRE DEPT
384-3950
632@Dowell J K 888-3466
+7TH ST INTERSECTS
702 KEY BANK OF IDAHO
BUILDING 334-7000
"KEY BANK OF IDAHO BLDG"
Floors
KEY BANK OF IDAHO
334-7410
KEY BANK OF IDAHO (cash
management) 334-7475
KEY BANK OF IDAHO (COML
BKG CNTR) 334-7000
KEY BANK OF IDAHO (COML
BKG CNTR) 334-7000
KEY BANK OF IDAHO (INCOME PROP DEPT)
334-7267
KEY INVESTMENT COMPANY
334-7176
KEY BANK OF IDAHO (INTL
BANKING) 334-7009
KEY BANK OF IDAHO
(TRAINING CNTR) 334-7990
320 IVEY & BAUER opa
345-6655
FIRST IDAHO securities
331-7879
330 COLLINS INVESTMENT
SERVICES investment
servs 336-7551
335 TURBO CAFE restr
384-1269
322 SPIEKER PROPERTIES
real est dev 345-7018
310 PARK REDFORD
THOMAS & BURKETT
atlys at law 345-7800
KEY BANK OF IDAHO (MKTO
DEPT) 334-7285
KEY BANK OF IDAHO
(ACCTG DEPT) 334-7339
KEY BANK OF IDAHO
(CONSTN DEPT) 334-7145
KEY BANK OF IDAHO (BR
OPRNS) 334-7311
KEY BANK OF IDAHO
(COMPLANCE-C R A)
KEY BANK OF IDAHO
(SECURITY DEPT) 334-7952
KEY BANK OF IDAHO (ADMN
SERVS) 334-7912
KEY BANK OF IDAHO (SLS
MANAGEMENT)
KEY BANK IDAHO 334-7923
KEY BANK (HUMAN
RESOURCES) 334-7167

W IDAHO ST cont'd
HALL FARLEY OBERECHT &
BLANTON P A attorneys
336-0404
KEY BANK OF IDAHO (AUDIT
DEPT) 334-7338
KEY BANK OF IDAHO
(PRIVATE BANKING)
KEY BANK OF IDAHO
(MORTGAGE LOANS)
ELAM & BURKE P A (addl
sp)
ELAM & BURKE P A lwyrs
343-5454
ELAM & BURKE P A (ADDL
SP)
KEY BANK OF IDAHO (EXEC
OFCS) 334-7000 900
718-722 Vacant (3 Hse)
735 PLEASURES OF TEA THE
barber shops 338-5559
745 ART & VISION (D M K INC)
beauty salon 342-5050
765 SCANDIA DOWN SHOPS down
bedding sales 344-5585
780 SWEETWATER JUNCTION
OFFICES 901
+N 8TH ST INTERSECTS
800 100 GRAPE ESCAPE restr
368-0200
TODD'S clothing store 331-0001
104 LIFE'S LITTLE
TREASURES gift shop
345-2828
ESSE BABY children's clothing
store 331-2255
114 SOHO CAFE restr
344-3121
116 Vacant
112 GRAND GOURMET rest
cooking 331-3500
304 CAPITAL CITY
DEVELOPMENT CORP
urban renewal agcy
384-4264
308 OLIVER RUSSELL &
ASSOCIATE 344-1734
NOODLES DOWNTOWN restr
342-9300
805 SIMPLOT BUILDING
811 EASTMAN GARAGE public
parking lot 336-0600
814 LAVENDER personal care
products 336-0600
815 EASTMAN GARAGE public
parking lot 336-0600
816 FAUST gifts 383-0622
817 CANOE FLOORS CO 336-1336
818 R GREY JEWELRY GALLERY
jewelry 385-9337
819 ORIENT EAST fine oriental
jwry & furn 344-6232
821 TOUCH THE MOON children's
clothing & gifts 367-1644
822 BOISE FLOORS CO 345-6011
824 EXPRESSIONS CUSTOM
FURNITURE 385-7940
825 FISHERS STATIONERY ofc sup
& fine gifts 345-2403
828 CHEERS custom printed
invitations 342-1805
840 YOGURT WAY THE 336-5196
+N 9TH ST INTERSECTS
911 FIRST SECURITY BANK BLDG
"1ST SECURITY BK BLDG"
Floors
MOFFATT THOMAS BARRETT
ROCK & FIELDS atlys
345-2000
MOFFATT THOMAS BARRETT
ROCK & FIELDS (additional
ofcs)
FIRST SECURITY BANK
(PRIVATE BANKING)
DIV 393-4000
FIRST SECURITY BANK
personal trust mktg div
343-4000 901
917 FIRST SECURITY BK
(PARKING LOT)
918 BON MARCHE dept store
388-7020
923 FIRST SECURITY Bank corp
trust & real 393-2114
+N 10TH ST INTERSECTS 902
1001 WASHINGTON FEDERAL
SAVINGS & LOAN ASSN
343-1633
1011 WASHINGTON FEDERAL SAV
& LOAN ASSN (PARKING
LOT)
+N 11TH ST INTERSECTS
1101 EDGE THE gift shop 344-5383
1105 RECORD EXCHANGE the
tapes-records-music shop
344-8010
1109 OWYHEE PLAZA (PARKING
LOT)
1118 EL KORAH TEMPLE 343-0571
1120 IDAHO POWER addl sp
+12TH ST INTERSECTS
1221 IDAHO POWER CO 383-2200
IDAHO POWER COMPANY
LIBRARY 388-2491
600 ROSHOLT ROBERTSON
& TUCKER 336-0700
601 ARTHUR ANDERSON L L
P opa 345-0937

W IDAHO ST cont'd
+N 13TH ST INTERSECTS
1312 ALL ABOUT OFFICES
336-4700
1324 Vacant
+N 14TH ST INTERSECTS
1401 BOISE HEATING & AIR
CONDITIONING INC contrs
342-9336
1404 NEWMAN'S LITTLE WHEEL
MUFFLER & UPHOLSTERY
SHOP auto repr 343-4959
Suites
1412 101 ALLIANCE TITLE &
ESCROW CORP title ins &
escrow 336-0515
102 ALLIANCE ESCROW &
TITLE
103 ALLIANCE ESCROW &
TITLE
104 ALLIANCE ESCROW &
TITLE
203 ALLIANCE ESCROW AND
TITLE addl sp
204 ALLIANCE ESCROW &
TITLE
205 ALLIANCE ESCROW AND
TITLE addl sp
ALLIANCE ESCROW AND
TITLE addl sp
207 WRIGHT THOMAS T CO
real est-indus & com'l
343-4000
1413 RUDERS BAR tavern 342-0393
+15TH ST INTERSECTS
+16TH ST INTERSECTS
+17TH ST INTERSECTS
1700 NAIL CONNECTIONS finger
nails 385-0899
1706 Apartments
A Vacant
B Wayne David L 345-2271
C Cottie Jeff 344-1034
D Gulbranson Eric M 384-9129
1707 Showers Johnathan M &
Sheryl 388-0161
1709 Mc Intyre Ernest A & Tina 342-4510
1710 Lizaso A Marie 386-9070
1711 Strong Joseph H & Olivia 344-2274
1712@Dobbs J R 333-6207
1718 Mayo J 331-2587
1722 Rancher Brian & Monica 384-9917
+N 18TH ST INTERSECTS
1804@Holgate Blake 384-9774
1805 Not Verified 383-0887
1807@Ruggier Dann 383-0887
Domina Mello 383-0887
Moats Kevin 383-0887
1808 Sholley John E & Debbie 384-9917
1811a@Macias Jose 336-1287
1811 18@Morgan Don 387-1919
28@Holland Richard 344-5030
38@Mason Dallas 345-5677
48@Rivers Felix 381-0625
30@Clark Dave 343-5727
1812@Turner John 331-1946
1812c Hazelwood Lawrence 331-1632
1815 Vacant
1817 Apartments
101 Not Verified
102 Hulstander Eric A & Katie 343-5727
201 Carlson Mark G 388-0407
202 Dryden Meredith 336-9928
1817 Not Verified
1818 Wells Henneyetta M 336-9285
1818-1/2 Not Verified
1818-1/2 Yeager Stephen 343-6349
1818-4 Not Verified
1819 Vacant
1821 Weinert Thomas P 343-8148
+19TH STREET INTERSECTS
1903 Beery Donald P & Vicki 336-5854
1904 Vacant
1905@March James 331-0091
1905-1/2 Not Verified
1905-1/2 Vacant
1906 Coy Kenneth W & Julia 342-0438
1907 Jayo Luis & Emeteria 344-8149
1909 Not Verified
1910@Weideman Randy 384-0220
1911 Vacant
1912 Shankel Eric M & Naomi 344-9316
1913@Sinnih R 336-2108
1913-1/2 Not Verified (2 Hse)
1915@Crane Kristi 385-9237
1917 Woodall Dan 387-3836
Woodall Laurie 387-3836
+N 22ND ST INTERSECTS
2202 Not Verified
2203 Apartments
2202 2203 101-104 Not
Verified (4 Apts)
2209-2209-1/2 Not Verified (2 Hse)
2211 Vacant
2214 Atkinson J Preston 344-8884
2215 Not Verified
2216@Omella Bob 389-7814

W IDAHO ST cont'd
2218 Flatter Dana R 345-8109
2219@Munn Dan 383-9954
2222 Suites
201 EQUITY SERVICES INC
real est 344-1429
+N 23RD ST INTERSECTS
2311@Keegan Robert 344-1081
2315 G P LEASING 388-0811
Mc Millan Dan P & Glenda
388-0811
2317-2319 Not Verified (2 Hse)
2321 Silberman J 344-3367
2323 Not Verified
+N 24TH ST INTERSECTS
+PARK INTERSECTS
2400 Stowell Timothy A & Tracy L
Hight 389-2215
2401 Not Verified
2405 Houlgate Cameron J & Mary
336-6619
2405-1/2@Swenson Tairas
2406 Colbertson Frank & Donna 344-7186
2410 Peterson Randy W & Diane
383-9528
2411@Mendoza John S & Rose Ann
343-8072
2412 Smith Thomas W 336-0467
2415 North Annie R 342-1372
2415-1/2 Childers Jacquelyn M 336-9593
2416 Reed Ron & Shirley 331-1353
2419 Pender Thelma 342-1372
2421@Grob M J 345-5836
2421-1/2 Not Verified
2424 Ferguson Jeannine C 344-5857
+N 25TH ST INTERSECTS
2501 FRONT Knudson Brent 385-9602
Dutton J A 385-9602
2502 Gunn George N & Cheryl 336-2403
2504 Goemast John & Erma 343-8985
2505 Not Verified
2510 Santoyo Martin & Janette 387-1810
2511 Peak Tim L & Sue 343-2197
Peak Tyler 343-2197
2512 Arregui Marie B 343-3092
2513 Not Verified
2515 Adams Tony L & Connie 386-9820
2516 Shook Harry W & Jean 344-3137
2517 Hemphill Todd M & Dana 336-1287
2519 Statham Sean A 387-1919
2519@Houtz Dora A 344-5030
2520 Emerson Chuck W 345-5677
2523@Ruden Mirsad 381-0625
+N 26TH ST INTERSECTS
2600 Fuller Geoffrey H 343-5727
2604 Sugarek John & Trisha 331-1946
2608@Richter K & Patricia 331-1632
2618 STEWART'S GEM SHOP
jewelers 342-1151
2620 Stewart Alberta 342-1151
2624 Not Verified
2627 C R I RESOURCE GRP comp
software 343-9192
2701 AMERICAN SHOP flower
shop 336-7765
2711 Not Verified
2715 Anderson L E 344-9014
2720 CUSTOM CONFECTIONS
candy & confectionery whol
384-5737
2723 Vacant
2724 Not Verified
+N 28TH ST INTERSECTS
2800 GREGGS AUTOHAUS auto
repr 342-4450
2801 D DUNN CO 345-5445
2803 ANDY'S SUPPLY INC
hydraulic equipment & supplies
344-3568
2810 NAPA AUTO PARTS
automobile parts 342-4531
2815 Vacant
+N 29TH INTERSECTS
2903 OROWHEAT BAKERY
387-0020
2923 TATE'S RENTS 345-7368
BUSINESSES 155 HOUSEHOLDS 113
**IDEWOOD DR W -FROM 7324 S
MUIRWOOD WEST** 179
- ZIP CODE 83709
10017 Tanton Tom D & Diane 362-2158
10033 Anderson Randy J 362-9753
10050 Crockett Keith N & Camille 362-4885
10065 Hester Neil P & Sherry 362-4899
Hester Sherry M 362-4899
10082 Roberts William R & Kim 362-4061
10101 Hollingsworth Mike I & Kim
362-5689
10116 Wurtz Dale E & Patricia 362-5626
10148@Du Thoa 362-6642
10161 Longwill John R & Joelle 362-1091
10162 Elliott John R & Ruth 362-1784
**+S RAVENSWOOD WY
INTERSECTS**

W IDLEWOOD DR cont'd
HOUSEHOLDS 10
**ILLINOIS AV -FROM 700
PENNSYLVANIA AV SOUTH** 8A
- ZIP CODE 83706
2101 Babcock Larry J & Clydeene
344-9871
Babcock Christy M 344-9871
Babcock Chad E 344-9871
2102 Russell Ken W 343-2550
+W ARIZONA LA INTERSECTS
2109 Not Verified
2110 Koenig Brian L 368-0940
2115 Creechley Jack A & Cathy 385-0979
2116 Gipson Scott M & Karen 342-1340
2121@Reeves Dale V 345-0547
2122 Torres Vicente & Bibang 342-1340
Torres Troy 342-1340
Torres Joaquin 342-1340
2133 Mc Clure Martha G 342-6284
Mc Clure Nathan J 342-6284
2134 Kelly Denny F & Jacqueline
344-2197
2141@Goller Jenny
2142 Thomason Mitchell L & Carri
344-9241
2149 Caward James L & Dora 344-6978
2150 Moriarty William L & Melori
345-7348
2155@Balt Tracy M 343-4755
2163 Vacant
2177 Kite Brendan & Penni 343-6222
2189 Ayad H 348-9172
Ayad Katie 343-9172
2195 Not Verified
+IOWA ST INTERSECTS
2101-2155 Not Verified (2 Hse)
2213 Griffin Tad H & Mona 344-3661
2215 Not Verified
2216 Blessing M B & Karla 343-9375
2221 Miller Teresa L 345-2915
Corral Paul 345-2915
2222 Fencil Darryl L 336-8921
2229@Strong Vern D
2230 Johnson Melva L 343-9249
2234 King Lisa 338-4971
2238 Helm Emery W & Pamela 336-7336
2240 Herren Griffin S & Martha 343-0911
MANUFAB transp reprs 343-0911
2267 Sebyakin Anatoly 331-3058
2268 Domasche John & Elaine 331-3058
2275 Vacant
2283@Talbert Ed 384-1046
2291@Kenneth Michael 331-3076
2300 Not Verified
2301@Fernandez Alvin & Elizabeth
331-3076
2363 Vail R Scott & Vicki 344-4219
**+IVY WILD PARK INTERSECTS
+MELORE ST INTERSECTS**
BUSINESSES 1 HOUSEHOLDS 37
**IMMELMAN ST -FROM BYRD ST
WEST** 44
**- ZIP CODE 83705
+FARMAN ST INTERSECTS**
**IMMIGRANT PASS DR E -FROM
5109 COUNCIL BLUFFS WAY
EAST** 507C
- ZIP CODE 83705
3402 Christensen Dennis R &
Roberta 342-0011
3427 Vacant
3450@Brighton Larry & Teresa 384-9081
3451 Murphy June S 384-0692
3474 Oliver Andy & Nellie 343-6087
3497 Fellows John R 385-0832
3498 Sondeman Craig H & Debra
386-9179
3521 Kester Gerald E & Mary 343-7235
3522 Williams Roger L & Anita 343-1803
3533 Cox Larry N & Lamona 336-2972
3546 Parker Jack 338-1641
3547 Tisdale Michael D & Gay 342-1184
3559 Allen W Henry & Marion 342-3769
3571 Schaad R J & Gladys 384-1626
+SWEETWATER DR INTERSECTS
3594 Ryder Peter W & Mary Ellen
345-7437
HOUSEHOLDS 14
**IMPERIAL LA -FROM CARRIAGE
LA NORTH** 154
- ZIP CODE 83704
1103-1110 Not Verified (3 Hse)



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3555



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FAX 362-4662

181

★ NEW NEIGHBOR

E IDAHO ST-Contd

- 114b Williams Marian
114c Patterson 2
114d SECURITY SERV
116 Gier Mark G 2 344-7833
116a Humbles Eug 2 336-2265
116c Shomaker 2
118 Humphrey 2
125 IDAHO PROFESSIONAL BUILDING
• SUITES
101 A-AVENUE PHARMACY
344-8180
102 NAEVE MICHL P phys orthopedic
surgery 344-2551
103 Vacant
104 PROFESSIONAL PRACTICE
MANAGEMENT 343-3223
105 EDIGER ARDEAN J phys
385-0255
201 ST LUKE'S CARE PROGRAM
children serv 386-3063
202 FAMILY PRACTICE MEDICAL
CNTR 322-1480
203 INTERNAL MEDICINE 342-4634
203 STADLER REBECCA internal
medicine 342-4634
203 KORNFIELD LEE phys 342-4634
203 COFFMAN THOS phys 342-4634
301 ST LUKE'S HOME CARE 386-2138
302 CARDIOVASCULAR DISEASE
CLINIC CHARTERED 344-3416
302 STOTT DONALD K phys 344-3416
303 BOISE INTERNAL MED 387-4100
304 IDAHO HEALTH SYSTEMS
AGENCY 336-1660
• AVENUE A INTERSECTS
• AVENUE B INTERSECTS
• WARM SPRINGS AV INTERSECTS
11 HOUSEHOLDS
20 BUSINESSES

IDAHO ST W -FROM 200 N 1ST WEST

- ZIP CODE 83702
103 LARSON GERALD P dentist 343-7341
HARMEL DENTAL LAB ceramist
345-8640
BARANGO KENNETH G dentist
383-1035
104 BOISE VALLEY OB-GYN PA
109 IDAHO HERITAGE INN bed &
breakfast 342-8066
Lupher Tom & Phyllis 2 342-8066
16 Lochard Donald 2 384-5897
17 Not Verified
141 Falls Mike 2
145 CARRIAGE HOUSE APTS 344-4092
1 Mc Haley 2
2 Simmons Wm D 344-2873
5 Yul Kim
6 Lavagnino James 2 383-0489
9 Garrison Russlyn L 344-0696
Craft R 2 389-2083
• N 2D ST INTERSECTS
• N 3D ST INTERSECTS
301 Mendietta Filicia A 2+ 343-0737
302 BEER & CAIN ATTORNEYS AT
LAW 336-2323
306 INSTITUTE FOR CLINICAL
HYPNOTHERPY
310 EPILEPSY LEAGUE OF IDAHO
344-4340
311 LUNDY JOHN C dentist 343-7271
312 JEWELL C THOS phys 336-3062
313 IDAHO SOCIETY OF CERTIFIED
PUBLIC ACCOUNTANTS 344-6261
325 CHANDLER DILLION & ALLYN
CHARTERED attys 344-8990
327 MARY ANN'S WORLD OF
PRINTING 336-0803
331 DEVCO PROPERTIES genl bldg contr
336-2500
• N 4TH ST INTERSECTS
401 UNDER CONSTN
408-408 Vacant (2 Businesses)
413 Office Building
• ROOMS
100 ADA PLANNING ASSOCIATION
metro planning org 345-5274
101 Vacant
102 WILDERNESS SOCIETY THE
misc org 343-8153
200 ARMSTRONG ASSOC INTERIOR
DESIGN 344-3737
201 O'ROURK ENGINEERING INC
342-6707
202 Vacant
203 IDAHO CONSERVATION
LEAGUE 345-6933
205 Vacant
300 STRATTON TEUTSCH & HARRIS
C P A's cpa's 336-4953
302 IDAHO RIVERS UNITED
nonprofit org 343-7481
301 FRIENDS OF THE PAYETTE
343-7481
306 ACLU OF IDAHO
420 HARRIS & SUTTON LAW OFFICES
336-4444

• 5TH ST INTERSECTS

- 500 HIGH COUNTRY SPORTS sporting
goods retail 344-3821
CHANDLER BUILDING
Suites
200 CONFERENCE ROOM
201 HIGH COUNTRY SPORTS
OFFICE
202 COMPUTER RESOURCE INC
dsgrs & consls 343-9192
203 NOBLE & CO 345-2266
204 CATALYST THE mkt research
345-7294
214 NESS LINDA DESIGN graphic
designs 342-3426
215 CHANDLER BUILDING (MGMT
OFC) 344-3821
240 B A S C PACIFIC INC mtl good
mfrs 383-9449
250 BERONIO LUMBER 345-6692
260 DATER JAMIE H life insurance
sales 336-0307
507 GIBSON FUNERAL HOME 375-8221
512 WOOD STOVE WORKS 344-8471
NORTHERN STONE SUPPLY
336-1288
FIREPLACE DISTRIBUTORS OF
IDAHO stoves-wood-heating supply
336-1304
ALPACA WORKS natural fiber
clothing 336-1304
515 DESIGNER GLASS & DOORS
342-6363
517 BURROUGHS & HUTCHINSON inv
counsel 343-7556
520 BOISE CITY PUBLIC WORKS
• 6TH ST INTERSECTS
601 Boise City Personal Dept 384-3850
602 COUNTY PROSECUTING
ATTORNEY 383-1237
610 CAPITOL LITHOGRAPH &
PRINTING INC 344-3507
620 LOUIE'S PIZZA & ITALIAN
RESTAURANT 344-5200
624 WOK-INN NOODLE CAPITOL restr
336-0018
625 Boise City Fire Dept 384-3950
647 Vacant
• 7TH ST INTERSECTS
702 KEY BANK OF IDAHO BUILDING
Floors
702 KEY BANK OF IDAHO 334-7410
2d FI KEY BANK OF IDAHO
(COML BKG CNTR) 334-7000
320 IVEY & BAUER cpa 345-6555
335 TODDS SANDWICH VAULT restr
384-1259
3d FI SPIEKER PARTNERS real est
dev & investments 345-7018
310 PARK & BURKETT attys at law
345-7800
4th FI KEY BANK OF IDAHO
(ADMN DEPT) 334-7000
5th FI Vacant
6th FI Vacant
700 DAVIS WRIGHT TREMAINE
lwys 338-8200
8th FI AUDIT DEPT
9th FI ELAM BURKE & BOYD
(chartered addl sp)
10th FI ELAM BURKE & BOYD
CHARTERED lwys 343-5454
11th FI ELAM BURKE & BOYD
(ADDL SP)
12th FI KEY BANK OF IDAHO
(EXEC OFCS) 334-7000
710-716 Vacant (5 Businesses)
718 GEM STATE OPTICAL CO INC
344-6545
720-722 Vacant (2 Businesses)
735 CUSTOM HAIR & CO barber shops
344-2681
745 HANSEN LARRY & CO ritrs
338-1600
780 PEARSON'S K womens clo boutique
345-5064

• N 8TH ST INTERSECTS

- 802 Vacant
805 SIMPLOT BUILDING
• ROOMS
200 CAPITAL CITY DEVELOPMENT
CORPORATION organization-
business 384-4264
208-220 Vacant (5 Businesses)
220-223 Vacant (3 Businesses)
223-310 Vacant (5 Businesses)
310-318 Vacant (3 Businesses)
318-321 Vacant (3 Businesses)
321 Vacant
322 Vacant
323 STORAGE
324 IDAHO CITIZENS COALITION
344-6632
326-328 Vacant (2 Businesses)
330 METROPOLITAN COMMUNITY
CHURCH 342-6764
402-404 Vacant (3 Businesses)
405 AMPCO PARKING (OFC)
406 Vacant
407-409 Vacant (3 Businesses)
412 CHALFANT FRANK E JR
attorney 344-6508
414-419 Vacant (3 Businesses)

- 419-423 Vacant (3 Businesses)
426 IDAHO SPORTSMEN'S COALITION
sportsmen 336-7222

STREET CONTINUED

- 807 PARKING GARAGE
811-815 Vacant (4 Businesses)
816 Vacant
817 KANDOR HSEWARES 336-1336
818 Vacant
819 ORIENT EAST fine oriental jwrlry &
furn 344-6232
821 NEW WORLD TRAVEL travel agcy
344-8351
822 BOISE FLORAL CO 345-6011
824 Vacant
825 FISHERS OFFICE PRODUCTS ofc
sup & fine gifts 378-1200
828 CARD RACK CAFE cards & gifts
336-7757
840 YOGURT WAY THE restr 336-5186
• N 9TH ST INTERSECTS
911 FIRST SECURITY BANK BLDG
Floors
3rd FI MOFFATT THOMAS BARRETT
ROCK & FIELDS attys
345-2000
4th FI MOFFATT THOMAS BARRETT
ROCK & FIELDS (additional
ofcs)
5th FI FIRST SECURITY BK
(MARKETING DEPT)
917 FIRST SECURITY BK (PARKING
LOT)
918 BON MARCHE dept store 344-5521
923 Vacant
• N 10TH ST INTERSECTS

- 1001 WASHINGTON FEDERAL SAVINGS
& LOAN ASSN 343-1833
1011 WASHINGTON FEDERAL SAV &
LOAN ASSN (PARKING LOT)
1018 WEST ONE BANK (motor bank)
• N 11TH ST INTERSECTS
1101 EDGE THE gift shop 344-5383
1105 Vacant
1109 OWYHEE PLAZA (PARKING
LOT)
1118 EL KORAH TEMPLE 343-0571
1121 IDAHO POWER CO 383-2200
1125 OWYHEE PLAZA (PARKING
LOT)
• N 12TH ST INTERSECTS
• ZIP CODE 83706
1217 Vacant
1220 IDAHO POWER CO (addl sp)
1221 ANDERSON ARTHUR & CO cpa
345-0937
• N 13TH ST INTERSECTS
1312 ALL ABOUT OFFICES 375-9073
1315 Vacant
1324 HUMMEL LA MARCHE &
HUNSUCKER ARCHITECTS P A
343-7523
1325 Vacant

• N 14TH ST INTERSECTS

- 1401 BOISE HEATING & AIR
CONDITIONING INC contrs
342-9336
1404 NEWMAN'S LITTLE WHEEL
MUFFLER & UPHOLSTERY SHOP
auto repr 343-4959
1412 STEWART CENTER business ofcs
336-6515
Suites
101 STEWART TITLE OF IDAHO
INC title ins & escrow 336-6515
102 STEWART TITLE OF IDAHO
INC (ADDL SP)
103 STEWART TITLE OF ID INC
(ADDL OFC SP)
104 STEWART TITLE OF ID INC
(ADDL SP)
201 SAWNSON LAW OFFICE lwys
345-9400
204 STEWART TITLE (ADDL SP)
206 FUTURA CORP (CORP ADMN
HQ) holding co 336-0150
207 WRIGHT THOMAS T CO real
est-instr & coml 343-4000
1413 RIDERS BAR tavern
1413½ Not Verified
• 15TH ST INTERSECTS
• 16TH ST INTERSECTS
• 17TH ST INTERSECTS
1700 RAINBOW BOOKS 336-2230
1706 Apartments
A Dodger T 2 342-5103
B Harrison Leslie I 389-4620
B Longden Jim T 389-4620
C Day Richd
D White Kyle R 2 338-7848
1707 Mc Cory 2
1709 Stout Kelly E & Thede L 2
384-1332
1710 Conrad Patti E 386-9070
Lizaso Marie 386-9070
Fackler Karen 386-9070
1711 Strong Joseph H & O Bernice 2+
344-2274
1712 Jarvis Rose 2 386-9192
1718 Not Verified

- 1722 Rencher Brian P & Monica L 2+
343-7253

• N 18TH ST INTERSECTS

- 1804 Vacant
1805 Costello Eric J 2 384-9247
1807 Smith Brian K 336-1367
1808 Lenibke Mike & Janet 342-4632
1811a Not Verified
1811b Mc Cracken Stephen C 2 383-0190
1812a Fuarnstrom Donald 2 342-4752
1812b Not Verified
1815 Stuart Shannon M 2 389-9280
1817-201 Not Verified (4 Hses)
202 Tillman Kris
1818 Loos Rebekah F 342-8154
Cole Geo A 342-8154
1818½ Yeager Steph
1819 Carnopis Mark 368-9726
1821 Weinert Thos P & Joyce 2
343-8148
1903 Not Verified
1903½ Beery Donald P & Vicki M
336-5854
1904 Not Verified
1905 Smith K Patrick 2 336-7668
1905½a-1905½b Not Verified (2 Hses)
1906 Coy Kenneth W & Julia P
painter 342-0438
1907 Jayo Luis & Emeteria 2+
344-8149
1909 Munk David J & Joan C 2
338-9121
1910 Ceremello Denise 2 385-9511
1911½ Patrick Steve B 345-1380
1912 Not Verified
1913 Pratt Joseph W 2+ 336-5263
1913½ Not Verified
1914 Harmon Alice R 2+ 343-1760
1915 Lopez Hilary K 2 342-7603
1915½ Schmidt Steph F 2 384-1410
1917 Not Verified
• N 22D ST INTERSECTS
2202 Horton Arden Sam 2+ 344-0393
2202 Not Verified
2209 Crist Doug & Jana 2 384-5547
2209½ Not Verified
2211½ Roden Pat J 336-4386
2214 Atkinson J Preston 2+ 344-8884
2215 Tidmarsh Chris 2
2216 Not Verified
2218 Vacant
2219 Not Verified
2222 Suites
202 UNITED MICRO DATA AND
GRAPHICS 345-9319
• N 23D ST INTERSECTS
2311 Not Verified
2315 Wardle Scott L 3 345-4289
2317 Not Verified
2319 Gorringer Russ K & Lisa J 3
345-6647
2321 Not Verified
2323 Merrill Ed 2
• N 24TH ST INTERSECTS
2400 Clifford Kevin A & Monica D 3+
336-5974
2401½ Devine Robt A & Shannon M 2
345-7404
2405 Houlgate Cameron J & Mary A 2
336-6619
2405½ Roberts Alan B & Jill 2
2406 Mc Allister Craig A & Laurie M 2+
336-7889
2410 Peterson Randy & Diane 2+
2411 Mendiola John S & Rose A 2+
343-8072
2412 Smith Thomas W 2 384-0263
2412½ Vacant
2415 North Annie R 2 336-0467
2415½ Childress Jackie
2416 Kopsa Jeff L 3 384-9276
2419 Pender Thelma 2+ 342-1372
2421½ Matlock Phil D & Kala H
345-6793
2421½ Grob M J 2 345-5836

• N 25TH ST INTERSECTS

- 2501 Bellisle 2
2502 Gunn Geo 2 336-2403
2504 Goemaat John & Irma M 2+
343-8985
2505 Not Verified
2510 Taylor Sharon E 343-0609
2511½ Peak Tim & Sue 343-2197
2512 Arregui Marie D 2+ 343-3092
2513½ Cater Richd 368-0762
2515 Adams Tony L & Connie F 2
386-9820
2516 Shook Harry W & Jean L 2+
344-3137
2517 Castillo Joe M 2 342-3329
2519 Rolfe Bruce 2
2519½ Briggs Raymond W
2520 Emerson Charles W 2 345-5677
Martin Brian W 345-5677
2523 Jennings Antoinette A 2 386-9680
• N 26TH ST INTERSECTS
2600 Gault Gregory J & Linda K 2+
336-8220
2604 Gilmore 2
2608 Vacant

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TEL. 342-3521

228

W IDAHO ST-Contd

- Alpaca Works natural fiber clothing
385-9313
Mullard Gary (Ofc)
Wine Connection The ret 385-9313
517 Burroughs & Hutchinson inv counsel
343-7556
520 City Fire Dept (ADMN) 384-4460
6TH ST INTERSECTS
602 Mc Guire's Furniture & Interiors furn
store-interior dec 336-2814
605 Civic Center Service gas sta 344-0531
610 Capitol Lithograph & Printing Inc
344-3507
618 Parking Lot
620 Comedy Works theatrical agcy 342-1825
Barkley's restr 336-2255
Onati Basque Restaurant
622 Vacant
624 Wok-Inn Noodle Capitol restr 336-0018
7TH ST INTERSECTS
700 First Interstate Bank Of Idaho
Building
First Interstate Bank Of Idaho
389-4001
Floors
2d Fl First Interstate Bk Of Idaho
(Real Estate Loan) 383-5000
2d Fl First Interstate Bank Of Idaho
(Trust Dept) 383-5000
2d Fl First Interstate Bank Of Idaho
(Inv Dept) 383-5000
3d Fl First Interstate Bank Of Idaho
(Br Loan Admn) 383-5000
3d Fl First Interstate Bank Of Idaho
(Asset Qual Dept) 383-5000
4th Fl First Interstate Bank Of Idaho
(Mktg Dept) 383-5000
4th Fl First Interstate Bank Of Idaho
(Corp Fin) 383-5000
5th Fl First Interstate Bank Of Idaho
(Comm Loan Admn) 383-5000
5th Fl First Interstate Bank Of Idaho
(INTL) 383-5000
6th Fl Vacant
7th Fl Vacant
8th Fl Elam Burke & Boyd (Addl Sp)
9th Fl Elam Burke & Boyd (addl
space)
10th Fl Elam Burke & Boyd lwys
343-5454
11th Fl Vacant
12th Fl First Interstate Bk Of Id (Sr
Admn)

STREET CONTINUED

- 710 Paper Tree The gift shop 344-3819
712 Fisher's Office Equipment Inc 345-2400
712½ Carlton Dance Studio 344-2717
714 Whipple's Gifts & Luggage 342-6221
716 Idaho Citizens Coalition The socl serv
344-6632
718 Gem State Optical Co 344-6545
720 Vacant
722 Vacant

N 8TH ST INTERSECTS

- 802 Mode Ltd The dept store 342-4551
805 Simplot Building

ROOMS

- 200 Associated Taxpayers Of Idaho org-
business 344-5581
200 Idaho Association Of Commerce
And Industry organization-
business 343-1849
208 Vacant
209 Vacant

- 211 Vacant
212 Idaho State Bar Pro Bona Program
342-8959
213 Vacant
220 Vacant
221 Common Cause Of Idaho
222 Vacant
223 Vacant
226 Vacant
228 Innovative Seminars 345-3615
300 Moseley W H Co food prods-broker
342-2621
300 Veigel & Associates public acctg
336-5243
302 Vacant
310 Mc Clenahan & Greenfield lwys
342-4654
310 Hoidal Ernest A atty 342-4647
314 Idaho Youth Soccer Association
336-5256
316 Vacant
318 Vacant
319 Vacant
320 Capitol Youth Soccer 336-6512
321 Vacant
322 Vacant
323 Storage
328 Vacant
330 Jewell Engineering electrical eng
344-0863
402 Chalfant Charles L lwyr 342-0622
403 Vacant
404 Idaho Consumer Affairs Inc
consumer advocacy 343-3554
406 Vacant
407 Vacant
408 Vacant
412 Chalfant Frank E Jr attorney
344-6508
414 Vacant
415 C A P A non profit org 345-1872
418 Metropolitan Community Church ch
ofc 342-6764
419 Vacant
422 Vacant
423 Vacant
426 Association Management Inc

STREET CONTINUED

- 807 Horizons Clothing 342-2184
814 Royal Optical 342-1391
814½ Merricks Shoes cafe 345-7304
815 Brookover's Inc womens clo shop
342-2625
Brookover's Beauty Salon 344-2222
816 Idaho Camera Inc dlr & reprs
344-8303
818 Call Jewelers Inc 343-4886
Call Jewelers (Ofc) 343-4742
819 Roper Clothing Co men's 343-2933
821 Floyd's Shoes 344-7058
822 Boise Floral Co 345-6011
824 Lerner Shops womens clo 342-6641
825 Brookovers Petite Demension 344-8888
828 Ballou-Latimer Brides Corner bridal
shop 343-5681
Ballou-Latimer Hallmark Cards &
Gifts 343-5681
840 Soup N' Bagels restr
N 9TH ST INTERSECTS
911 First Security Bank Bldg
Floors
3rd Fl Moffatt Thomas Barrett &
Blanton Chartered attys
345-2000
4th Fl Moffatt Thomas Barrett &
Blanton (additional ofcs)

**6th Fl First Security Bk (Marketing
Dept)**

- 917 First Security Bk (Parking Lot)
918 Bon The dept store 344-5521
923 Piper Jaffray & Hopwood Inc 336-2400
N 10TH ST INTERSECTS

902

- 1001 Washington Federal Savings & Loan
Assn 343-1833

- 1011 Provident Federal Building
FLOORS

STREET CONTINUED

- 1018 Idaho First National Bank (motor
bank)

- N 11TH ST INTERSECTS
1101 Edge The gift shop 344-5383

- 1105 Record Exchange 344-8010

- 1109 Parking Lot

- 1118 El Korah Temple 343-0571

- N 12TH ST INTERSECTS

- 1125 Parking Lot

- ZIP CODE 83706

- 1217 Idaho Power Co (Ofc Sp)

- 1220 Idaho Power Co 383-2200

- N 13TH ST INTERSECTS

- 1312 All About Offices 336-4700

- 1315 Idaho Power (Energy Mgmt Dept)
383-2511

- 1324 Hummel Lamarche & Hunsucker
Architects P A 343-7523

- 1325 Idaho Power (Planning Resources &
Rates) 383-2289

9

N 14TH ST INTERSECTS

- 1401 Boise Heating & Air Conditioning Inc
contrs 342-9336

- 1404 Newman's Little Wheel Muffler &
Upholstery Shop auto repr 343-4959

- 1412 Stewart Center 336-6515

Suites

- 101 Stewart Title Of Idaho Inc title
ins & escrow 336-6515

- 102 Stewart Title Of Idaho Inc (Addl
Sp)

- 103 Stewart Title Of Id Inc (Addl Ofc
Sp)

- 104 Goldome Mortgage Co mtge loans
345-2210

- 201 Swanson & Setzke Chartered lwys
345-9400

- 1412 Intergrated Office Computers
computer conslts 342-1312

- 203 Vacant

- 204 Mountain State Savings Bank
rehab counsel serv 343-4907

- 206 Futura Industries (Copr Admn
Hq) 336-0150

- 207 Wright Thomas T Co real est
343-4000

- 1413 Mort's Bar tavern 342-9402

- 15TH ST INTERSECTS

- 16TH ST INTERSECTS

- 17TH ST INTERSECTS

- 1700 Rainbow Books 336-2230

- 1706 Apartments

- A★Malone Barry C 385-9236

- B★Braker Tamara 344-7345

- C Curless Ed E

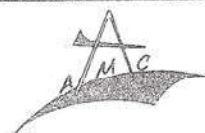
- D Vacant

- 1707 Vacant

- 1709★Stout Kelly 384-1332

- 1710 Price Properties Real Estate 384-1700
Complete Property Management
344-5820

- 1711 Strong Joseph H © 344-2274



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229

W IDAHO ST-Contd

1712 Johnston Dalton M 345-6137
1718 Joki Rodney C 342-5890
1722 Rencher Brian P 343-7253

N 18TH ST INTERSECTS

1804 Vacant
1805★Marlin Suzanne Mrs 336-2087
1807 Vacant
1808 Buccì Richd T 343-8491
1811 Johnson Florence E Mrs 344-8246
1812a No Return
1812b Wakeman Andrew K 338-9446
1815 Millard J Herb 342-2438
1818 Vacant
1819 Geis Lynn 344-0801
1821 Weinert Thos P 343-8148
1903 Vacant
1904 Dunlap Marvin C
1905 Baptiste Barbara Mrs 343-6768
1905½a Brandt Sean 343-0209
1905½b Daily Warren
1906 Coy Kenneth W 342-0438
1907 Jayo Luis 344-8149
1909★Mellon Tim 336-8344
1910 Vacant
1911 Forsgren Jas M 343-0930
1912★Warwick Delta 338-9268
1913 Pratt Joseph W 336-5263
1914 Harmon Alice R Mrs 343-1760
1915★Cool Steven 345-4394
1917 Vacant

N 22D ST INTERSECTS

2202 Horton Arden D 344-0393
2209 Kubik Judy 344-2317
2211★Kinney John F 343-9701
2214 Atkinson J Preston 344-8884
2215★Hackney Ace 343-6901
2216 Dehlin Walmar 343-1177
2218 Chavez Rena 385-9264
2219 Fisk Marie 344-9768
2222 Suites
102 Crown Life Insurance Co 342-4661
201 Allied Research private investigator 342-2121
201 Martin Ben L Co investigators 342-2121

202 Advancemicro Inc 345-9319

N 23D ST INTERSECTS

2311★Gauss Chip T 336-1976
2315 Vacant
2317 Roberts Steven 345-6327
2319 Ramirez Esteban G 345-0939
2321 Emery John
2323 Pukash Virna
N 24TH ST INTERSECTS
2400 Allen Scott
2401 Canfield Enid L Mrs 344-9513
2405★O'Neill Kate 342-2503
2406 Mc Allister Craig A 336-7889
2410 Peterson Randy 343-8072
2411 Mendiola John S 343-8072
2412 Vacant
2415 North Annie R 336-0647
2415½ Landers Tim
2416 Mitchell Rod 336-8951
2419 Pender Thelma Mrs 342-1372
2421 Brown Thos L 384-1032
2421½ Stillwell Nancy L 343-2407
2424 Blackburn C Rex 345-3688

N 25TH ST INTERSECTS

2501 Vacant
2502★Gunn Geo 336-2403
2504 Goemaat John 343-8985

2505 Purney Darryl 343-6978
2510 Vacant
2511★Martinsen M 345-6530
2512 Arregui Marie Mrs 343-3092
2513★Reed S Owen 345-1357
2515 Aucoin Kenneth 343-5120
2516 Shook Harry W 344-3137
2517 Glade Amanda
2519★Hite Wm K 384-0530
2520 Vacant
2523 Mais Richd 342-1151
N 26TH ST INTERSECTS
2600 Douglas Barbara Mrs
2604 Gilmore Cecil B Rev 343-5566
2604½ Jennings Leo 343-8831
2608 Vacant
2618 Stewart's Gem Shop jewelers 342-1151
2620 Stewart Alberta Mrs 342-1151
2621 Vacant
2624 Vacant
2627 First Security Bank (Real Est) 338-2410
First Security Bank (Loans) 338-2146
First Security Bank (real est servicing dept) 338-4111

N 27TH ST INTERSECTS

2700 Buck's Bags Inc mfrs whol nylon bags 344-4400
2701 Carasell Auto Sales used 336-2995
2711 Vacant
2715 Yerrton Charlie 344-9014
2720 R C Cola Beverage Co 343-1782
2724 Anderson L E
N 28TH ST INTERSECTS
2800 A-One Quality Glass Corp 344-8458
2801 Oakley Electronics Supply 343-7937
2803 Vacant
2809 Andy's Supply Inc copper wholesaler 344-3568
2810 General Auto Parts 342-4531
2814 Vacant
2816 Mc Carthy Frances Mrs 343-7126
N 29TH ST INTERSECTS
2903 Vacant
2923 Tate's Rents 345-7368

IDLEWOOD DR -FROM 7324 S MUIRWOOD WEST

ZIP CODE 83709

10017★Tanton Tom 362-2158
10050★Prado Lucio 362-5816
10116★Wurtz Dale E 362-5626
10148★Cirelli Mark A 362-5273
10161★Wardle Doug 362-9367
10162★Elliott John R 362-1784
RAVENSWOOD WY INTERSECTS

ILLINOIS AV -FROM 700 PENNSYLVANIA AV SOUTH

ZIP CODE 83706

2101 Babcock Larry J 344-9871
2102★Russell Ken 343-2550
2109★Swartz Ray 343-6013
2110 Trofast John D 345-9371
2115 Camster Deborah 345-0436
2116 Wageman Clint I 343-4716
2121 Vacant
2122 Meyer Tom 344-6931
2133 Mc Clure John W 345-2208
2134 Fortin Mike 345-2208
2141 Howard Barbara G 344-6104
2142 Atiakson Phillip W 343-4856

2149 Caward James L 344-6978
2150★Moriarty Wm L 345-7348
2155 Vacant
2163★Lee Phillip E 338-9477
2177 Farr Pennie S 345-2915
2189 Minter Christine 344-9126
2195 Tarter Jerry L 336-5081

IOWA ST INTERSECTS

2213 Griffin Tad H 344-3661
2215★Richardson Joey T 343-4281
2216★Scanlon Lee L 344-2525
2221 Martindale Kevin C 345-2915
2222 Fencil Darryl 336-8921
2229 Strong Vern D 342-3266
2230 Johnson Melva L Mrs 343-9249
2234 Mc Farland Thos S 336-4516
2238 Helm Emery W 336-7336
2240 Wood Sarah E Mrs 343-0911
2263 Carpenter Leon 344-6224
2267★Bergeson Ted T 383-9298
2275★Apodaca Chas W 338-9573
2283★Martindale Doug 385-0736
2291★Sterns David 383-9298
2300 No Return
2301★Self Angie 384-0838

IMMELMAN ST -FROM BYRD ST WEST 1 SOUTH OF HARVARD ST

ZIP CODE 83705
FARMAN ST INTERSECTS

IMMIGRANT PASS WAY -FROM 5109 COUNCIL BLUFFS WAY EAST

ZIP CODE 83705
3402 Christensen Margie L Mrs 344-7031
3427 Bertero Gerard T 336-4669
3450 Miller Danl 345-0692
3451 Murphy June S 344-6646
3474 Nelson Bryan 344-6646
3497★Barkdull Brian 343-3542
3498★Michael Deborah L 384-5318
3521 Buse Dennis W 376-6300
3522 Gibson Dale M 385-0821
3533★Coursey M L 336-0350
3546★Compton Jeff 343-5403
3547 Tisdale Michl D 342-4184
3559 Taylor Frank
3571 Nygaard Erne M 342-1033
SWEETWATER DR INTERSECTS
3594 Vacant

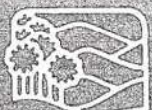
IMPERIAL LA -FROM CARRIAGE LA NORTH

ZIP CODE 83704
CARRIAGE PARK CONDOMINIUMS
1103 Olding J A 323-1747
1104 Mathews Frank G 376-2915
1110★Links Jan
1111 Elison Patricia 323-9093
1120 Yount L 377-5245
1121 Bethel Willard O 375-0605
1130 Kurdy Thos J 375-2831
1133 De Chambeau P Gale 377-1288
1140 Clements K L 322-2780
1145 Bowlby M R 323-8161

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 STATEHOUSE OFFICE / 6th & Washington, Tel. 383-7955
 CAPITAL OFFICE / 27th & Fairview, Tel. 383-7844
 BROADWAY OFFICE / 1000 Broadway Avenue, Tel. 383-7868
 FAIRVIEW AT FIVE MILE / 10556 Fairview, Tel. 383-7995

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BOISE, ID 8370

200

W IDAHO ST—Contd

- 1401 Boise Heating & Air Conditioning Inc
 contrs 342-9336
 1404 Newman's Little Wheel Muffler &
 Upholstery Shop auto supplies
 343-4959
 1412 Far West Mortgage & Escrow
 343-6867
 101 Chicago Title Co Of Idaho
 336-6515
 103 Chicago Title Co Of Id (Addl Sp)
 336-6515
 104 Rainier Credit Co mtge loans
 345-2210
 102 Commercial Credit 342-4585
 202 Swanson Setzke & Cushman lwyrs
 345-9400
 203 Vacant
 204 Farwest Mortgage & Escrow
 343-6867
 205 Vacant
 206 T V W Investments 345-0850
 206 Janzen Rehabilitation Counseling
 Services 344-4285
 206 Peregrine Ind Inc 345-9325
 207 Ranier Mortgage Co 336-3830
 1413 Fubar tavern 342-9989
 15TH ST INTERSECTS
 1522 Sallaz & Scanlan lwyrs 336-1145
 Doolittle Michael J lwy 336-1145
 1526 Vacant
 1528 Lind Realty 343-7989
 1530 Sigma Research Corp
 Lurie & Associates data processing
 344-4250
 Red Carpet Realty 344-5707
 1532 Tillotson Real Estate 342-3623
 16TH ST INTERSECTS
 17TH ST INTERSECTS
 1700 Rainbow Books 336-2230
 APARTMENTS TOWNHOUSE
 A Madison Michele A 384-1757
 B Vacant
 C No Return
 D Vacant
 1707 Reynolds Joan C 342-8374
 1709 Cauffield Marguerite L Mrs ©
 344-3622
 1710 Price Properties Real Estate 384-1700
 1711 Strong Joseph H © 344-2274
 1712 Vacant
 1 Curtis P L 345-2191
 2*Stout Kelly
 1715½ Evangelho Josh
 1718 Vacant
 1722 Rencher Brian P © 343-7253

N 18TH ST INTERSECTS

- 1804 Haskin Dave J 336-3267
 1805 Vacant
 1807 No Return
 1808 Hauch Norman D
 1811 Johnson Florence E Mrs © 344-8246
 1812 Bennit Michael 344-2445
 1812½ Uberuaga Domingo C 342-0388
 1815 Paul Carl W © 342-2438
 1818 Spidell
 Bartlett
 1821 Jones Joyce J Mrs © 343-8148
 N 19TH ST INTERSECTS
 1903 Gaskill Shirley
 1904 Vacant
 1905 Baptiste Barbara Mrs © 343-6768
 1905½a Terry Charles
 1905½b*Ellis Kim
 1906 Coy Kenneth W © 342-0438

- 1907 Jayo Luis © 344-8149
 1909 No Return
 1910*Phillip Lisa M 344-3239
 1911 No Return
 1912 Vacant
 1913*Pratt Joseph W 336-5263
 1914 Harmon Theo V © 343-1760
 1915 Annett Avis L 342-1884
 1917 Vacant
 N 22D ST INTERSECTS
 2202 Horton Arden D © 344-0393
 2209 Garvin Shirley 345-3246
 2209½ Vacant
 2211 Vacant
 2214 Atkinson J Preston © 344-8884
 2215*Foxworthy Randall 343-3862
 2216 Vacant
 2218 Smith Marjorie A Mrs © 343-8116
 2219 Vacant
 2222 Residential Property Management
 344-6681
 Engineers Surveyors Group Inc
 consulting engs 384-5411
 Allied Research 342-2121
 N 23D ST INTERSECTS
 2311 Merritt Debbie 343-6422
 2315 Pratt Loren W
 2317*Kunter Richd 343-4184
 2319 Consolidated Insurance Agency Inc
 343-7707
 2321 No Return
 2323 No Return
 N 24TH ST INTERSECTS
 2400 Smith Melvin A © 343-0747
 2401 Canfield Enid L Mrs © 344-9513
 2405 No Return
 2405½*Hellwig Chris 384-5283
 2406 Mc Allister Craig A
 2410 Buttel Larry D © 342-4885
 2411 Mendiola John S © 343-8072
 2412 Letemendi Bonifacio © 343-8218
 2415*Whitney Robt A 383-9379
 2415½ Vacant
 2416 Vacant
 2419 Pender Thelma Mrs © 342-1372
 2421*Sells David A
 2424 O'Halloran Margaret H Mrs 344-8834

N 25TH ST INTERSECTS

- 2501*Gregory James 376-1705
 2502 No Return
 2504 Goemaat John © 343-8985
 2505 Vacant
 2510 No Return
 2511 No Return
 2512 Arregui Marie Mrs © 343-3092
 2513 Kerley Lura E Mrs © 344-5675
 2515 Vacant
 2516 Shook Harry W © 344-3137
 2517 Vacant
 2519 No Return
 2520 Backes John F © 343-1417
 2523 No Return
 N 26TH ST INTERSECTS
 2600 No Return
 2604 Gilmore Cecil B Rev © 343-5566
 2608 Vacant
 2618 Stewart's Gem Shop jewelers 342-1151
 2620 Stewart Alberta Mrs © 342-1151
 2621 Intermountain Life Company Inc
 344-0022
 2624 Davis Willard E trash remover contr
 343-8457
 2627 Henry-Rust & Co ins 344-3501

N 27TH ST INTERSECTS

- 2700 All Foreign Auto Parts used auto
 parts 344-7832
 2701 Bronco Motors Inc used cars 345-8510
 2715 Vacant
 2724 Vacant
 28TH ST INTERSECTS
 2800 A-One Quality Glass Corp 344-8458
 2801 Oakley Electronics Supply 343-7937
 2803 Grant Wm E © 344-2146
 2809 Andy's Supply Inc copper wholesaler
 344-3568
 2810 General Auto Parts 342-4531
 2816 Vacant
 N 29TH INTERSECTS
 2903 H And W Fine Foods gro 343-3710
 2923 Tate's Rentals tool 342-5541

ILLINOIS AV (SOUTH BOISE)—FROM 700 PENNSYLVANIA AV SOUTH

ZIP CODE 83706

- 2101 Babcock Larry J © 344-9871
 2109 Wall Linda M 345-5157
 2115 Browning Mary I Mrs
 2121 Neufeld Wm D 343-4061
 2133 Mc Clure John W ©
 2141 Howard Barbara ©
 2149 Marker Debbie L Mrs ©
 2155 No Return
 2163 Vacant
 2177 Freeman Conley V © 343-7413
 2189*Minter Christine 344-9126
 2195 Tarter Jerry L 336-5081

IOWA ST INTERSECTS

- 2213 Griffin Tad H © 344-3661
 2215*Bell Robt 384-5271
 2221 Martindale Kevin C © 345-2915
 2222 Vauk Gary J © 336-4526
 2229 Strong Vern D © 342-3266
 2230 Johnson Ronald C © 343-9249
 2234 Mc Farland Thos S © 336-4516
 2238 Helm Emery W © 336-7336
 2240 Wood Sarah E Mrs © 343-0911
 2300 Russell Dennis M 336-2662
 2301 Vacant
 2363 Rarick Paul A © 343-9789

IMMELMAN ST —FROM BYRD ST WEST 1 SOUTH OF HARVARD ST

ZIP CODE 83705

FARMAN ST INTERSECTS

IMMIGRANT PASS WAY —FROM 510 COUNCIL BLUFFS WAY EAST

ZIP CODE 83507

- 3402 Christensen Margie L Mrs ©
 3427 Bertero Geraro T © 336-4669
 3450 Collins Mike
 3451 Crockett Larry D © 344-0988
 3521 Buse Dennis W © 376-6300
 3533 Hall Mildred L Mrs © 345-1363
 3546 Christensen Peggy Lee 336-2369
 3547 Martin Jon R © 343-6169
 3559 Humphries Ronald G © 344-9347
 3571 Nygaard Erne M © 342-1033
 SWEETWATER DR INTERSECTS
 3594*Mc Donald Richd B © 345-2783

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155

W IDAHO ST—Contd

- 1109 Parking Lot
1118 El Korah Temple 343-0571
1125 Parking Lot
ZIP CODE 83706
N 12TH ST INTERSECTS
1209 Vacant
1213*Timson Herbert L © 343-8396
1217 Idaho Power Co (Br Ofc)
1220 Idaho Power Co 345-7210
N 13TH ST INTERSECTS
1304 Idaho Creameries (Whse)
1312 Addressograph-Multigraph Corp
business machines 342-5577
1315 U S Occupational Safety & Health
Admn 384-1867
1317 Capital Financial Services 343-6411
1319 U S Social Security Administration
342-2711
1322 Intermountain Realty Associates Inc
real estate sls 345-2165
Century 21 Corona Realty 345-1180
1324 Hummel Hummel Jones Miller &
Shawver archt 343-7523
1325 U S Social Security Admn 384-1250

N 14TH ST INTERSECTS

- 1401 Boise Heating & Air Conditioning Inc
contrs 342-9336
1404 Boise Cold Ceramic 344-5721
Newman's Little Wheel Muffler &
Upholstery Shop auto supplies
343-4959
1412 Boise Real Estate Plaza
Ada County Escrow 345-3826
Chicago Title Co Of Idaho 336-6515
First Mortgage Co Of Idaho 336-5600
Rainier Mortgage 336-5600
1413 Tap A Keg tavern 342-9977
15TH ST INTERSECTS
1516 Vacant
1522 Sallaz Scanlan Beer & Cain Chartered
336-1145
1524 No Return
1526 Empire Investigations 336-1485
National Financial Services Inc
336-1172
1528 Vacant
1530 Gratton Bernie & Co 345-5677
1532 Tillotson Real Estate 342-3623
16TH ST INTERSECTS
17TH ST INTERSECTS
1700 Paperback Book Exchange The paper
back books ret 345-4627
1706 Apartments
A*Lee Gerald
B*Thomas Shannon L
C Vacant
D Vacant
1707*Duerock Betty 342-1703
1709 Caufield Marguerite Mrs © 344-3622
1710 Vacant
1711 Strong Joseph H © 344-2274
1712 Gorrell Gary 345-1326
1715*Allen Tama 344-4804
Hammer Dan
1718 Pharis Kirk W
1722 Rencher Brian P © 343-7253

N 18TH ST INTERSECTS

- 1804 Hoffman Janet
1805*Paul Carl W 342-2438
1807 Vacant
1808 Marquess Violet L Mrs © 342-8446
1811 Johnson Florence E Mrs 344-8246

- 1812 Alegria Al I © 343-0307
1815 Collord Lloyd W © 342-6987
1818 Gress Wayne M 336-3687
1819 Isbell Kathryn S Mrs
1821 Jones Joyce J Mrs © 343-8148
N 19TH ST INTERSECTS
1903 Vacant
1904 No Return
1905 Baptiste Joe © 343-6768
1905½*Lee Jeff
1906 Coy Kenneth W 342-0438
1907 Jayo Luis © 344-8149
1909 Vacant
1910 Wilson Charlotte R
1911 Hooper Allen L 342-7322
1912 Vacant
1913 Vacant
1914 Harmon Theo V © 343-1760
1915 Annett Auice L 342-1884
1917*Hoyt Stanley S
N 22D ST INTERSECTS
2202 Horton Arden D © 344-0393
2209 Gritton Ida Mae © 344-0058
2211 No Return
2214 Atkinson J Preston 344-8884
2215 Jett Dave
2216 Dehlin Walmar © 343-1177
2218 Smith Marjorie Mrs © 343-8116
2219*Burnes Jene © 336-9076
2222 Raeder-Van Deusen Co ins 343-2568
Idaho General Agency Inc 343-1865
N 23D ST INTERSECTS
2315 Vacant
2319 No Return
2321 Zankel Michl 342-6287
2323 Montgomery Marguerite Mrs ©
343-9467
N 24TH ST INTERSECTS
2400 Smith Melvin A © 343-0747
2401 Canfield Enid L Mrs © 344-9513
2406 Wadsworth Carol J © 344-6045
2410 Russ's Electric contr 343-6344
2411 Mendiola John S © 343-8072
2412 Letemendi Bonifacio © 343-8218
2415*Kress Clarence H 343-0324
2416 Snodgrass Flossie O Mrs © 343-4292
2419 Pender Thelma Mrs © 342-1372
2421 Howard Charles C 345-0667
2424 Urresti Dan M © 345-0462

N 25TH ST INTERSECTS

- 2501*Daniel Arron
2502*Nelson Robin J © 336-0914
2504 Goemaat John © 343-8985
2505 Deveau Paul J © 336-1884
2510 Davis Essie E Mrs © 343-4055
2511 Smith Oma L Mrs © 343-3732
2512 Arregui Marie Mrs © 343-3092
2513 Kerley Lura E Mrs © 344-5675
2515 Gates Douglas B 343-4758
2516 Shook Harry W © 344-3137
2517 Greer Homer C © 345-0735
2519 Vacant
2519½ Vacant
2520 Backes John F © 343-1417
2523*Cowles Stephen ©
N 26TH ST INTERSECTS
2600 Stone Herbert R © 345-4274
2604 Gilmore Cecil B Rev © 343-5566
*Roork Helen
2608 No Return
2618 Stewart's Gem Shop jewelers 342-1151
2620 Stewart Alberta Mrs © 342-1151
2624 Ward Barbara J 342-2404
2627 Henry-Rust & Co 344-3501
N 27TH ST INTERSECTS

- 2700 Seven-Up Bottling Co 343-4061
2701 Bronco Motors Inc used cars 345-8510
2711 Vacant
2715 Willig Louis V © 345-8055
2723 Parker Jay A photographer 345-0807
2724 Seven Up Bottling Co (Office)
343-4061
28TH ST INTERSECTS
2800 A-One Glass Corp 344-8458
2801 Oakley Electronics Supply 343-7937
2803 Grant Wm E
2809 Andy's Supply Inc copper wholesaler
344-3568
2810 General Auto Parts Co 342-4531
2814*Mc Bride Nancy
2816 Vacant
N 29TH INTERSECTS
2903 Johnson Beef 345-8525
Johnson's Beef 345-8525
2923 Tate Rentals tool 342-5541

ILLINOIS AV (SOUTH BOISE)—FROM 700 PENNSYLVANIA AV SOUTH

ZIP CODE 83706

- 2101 Babcock
2109 Hall Jesse J © 345-5470
2115 Vacant
2121 Vacant
2133*Mc Clure John W © 336-0573
2149 Dingeldein Dennis © 342-5409
2155*Sanborn Lonnie W © 345-8039
2163 Bowlden Gary L © 343-2269
2177*Freeman Conley V © 343-7413
2189*Perkins Pat L © 344-1478
2195 Stringfellow Jack C ©
IOWA ST INTERSECTS
2213 Griffin Tad H © 344-3661
2215 Haag John G © 343-5883
2221 Vacant
2222 Vacant
2229 Strong Vern D ©
2240 Wood Ellen Mrs © 343-0911
2300*Fesler Richd A © 343-8092
2301 Antique Bargain Barn & Yesteryear
Dolls 344-0224
Clark's Watch Shop 344-0224
2363 Yesteryear Doll Museum 344-0224
Clark Norten G © 344-0224

IMMELMAN ST —FROM BYRD ST WEST 1 SOUTH OF HARVARD ST

ZIP CODE 83705

FARMAN ST INTERSECTS

IMPERIAL LA —FROM 1078 COLE RD WEST IN A SEMI-CIRCLE

CARRIAGE PARK CONDOMINIUMS

- 1103*Kulm R Douglas 376-8100
1104*Cullimores Howard M 376-9213
1111 Vacant
1121*Bethel Scott

IMPERIAL WAY —FROM 7504 EMERALD WAY NORTH

- 812*Guidi Lee 376-4840
902 Johnson Orrin W © 375-5048
903 De Ninno Annibale © 376-0461
904 Elliott Geo D 377-1628
908 Woodington Wm J © 375-3919



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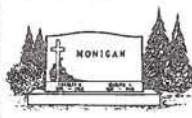
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W IDAHO ST—Contd

- 1 Mc Neilly Wm L 342-7834
- 11 Bell Lloyd
- 18 Therrien Willard
- 22★Lyon Nate
- 27 Dickerson Clifford
- 29 No Return
- 32 Jackson Geo

STREET CONTINUED

- 713 Vacant
- 714 Whipple's Gifts & Luggage 342-6221
- 715 Lindbloom's Decorator Wallcoverings 342-5528
- 716 U S Agrl Animal & Plant Health Serv animal health div 342-2711
- State Bur Of Animal Ind 384-3256
- 718 Gem State Optical Co Inc 344-6545
- 720 Peebles-Winter Music Co 343-1014
- 722 Vacant

8TH ST INTERSECTS

- 802 Mode Ltd The dept store 342-4551
- 805 Simplot Building
- Simplot J R Co food processors 343-7545
- Rooms
- 300 Langroise Clark Sullivan & Smylie lwyrs 343-3676
- 302 Swan Jess W Insurance Agency 342-3525
- 306 Associated Industries Of Idaho 343-1849
- 310 Mc Clenahan & Greenfield lwyrs 342-4684
- 316 Idaho Farm Bureau Federation 342-2688
- 400 Hamersley Robt L & Associates management consultant 342-5231
- 400 Hamersley Robt L acct 342-5231
- 402 Chalfant Charles L lwyrs 342-0622
- 403 Fibreboard Corp box mfrs 344-8644
- 404 Vacant
- 407 Rotsaert R J optom 342-3096
- 408 Idaho Mining Association 342-0031
- 412 Associated Taxpayers Of Idaho Inc 344-5581
- 414 Vacant
- 421 Weston & Weston lwyrs 345-9121
- 423 Republican State Central Committee 343-6405

STREET CONTINUED

- 807 Idaho Power Co (sls rm & div ofc) 344-2511
- 811 Walston & Co Inc stockbrokers 343-4851
- 814 Royal Optical 342-1391
- 814½ Red Apple The sandwich shop 345-4060
- 815 Brookover's Inc women's shop 342-2624
- Brookover's Town Teen Shop 342-2033
- Brookover's Beauty Salon 344-2222
- 816 Zale's Jewelry 344-8329
- 818 Call Jewelers Inc 343-3444
- 819 Roper Clothing Co men's clo 343-2933
- 821 Buckwalter's Smart Shoppe womens clo 342-1651
- 822 Hudsons Shoes Inc 345-0191
- 824 Lerner Shops womens clo 342-6641
- 825 City Cobbler shoe dlr 343-1729
- 828 Ballou-Latimer Co 343-5681
- 840 Sexty's Jewelers 342-7751
- 9TH ST INTERSECTS
- 900 Baker's Shoes 342-9663
- 905 First Security Bank Building (side entrance) Rooms

- 300 Moffatt Thomas Barrett & Blanton lwyrs 344-7825
- 402 Wright-Leasure Co realtors 345-1842
- 404 Vacant
- 405 Driscoll J Lynn ofc 344-3741
- 407 First Security Bank Idaho Student Loan Center 345-6900
- 409 First Security Bankamericard 345-6900
- 409 First Security Bank Professional Management Servs 344-3541
- 411 Vacant
- 418 Boyd Paul S lwyrs 344-9443
- 425 Idaho State Bar Association 342-8958
- 426 Vacant
- 430 Webb Johnson Tway & Redford lwyrs 342-6571
- 436 Crossland Jackson Jones & Jones accts 343-5437
- 511 Industrial Indemnity Co ins 344-7641
- 600 Terteling J A & Sons bldg contrs 344-3576
- 906 Kress S H & Co dept store 343-8331
- 915 Vacant
- 917 Utah Mortgage Loan Corp 342-7771
- 918 Bon Marche The dept store 344-5521
- Empire Room restr
- 923 Daly & Co Inc 344-8621

10TH ST INTERSECTS

- 1001 Provident Federal Savings 343-1833
- Provident Federal Building Rooms
- 304 Florentz Theo R ophthalmologist 342-5683
- 305 Mountain Bell traffic dept 343-7581
- 400 Touche Ross & Co accts 343-4877

STREET CONTINUED

- 1018 Idaho First National Bank motor bank

11TH ST INTERSECTS

- 1101 General Motors Acceptance Corp finance 342-5605
- 1103 Vacant
- 1105 Lomas & Nettleton Co The inv bankers 345-5600
- 1106 Vacant
- 1107 Avco Financial Services 342-8973
- 1108 Vacant
- 1109 Metered Parking Lot
- 1118 El Korah Temple 343-0571
- 1125 Metered Parking Lot
- ZIP CODE 83706

12TH ST INTERSECTS

- 1209 Vacant
- 1213 White Nina Mrs @ 342-4419
- 1217 Gold Strike Gift Center premium store 344-5381
- 1220 Idaho Power Co 344-2511
- 13TH ST INTERSECTS
- 1304 Idaho Creameries (Whse)
- 1312 Addressograph-Multigraph Corp business machines 342-5577
- 1315 U S Social Security Administration 342-2711
- 1317 City Finance Co 343-6411
- 1319 Vacant
- 1322 Little Wheel Auto Supply Inc 342-5561
- 1324 Hummel Hummel Jones & Shawver archt 343-7523
- 1325 Fitz Auto Supply 344-6535

14TH ST INTERSECTS

- 1401 Boise Heating & Air Conditioning Inc 342-9336
- 1404 Little Wheel Auto Supply Inc (Muffler Shop) 343-4959
- 1412 Boise City Demonstration Agency 345-9400
- Boise Model Cities 345-9400
- 1413 Tap A Keg tavern 342-9977

15TH ST INTERSECTS

- 1508 Apartments
- 1★Cramer Ann
- 2★Mc Cormick Judson G
- 3★Condit Scott
- 1508½ Stevens Marjorie L Mrs 343-2985
- Rear Boston Earl
- 1516 Advertisers Co The adv shoppers guide 342-6888
- 1522 Vacant
- 1524 General Electric Co sls 344-8444
- 1526 Negative Studio The 343-8516
- 1528 Vacant
- 1530 State Outfitters & Guides Board 344-0211

1532 Tillotson Real Estate 342-3623

16TH ST INTERSECTS

- 1615 Vacant
- 1617 Vacant
- 17TH ST INTERSECTS
- 1700 Book Drive In The paper back books ret

1706 Apartments

- A Vacant (Apts A-D)
- 1707★Mc Dowell Richd E 345-6327
- 1709★Canfield Marguerite Mrs @ 344-3622
- 1710★Saint Amand Claire 336-1440
- 1711★Strong Joseph H @ 344-2274
- 1712 No Return
- 1715★Wood Jerry
- Bsmrt★Pendlebury Kathie 342-3894
- ★Adams Carl
- 1718 Mairs Minnie E Mrs @ 344-4632
- 1722★Wright Brent C 345-3766

18TH ST INTERSECTS

- 1804 Ward Larry D 343-3885
- 1805★Burgtner Roger
- 1808 Marquess Violet L Mrs @ 342-8446
- 1811★Johnson Florence 344-8246
- 1812 Alegria Albert I @ 343-0307
- 1812½ Rogers Jack A 342-4444
- 1815 Collard Lloyd W @ 342-6987
- 1818★Lindhartsen Deon Mrs 343-9928
- 1819 Pickens Nona V Mrs @ 343-2322
- 1821 Jones Joyce J Mrs 343-8148
- 19TH ST INTERSECTS
- 1903 Alloway Dennis @ 344-7024
- 1904 Thayer Gordon D @
- 1905 Harris Mike @ 345-0853
- 1906 Coy Kenneth W 342-0438
- 1907 Jayl Louis @ 344-8149
- 1909 Rollins L Joan Mrs 344-2427
- 1910 Baptiste Joseph E @ 343-6768
- 1911★Kline Donald R
- 1912★King Dennis F 343-9848
- 1913 Goehring Marie Mrs 343-7649
- 1914 Harmon Theo V @ 343-1760
- 1915 Hamilton Edna 343-1533
- 1917 Napper Bob L 345-1190
- 20TH ST INTERSECTS
- 21ST ST INTERSECTS
- 22D ST INTERSECTS
- 2202 Horton Arden D @ 344-0393
- 2209 Friedmeyer Mildred Mrs @ 342-6794
- 2209½ Jullion Dan 345-1312



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(See Page 10
Buyers' Guide)

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GARDEN CITY OFFICE: 3301 CHINDEN BLVD.
VISTA VILLAGE OFFICE: 832 VISTA AVE.

MAIN OFFICE: 9th and IDAHO
DRIVE-IN: 9th and BANNOCK
STATE ST. OFFICE: 16th and STATE



GATE CITY STEEL CORPORATION

(See Page 83 Buyers' Guide)

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Tel. 342-5555

112

IDAHO ST W--Contd

- 713 MURPHY FINANCE CO 342-6526
- 714 WHIPPLE'S GIFTS & LUGGAGE 342-6221
- 715 LINDBLOOM'S DECORATOR WALL COVERINGS 342-5528
- 716 U S AGRI RESEARCH SERV ANIMAL HEALTH DIV 342-2711
- 718 GEM STATE OPTICAL CO INC 344-6545
- 720 PEEBLES-WINTER MUSIC CO 343-1014
- 722 VACANT

---8TH ST INTERSECTS

- 802 MODE LTD THE DEPT STORE 342-4551
- 805 SIMPLOT BUILDING SIMPLOT J R CO FOOD PROCESSORS 343-7545
- ROOMS
- 300 LANGROISE CLARK & SULLIVAN LWYRS 343-3676
- 302 SWAN JESS W INSURANCE AGENCY 342-3525
- 306 ASSOCIATED INDUSTRIES OF IDAHO 343-1849
- 308 VACANT
- 309 VACANT
- 310 MC CLENAHAN & GREENFIELD LWYRS 342-4684
- 316 IDAHO FARM BUREAU FEDERATION 342-2688
- 318 AMERICAN AGRICULTURAL MARKETING ASSN 342-2688
- 319 MC CLURE JAMES US CONGRESSMAN 343-1421
- 320 VACANT
- 326 ZACHRESON & HANSEN LWYRS 343-4897
- 330 SNAKE RIVER VALLEY ELECTRICAL ASSN 342-1251
- 400 HAMERSLEY ROBT L & ASSOCIATES MANAGEMENT CONSULTANT 342-5231
- 400 HAMERSLEY ROBT L ACCT 342-5231
- 402 CHALFANT CHARLES L LWYR 342-0622
- 403 FIBREBOARD CORP BOX MFRS 344-8644
- 404 DOUGLAS GUARDIAN WAREHOUSE CORP 344-0988
- 407 ROTSART R J OPTOM 342-3096
- 408 IDAHO MINING ASSOCIATION 342-0031
- 412 ASSOCIATED TAXPAYERS OF IDAHO INC 344-5581
- 414 VACANT
- 420 ANDERSON & KELLY ENG CONSULTANTS 342-6629
- 423 REPUBLICAN STATE CENTRAL COMMITTEE 344-7875
- 426 VACANT
- STREET CONTINUED
- 807 IDAHO POWER CO (SLS RM & DIV OFC)
- 811 WALSTON & CO INC STOCKBROKERS 343-4851
- 814 ROYAL OPTICAL 342-1391
- 815 BROOKOVER'S INC WOMEN'S SHOP 342-2624
- BROOKOVERS BEAUTY SALON 344-2222
- 816 ZALE'S JEWELRY 344-8329
- 818 WEISFIELD'S OF BOISE INC JWLRs 344-7924

- 819 ROPER CLOTHING CO MEN'S CLO 343-2933
- 821 BUCKWALTER'S SMART SHOPPE WOMENS CLO 342-1651
- 822 LA BOUTIQUE FASHION SHOP 344-0908
- 824 LERNER SHOPS WOMENS CLO 342-7169
- 825 CITY COBBLER SHOE DLR 343-1729
- 828 BALLOU LATIMER DRUG CO 343-5681
- 840 SEXTY'S JEWELERS 342-7751
- 9TH ST INTERSECTS
- 900 BAKER'S SHOES 342-9663
- 905 FIRST SECURITY BANK BUILDING ROOMS
- 300 MOFFATT THOMAS BARRETT & BLANTON LWYRS 344-7825
- 402 MANWEILER & WEBB LWYRS 342-6571
- 403 VACANT
- 404 ROSARIO EXPLORATION CO MINING EXPLORATION 342-7473
- 405 DRISCOLL J LYNN OFC 344-3541
- 407 GRAFF ACCOUNTING SERVICE 343-7171
- 411 UTAH MORTGAGE LOAN CORP 342-7771
- 415 GREENE MAURICE H LWYR 421 VACANT
- 425 ELAH & SMITH LWYRS 342-8959
- 425 IDAHO STATE BAR ASSOCIATION 342-8958
- 430 TRAVELERS INSURANCE CO 342-7741
- PHOENIX OF HARTFORD INSURANCE CO CLAIMS OFC 342-1911
- 436 CROSSLAND & JACKSON ACCTS 343-5437
- 511 INDUSTRIAL INDEMNITY CO INS 344-7641
- 600 TERTELING COMPANY THE BLDG CONTRS 344-3576
- 611 TERTELING J A & SONS INC BLDG CONTRS 344-3576
- STREET CONTINUED
- 906 KRESS S H & CO DEPT STORE 343-8331
- 918 BON MARCHE THE DEPT STORE 344-5521
- EMPIRE ROOM RESTR
- 923 DALEY & CO INC 344-8621
- 10TH ST INTERSECTS
- 1001 PROVIDENT FEDERAL SAVINGS 343-1833
- 1011 PROVIDENT FEDERAL BUILDING AETNA INSURANCE CO 342-3523
- ROOMS
- 304 FLORENTZ THEO R OPTOM 342-5683
- 400 JENNINGS BEN W ACCT 343-4877
- 400 KALDENBERG MILAN K ACCT 343-4877
- 400 TOUCHE ROSS BAILEY & SMART ACCTS 343-4877
- 400 MARTELL ROGER A ACCT 343-4877
- 400 DUNCAN ROBT ACCT 343-4877
- 400 OVERSTREET ROBY D ACCT 343-4877
- STREET CONTINUED
- 1018 IDAHO FIRST NATIONAL BANK MOTOR BANK
- 11TH ST INTERSECTS
- 1101 GENERAL MOTORS ACCEPTANCE CORP FINANCE 342-5605

- 1103 IDAHO CLAIMS SERVICE INS ADJ 343-6489
- 1104 BUSINESS MEN'S HEALTH CLUB YOUNG MEN'S CHRISTIAN ASSOCIATION 344-5501
- 1105 IDAHO LIVESTOCK PRODUCTION CREDIT ASSOCIATION 343-4431
- 1107 BOISE OFFICE EQUIP (STGE)
- 1108 ENGINEERING INC CONSULTING ENGS 344-7988
- 1109 HESSING-CHRYSLER PLYMOUTH INC AUTO DLRS 342-7734
- 1112 VACANT
- 1114 GEM STATE PHOTO 343-1828
- 1118 EL KORAH TEMPLE 343-0571
- 1125 IDAHO FINANCE CO 342-8973
- IDAHO INSURANCE AGENCY 342-8973

---ZIP CODE 83706

---12TH ST INTERSECTS

- 1200 POWERS 76 SERVICE 343-0381
- 1209 ROSS LUCIE J MRS 344-3974
- 1213 WHITE NINA MRS 342-4419
- 1217 GOLD STRIKE GIFT CENTER PREMIUM STORE 344-5381
- 1220 IDAHO POWER CO 344-2511
- 13TH ST INTERSECTS
- 1304 IDAHO CREAMERIES (WHSE)
- 1312 ADDRESSOGRAPH MULTIGRAPH CORP BUSINESS MACHINES 342-5577
- 1315 BOISE BUSINESS COLLEGE 342-7719
- TEL-A-BEAM EMP AGCY 342-7717
- 1322 LITTLE WHEEL AUTO SUPPLY INC 342-5561
- 1324 HUMMEL HUMMEL JONES & SHAWVER ARCHT 343-7523
- 1325 FITZ AUTO SUPPLY 344-6535
- 14TH ST INTERSECTS
- 1401 BOISE HEATING & AIR CONDITIONING INC 342-9336
- 1404 LITTLE WHEEL AUTO SUPPLY INC (SERV CENTER) 343-4959
- 1410 IDAHO POWER (DISTR DEPT) 344-2511
- 1412 VACANT
- 1413 TAP A KEG TAVERN 342-9977
- 1414 BUILDING SPECIALTIES WHOLESALE CO 344-3301
- RUTLEDGE BROS INC ROOFING CONTRS 344-4111
- 1416 VACANT
- 15TH ST INTERSECTS
- 1508 APARTMENTS
- 1 NO RETURN
- 2 NO RETURN
- 3 VACANT
- 1508% BEASLEY MERVIN C REAR BOSTON EARL
- 1518 A-1 BUSINESS SERVICE PRINTING 342-2181
- 1522 RETAIL STORE EMPLOYEES UNION LOCAL 1614 343-5192
- 1524 GENERAL ELECTRIC CO UTILITY & IND SLS 344-8444
- 1526 NEGATIVE STUDIO THE 343-8516
- 1528 VACANT
- 1530 STATE OF IDAHO OUTFITTERS & GUIDES BOARD 344-0211
- 1532 TILLOTSON BOB REAL ESTATE 342-3623
- 16TH ST INTERSECTS
- 1615 VACANT
- 1617 MAXWELL LONNIE W 342-9295
- 17TH ST INTERSECTS
- 1700 DAIRY DRIVE-INN RESTR 342-4452
- 1706 APARTMENTS



PICK-UP AND DELIVERY
FREE ESTIMATES

4540 FEDERAL WAY (First Bench)



TEL. 343-3649

SUMMERS FUNERAL HOME

FUNERAL DIRECTORS-EMBALMERS

A. DALE McMURTRY, Owner-Manager

1205 W. BANNOCK

BOISE

PHONE 343-6493

113

IDAHO ST W-Contd 1706 Apts-Contd

A BEAN LARRY
B LANCASTER FAYE 344-6123
C VACANT
D VACANT
1707 LEIB BLANCHE MRS
1709 CAUFIELD GUY H @ 344-3622
1710 HELEN'S CHINA STUDIO 342-7297
RUSH CLYDE I @ 342-7297
1711 STRONG JOSEPH H @ 344-2274
1712 VACANT
1715 BLANTON DELLA MRS
STEELE LARRY 344-9514
BSMT MC QUIRK JEAN MRS
1715% BAKER PAUL E 343-7652
1718 MAIRS MINNIE E MRS @ 344-4632
1719 VACANT
1722 VACANT

---18TH ST INTERSECTS

1804 HASKINS RUSSELL G 343-4556
1805 VACANT
1807 LUCERO MARIA S MRS
1808 MARQUESS VIOLET L MRS @
342-8446
1811 VACANT
1812 ALEGRIA ALBERT I @ 343-0307
1812% ROGERS JOHN A 342-4444
1815 COLLARD LLOYD W @ 342-6987
1818 NO RETURN
1818% BAYER EDITH E MRS 342-6449
1819 PICKENS NONA V MRS @ 343-2322
1821 JONES JOYCE J MRS 343-8148
---19TH ST INTERSECTS

1903 ALLOWAY ETHEL G MRS @
343-2486
1904 THORNTON ALBERTA MRS @
342-4008

1905 TUCKER RAYMOND E @ 342-5706
1906 COY KENNETH W 342-0438
1907 SMITH EDWIN L @ 342-3174
1909 ROLLINS JO 344-2427
1910 BAPTISTE MURIEL 343-6768
1911 CALL BERYL R MRS 344-1467
1912 BAPTISTE JOE E @ 343-6768
1913 GOEHRING MARIE MRS 343-7649
1914 HARMON THEO V @ 343-1760
1915 CAMPBELL IRENE MRS 344-8945
1915% VACANT
1917 VACANT

---20TH ST INTERSECTS

---21ST ST INTERSECTS

---22D ST INTERSECTS

2202 HORTON ARDEN D @ 344-0393
2209 FRIEDMEYER MILDRED MRS
342-6794

2209% HARDEN CALVIN L 343-0249
2211 STARKEY WM L 342-4138
2214 ATKINSON J PRESTON @ 344-8884
2215 SMITH VILAS W @ 343-7339
2216 LEHLIN WALMAR @
2218 SMITH HAROLD H @ 343-8116
2219 COURTNEY MILDRED MRS @
342-0675

2220 VACANT

---23D ST INTERSECTS

2311 VACANT
2315 RUSH ALTA M MRS
2319 SLAATHAUG GARY R @ 342-6320
2321 ZANKEL MICHL 342-6287
2323 MONTGOMERY MARGUERITE MRS @
343-9467

---24TH ST INTERSECTS

2400 SMITH MELVIN A @ 343-0747
2401 CANFIELD MARK
2405 VACANT
SCOTT NORA W MRS

2406 GRAY CAROLYN E MRS @ 343-6262
2410 RUSS'S ELECTRIC CONTR
343-6344

WORTHAN RUSSELL S @ 343-6344

2411 MENDIOLA JOHN S @ 343-8072

2412 MADARIETA YSIDORAY MRS @
343-8218

2415 VACANT

2416 SNODGRASS FLOSSIE O MRS @
343-4292

2419 PENDER RICH D @ 342-1372

2421 CHAFFIN PETER E 344-0717

2424 URRESTI HILARIO @ 343-1027

---25TH ST INTERSECTS

2501 WILLY RAY H 344-0758

2502 JOHNSON RALPH A @ 343-3735

2504 GOEMAAT JOHN @ 343-8985

2505 TURNER WM G @ 342-1346

2510 DAVIS ESSIE E MRS @ 343-4055

2511 SMITH WADE N @ 343-3732

SMITH DAVID W

2512 ARREGUI JOHN A @ 343-3092

2513 KERLEY LURA E MRS @ 344-5675

2515 NELSON SEYMOUR L @ 344-2492

2516 SHOOK HARRY W @ 344-3137

2517 WHITE HARRY

2519 VACANT

2519% DALSEGLIO VICKI 344-6759

2520 BACKES JOHN F @ 343-1417

2523 VACANT

---26TH ST INTERSECTS

2600 BELCHER JOYCE C MRS

2604 PIC'S VENDING MACH 343-5566

GILMORE CECIL B @ 343-5566

2608 VACANT

2618 STEWART'S GEM SHOP JEWELERS

342-1151

2620 STEWART DUDLEY M @ 342-1151

2624 SWARM TREE SERVICE 344-7284

SWARM LOYDE O 344-7284

---27TH ST INTERSECTS

2700 SEVEN-UP BOTTLING CO 343-4061

2701 VACANT

2710 VACANT

2711 BRADELY WM C 344-9915

2714 VACANT

2715 GORSUCH CHARLES @

2720 VACANT

2723 HIATT LORRAINE @ 344-2134

2724 NO RETURN

---28TH ST INTERSECTS

2802 OSBORN LYNN A 343-7319

2803 MC CURRY JOHN A 343-6219

2808 BOWMAN THURMAN A 344-5156

2809 ANDY'S SUPPLY INC COPPER

WHOLESALE 344-3568

2814 RAMBO HELEN L MRS @ 342-2585

2816 MC CARTHY FRANCES E MRS @

343-7126

--- N 29TH INTERSECTS

2903 QUALI PAK INC FISH PROCESS &

STGE 343-4454

TAKS INC FISH

2923 SAFWAY SCAFFOLD & POWER TOOL

CO TOOL RENTAL 342-9343

ILLINOIS AV (SOUTH BOISE)-FROM 700
PENNSYLVANIA AV SOUTH

---ZIP CODE 83706

2215 WHITE JERROLD R @ 342-6146

2221 BACON CHANCY R @ 342-7387

2222 VACANT

2240 WOOD SARAH E MRS @ 343-0911

2301 CLARK'S KINDERGARTEN & CHILD

CARE 344-0224

CLARK'S WATCH REPAIR 344-0224
CLARK NORTEN G @ 344-0224

INGLEWOOD RD (2D BENCH)-FROM 400
GREENBRIER DR SOUTH

---ZIP CODE 83705

2501 JAMES DOUGLAS J @ 342-0658

2505 COCHRAN VERNARD V @ 342-3923

2510 GOCHNOUR GEO R @ 344-1327

2511 MUELLER CLAUD @

2519 RAMSEY DANL P 343-4250

2522 PETERS GARY J @ 344-1890

2523 HOUSE CHARLES R @ 344-9888

2528 MANNLEIN DAVID D @ 344-6916

2529 HEDGES DOROTHY L MRS @

344-3893

2533 TAYLOR PETER W @ 344-9765

2536 RAWLS MARILYN M MRS @

343-9587

2603 LITTLE LLOYD M @ 343-4965

2604 KING JOHN @ 344-0324

2607 LLOYD GERALD E 344-6229

2610 JONES THOMAS N @ 342-2173

2615 MYTRO KATH MRS @ 344-6768

2616 LEIDL LOUIS W @ 343-3389

2622 KAYS WARREN R @ 344-6775

2623 RAGLAND GEO A @ 343-0630

2630 ADAMS DAVID L @ 344-6897

2631 DRAKE LAURIN @ 344-0088

2704 GREEN E VERN @

2706 STANDLEE DOUGLAS W 342-3422

2709 BEVINGTON C ROBT @ 343-6931

2710 MEACHAM HOLLIS W @

2714 VACANT

2801 NO RETURN

2802 CARPENDER MARION W @ 343-2490

2805 ECKERT WILMA MRS @ 342-6750

KESNER SHAREL MRS 342-6750

2806 CHRISTIAN DALE B @ 343-8371

2809 CHRISTOPHERSEN LELAND M @

342-3083

2810 COLE JAMES K @ 343-9089

2813 DARLING JOHN E @ 343-6081

2814 CAMPBELL CLYDE W @ 344-4456

2902 MC KENZIE WAYNE C @ 342-2030

2903 CALL DEAN E @ 342-3641

2906 WARD C RAYMOND @ 342-5322

2907 HARRIS RAYMOND C @ 342-8173

INNIS ST -FROM 4200 PLUM NORTH

---ZIP CODE 83703

2816 GEERHART WM J @ 344-5424

2822 ODLE LYLE I @ 342-5924

2823 MOREHOUSE ERNEST K @ 343-5347

2907 VACANT

2908 BROWN LARRY C @ 343-4742

2915 CAMPBELL GUY @

2929 JACKSON WM B @ 344-4898

3009 LENTZ GLENN @ 342-5733

3011 VINCEN DAVID F 342-3092

3012 NO RETURN

3019 MC CONNELL GLEN R @ 342-5992

INVERNESS WAY (2D BENCH)-FROM 3700
GREENBRIER DR SOUTH

---ZIP CODE 83705

2708 MURDOCH ROBT G @ 344-5144

2709 FANNIN G F @ 343-9964

2713 PALMER ROBT E @ 344-0163

Carroll's

IDAHO'S ONLY COMPLETE
FASHION SPECIALTY STORE
DOWNTOWN
816 W. BANNOCK
TEL. 342-3618
SUBURBAN
8150 FRANKLIN RD.
TEL. 342-6626

A-Z

COLOR
ELECTRONICS

TELEVISION
SERVICE

1626 S.
Orchard Ave.
(Second
Bench)

TEL.
343-7747



BUSINESS OPPORTUNITIES

HOMES-FARMS-RANCHES-SUBDIVIDING

326 N. ORCHARD AVE. (FIRST BENCH)

Across from the First Security Bank of Orchard

375-3750

**DAVIDSON
SERVICE**

JOBBER

**Petroleum
Products**

**MAJOR
BRANDS**

**Motor
Oils**

**COMPLETE
SERVICE
DAY AND NIGHT**

**BURNER
OILS**

**METERED
SERVICE**

318
S. 8th

PHONE
343-4676

ALWAYS at the TOP!
Highest Dividends with INSURED SAFETY

... in the Provident
Federal Savings Building

10th & IDAHO



170

IDAHO W-Contd
826 1/2 McCarty Bldg-Contd
206 Vanity Beauty Salon 342-2091
208 Snake River Valley Electrical Assn
Inc 342-1251
209 Al's Barber Shop 343-5288
210 Vacant
211 Vacant
212 Vacant
215 Income Tax Auditing Co 342-1040
Allen Fred J acct 342-1049
216 Vacant
217-18 Vacant
301 Vacant
302 Vacant
303 Idaho State Pharmaceutical Assn
Inc 344-5811
State Bd of Pharm 344-5811
State Drug Insp
304 Vacant
307 Chet's Custom Jwlr's mfrs
343-4171
308 Continental Casualty Co ins
342-2818
309 Gedney Corabelle sec serv
342-2511
310-11 Eberle Herbert H Agcy ins
343-8561
Boise Assn of Ins Agts 343-8561
Surplus Lines Assn of Idaho
343-8561
312 Vacant
315-17 French W Wayne chiropractor
343-8771
318-19 Vacant
400 Langroise Clark & Sullivan lwyr's
343-3677
Klein Edith M lwyr 343-3677
Harrington Andrew M jr lwyr
343-3677
401-04 Idaho Livestock Prodn Credit
Assn 343-4431
405 Moore David L geol 342-7473
Kern County Land Co of San
Francisco California
342-7473
406 Vacant
407 Vacant
408 Vacant
416-18 Vacant
419 Vacant
Street continued
828 Ballou-Latimer Drug Co 343-5681
342-5543 343-8541
9th intersects
900 Baker's Shoes 342-9663
905 First Security Bank Building
Rooms:
301 Craff Accounting Serv 343-7171
304 Vacant
306 State Bar Assn 342-8958
Lynch James B lwyr 342-8958
311 No Return
317 Travelers Ins Co 342-7741
402 Pacific Northwest Co stocks and
bonds 342-5643
404 Farain Industries importing
343-4871

408-11 Intermountain Gas Co br ofc
421 American National Ins Co
344-8145
430 Vacant
436 Cannon Sanders & Co accts
343-5437
Crossland Jos W acct 343-5437
511 Industrial Indemnity Co ins
344-7641
536 Moffatt Thomas Barrett &
Blanton lwyr's 344-9825
611 Tertelling J A & Sons Inc contrs
344-3576
630 Low Viehweg Hill & Grow accts
343-6439
Street continued
906 Kress S H & Co dept store
343-8331
909 VanLee's variety store 343-8446
913 Vacant
915 Boise Piano Co 344-0792
917 Strawn's Ofc Sup Inc 344-7851
918 Bon Marche The dept store
344-5521
Empire Room restr
Bon Marche The dept store
344-5521
923 Provident Fed Sav 343-1833
10th intersects
1007 Under Constn
1009-15 Under Constn
1017 Under Constn
1018 Idaho First Natl Bk motor bk
1025 Under Constn
11th intersects
1101 Genl Mtrs Acceptance Corp
finance 342-5605
1103 Idaho Claims Serv ins adj
343-6489
1104 Young Men's Christian Assn
344-5501
Business Men's Health Club
1105 Seaboard Finance Co 344-7663
1107 S & M Office Equipment Inc
business machs 344-8436
1108 O'Rourke Terence electrical eng
344-7988
Wisdom Donald D mechanical eng
344-7988
1109 Hessing-Thurber Mtrs 343-6483
1110 Marchant Division of Smith-
Corona Marchant Inc
343-0741
1112 Addressograph-Multigraph Corp
344-8391
1114 Vacant
1123 H&F Auto Serv repr 344-1349
1124 El Korah Temple (AAONMS)
343-0571
Jeffery Betty Mrs caterer
343-0571
1125 Idaho Ins Agcy 342-4575
Idaho Finance Co 342-4575
12th intersects
1200 Powers Flying A gas sta 343-9740
1209 Kanitz Robt

9

**CREDIT BUREAU
OF BOISE, Inc.**

611 GROVE

TEL. 343-3611



**BOISE ADA
DISPOSAL CO.**

1109 BORAH

TEL. 342-4596

171

IDAHO W-Contd
1212 Boise Bowling Center bowling
alleys 342-3823
1213 White A Byrl @ 342-4419
rear White A B Plmb & Htg Co
342-4419
1217 Cold Strike Gift Center premium
store 344-5381
1220 Idaho Power Co (genl ofcs)
344-2511
13th intersects
1304 Idaho Creameries (whse)
1312 Mike's Inc appl sls and serv
344-8425
1322 Superior Auto Prods Inc 344-7666
1324 Hummel Hummel Jones & Shawver
archts 343-7523
1325 Graybar Elec Co Inc whol sup
342-2954
14th intersects
1401 Boise Heating & Air Conditioning
Inc 342-9336
1404 Superior Auto Products Inc
343-6589
1410 Vacant
1412 US Federal Aviation Agency
General Aviation District
Office 342-2861
US Navy Recruiting (sub sta)
342-5537
1413 Fitz Auto Supply 344-6535
1414 Rutledge Bros Inc roofers-sht
mtl 344-4111
Bldg Specialties Wholesale Co
344-3301
15th intersects
1508 Apartments
1 Stark Marie Mrs
2 Vacant
3 Grahman Kenneth D
Street continued
1508 1/2 Olson Elsie M Mrs @ 343-4143
bsmt Boston Earle
rear Oviatte Phil
1516 Boise Film & Plate Service
photographic developing &
prntg 342-4462
1518 Vacant
1522 Reynolds Robt H acct 343-7758
Spoljaric John acct 343-7758
1524 Genl Elec Co apparatus sls
344-8444
1526 Engineering Services Inc consult-
ing engs 344-8533
Johnson M V & Associates
consulting engs 344-8533
1530 Vacant
1532 Tillotson Real Est 342-3623
16th intersects
1600 Ball Lucille M Mrs
1611 Lucero John
1615 Rowe Frank A @ 344-8998
1617 Maxwell Lonie M @ 342-9295
17th intersects
1700 Fred's Drive In Dairy restr
1706 Yamamoto May
Wanda's Beauty Salon 343-9736
1707 Boas Alex A @ 342-7386

1709 Caulfield Guy H @ 344-3622
1710 Rush Clyde I @ 342-7297
Helen's China Studio 342-7297
1711 Carlson Jimmy W 343-0342
1712 Cluff Leland S 344-0313
1715 Jolly Ferrell
bsmt Vacant
1715 1/2 Little Eug H 344-9031
1718 Mairs Minnie E Mrs @ 344-4632
1719 Bethel AME Ch
1722 Ketchen Marjorie Mrs
18th intersects
1804 Haskins Russel G @ 343-4556
1805 Roberts Bertha A Mrs @
1807 Landreth John W @
1808 Marquess Violet L Mrs @
342-8446
1811 Kelvie Kay Mrs 342-0485
Clouse Chas
1812 Alegria Albert L @ 343-0307
1812 1/3 No Return
1812 1/2 Rogers Jack
1815 Turner Helen C Mrs @ 342-6987
1818 Cottrell Roy J @ 342-6255
1818 1/4 Cox Lee
1818 1/2 Bayer Edith Mrs 342-6449
1821 Jones Joyce J 343-8148
19th intersects
1903 Alloway Ethel G Mrs @ 343-2488
1904 Thornton Alberta Mrs 342-4008
1905 Felman Alice L Mrs @ 343-7177
1905 1/2 Vacant
1906 Coy Kenneth W 342-0438
1907 Smith Edwin L 342-3174
1909 Evans Agnes Mrs
1910 Williams J Leon
1911 Cudd Wm J
1912 Putman I Estel @ 343-2154
1913 Dufresne Virginia A Mrs
344-3060
1914 Harmon Theo V @ 343-1760
1915 Leutes Lloyd R
1915 1/2 Vacant
1917 Roberts Ralph @ carp 343-6167
20th intersects
21st intersects
22d intersects
2202 Horton Arden D @ 344-0393
2209 Friedmeyer Mildred Mrs
342-6794
2209 1/2 Blout John R
2211 Arego Ann Mrs
2214 Atkinson J Preston @ 344-8884
2215 Smith Vilas W @ 343-7339
2216 Dehlin Walmar @ 343-1177
2218 Smith Harold H @ 343-8116
2219 Courtney Mildred Mrs @ 342-0675
2220 Sturdavant Richd
2224 Vacant
23d intersects
2311 Vacant
2315 Vacant
2319 Slaathaug Gary R @ 342-6236
2321 Bretz Neven
2323 Montgomery David C @
343-9467
24th intersects

23



Tel. 342-4596

**TRASH AND GARBAGE
DISPOSAL SERVICE**
COMMERCIAL
CONTAINER SERVICE

Satisfaction
Guaranteed
or Double
your
Trash Back
1109 Borah

BOISE ADA DISPOSAL SERVICE

244

BALLOU-LATIMER CO.

Prescriptions, Drugs, Toilet Articles
Cameras, Photo Finishing Supplies

828 W. Idaho

Tel. 3-5681

Prescription Tel. 2-5543

IDAHO W—Contd
McCarty Bldg—Contd
419 Income Tax Auditing Co
2-1049
Allen Fred J acct
2-1048
Street continued
828 Ballou-Latimer Co
drugs 3-5681
9th intersects
900 Baker's Shoes 2-9663
904 Dixie Shops women's
clo 2-8711
905 First Security Bank
Building

Rooms:
304 Manufacturers Life Ins
Co 2-6555
306 United States Brewers
Foundation (Idaho-
Montana-Nevada
Div) 3-1013
311 Breshears & Ennis
lwyr 3-4686
330 Industrial Indemnity
Co 3-6437
402 Cannon Sanders & Co
accts 3-5437
411 Intermountain Gas Co
genl ofc 2-6521
503 Vacant
505 Vacant
511 Mutual of New York ins
2-4831

521 Graff Accounting Serv
3-7171
536 Moffatt Willis C lwyr
2-5541
Donaldson Chas R lwyr
2-5541
611 Terteling J A & Sons
Inc bldg contrs
4-3576
630 Wells Baxter & Miller
accts 3-6439

Street continued
906 Kress S H & Co dept
store 3-8331
909 Vacant
913 Smiths Cafe 2-9590
915 Boise Piano Co 4-0792
917 Strawn's Ofc Sup
2-5528
918 Anderson C C Co dept
store 4-5521

1st fl Anderson C C Co wth
repr 4-5521
mezz Anderson C C Co book
shop 4-5521
Empire Room restr
4-5521
2d fl Anderson C C Co
beauty shop 4-5521
Anderson C C Co
millinery 4-5521
923 Provident Fed Sav &
Loan Assn 3-4625

10th intersects
1001 Parker Portraits
photog 3-0561
1009-15 Boise Blue Print Co
3-2564
1017 Mtr Tire Serv 2-6501
1018 Idaho Natl Bank mtr bk
1025 Powers & Kendall
Texaco Serv gas.
sta 2-9848

11th intersects
1101 Genl Mtrs Acceptance
Corp finance
2-5605
1103 Idaho Claim Serv ins
adj 3-6489
Hart David F lwyr
3-6489
1104 YMCA

Business Men's Health
Club
Pacific Northwest Area
Council of YMC
Assns

1105 Bankers Life &
Casualty Co
4-0633
1108 Martin Paris T lwyr
2-8071
1109-21 McCallum Motors
Inc 2-4538
1110 Hill Warren H Agcy
real est and ins
2-9121

1110½ Marchant Calculators
Inc 3-0741
1112 Hessing Thurber Mtrs
3-6483
1123 H&F Auto Serv repr
4-1349

UNDERWRITERS ACCEPTANCE CORPORATION

AUTOMOBILE FINANCING
AUTOMOBILE and FURNITURE LOANS
G. T. DRESS, Mgr.

213 First National Bank Bldg.

Boise, Idaho

Phone 3-7535

First
Federal
Savings
and Loan
Association
of BOISE



SAVINGS

HOME
LOANS

Phones
2-4616
and
2-4617

900 W.
Jefferson

245

"BILL"

FOSTER HEATING SERVICE

Williams Oil-O-Matic Furnaces

2704 Broadway

Phone 3-9671

IDAHO W—Contd

1124 El Korah Temple
(AAONMS) 3-0571
El Korah Window's &
Orphan's Fund
3-0571
1125 Idaho Ins Agcy 2-4575
Idaho Finance Co
2-4575

12th intersects
1200 Bell's Norm Serv gas.
sta 3-1051
1209 Storey Jim
Foster Jack 3-3508
1212 Boise Bowling Center
2-9752
1213 White A Byrle 3-4419
rear White A B. Plmb & Htg
Co 2-4419
1217 Dufresne Auto Co body
shop 2-7521
1220 Idaho Power Co genl
ofcs 4-2511

13th intersects
1304 Idaho Creameries whse
and adv dept
3-3671
1312 Bevington's Floor
Coverings 4-3461
1322 Superior Auto Products
Whol 4-3841
1324 Hummel Hummel &
Jones archts
3-7523

1325 Graybar Elec Co Inc
whol sup 3-2594
14th intersects
1401 Boise Htg & Equip Co
Inc 3-8211
1406 Wasson Elden C
3-9493
1410 Nutrilite Food Supple-
ment 3-5938
1412 US Dept of Commerce
Civil Aeronautics
Admn (Genl Safety
Dist Ofc) 2-2861

US Dept of Interior Fish
& Wildlife Serv
(River Basin
Studies) 4-0862

US Dept of Interior Fish
& Wildlife Serv
(Bur of Commer-
cial Fisheries)
4-0862

1413 Boise Child Car Center
baby sitting
2-7231
1414 Rutledge Bros Inc
roofers-sht mtl
wk 4-4711

15th intersects
1508 Buffington Beulah Mrs
Owens Miles E
1508½ Olson Eisie M Mrs @
3-4143
bsmt Chamberlain Fred
1516 Mail-Well Envelope Co
2-1071

Todd Co Division-
Burroughs Corp
3-3772
1518 Martin Constn Co genl
2-4211
1522 Engineering Services
Inc 3-6559
Johnson M V & Assocs
consulting eng
3-6559

1524 Genl Elec Co Apparatus
Sis Div 4-8444
1526 Moore Business Forms
Inc 4-3631
1528 Visual-Sound Co
hearing aids
3-1033
1530 Givens O'Leary Doan
& Givens lwyr
4-3585

1532 Tillotson Bob Real Est
2-3623
16th intersects
1600 Burns Eleanor Mrs
2-4403
1611 Goldsby Carl 4-1845
1615 Rowe Frank A @
3-2977

1617 Maxwell Lonie M @
2-9295
17th intersects
1707 Boas Alex A @ 2-7386
1709 McBride Amanda Mrs
@ 4-3622
1710 Rush Clyde I @ 2-7297

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at the Sign of the T.

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that
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you may
KNOW
you own
your
home

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Insurance
Company

Home Office:

711
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Phone
3-3667

Boise, Idaho



CAPITOL TITLE COMPANY

Title
Insurance

Escrows

Abstracts

REPRESENTING

LAWYERS
TITLE
INSURANCE
CORPORATION



307 N. 10th

Tel. 4-0211

Boise, Idaho

BOISE LOAN & REALTY

SALES — LOANS — INSURANCE
FARMS — RESIDENCE — BUSINESS
707 W. Bannock Across from Post Office Phones 2-3573 2-3574

IDAHO W—Contd
1711 McVicker Helen M
Mrs @ 3-8345
1712 Vacant
1715 Scanlan B Robt 2-7176
bsmt Jennings Joy
1715½ Scanlan L Belle Mrs @
1718 Mairs Minnie E Mrs @
4-4632
1719 Bethel AME Ch
1722 Goff Wm E @ 4-4648 23
18th intersects
1804 Haskin R Geo @ 3-4556
1805 Roberts Bertha A Mrs
@ 2-5782
1807 Mallory Boyd W
1808 Marquess Violet L Mrs
@ 2-8446
1811 DePartee Esther Mrs
@ 3-0288
1812 Headrick Dean 4-4827
1812½ Vacant
1815 Turner Helen C @
2-6987
1818 Cottrell Roy J @
2-6255
1818 1/4 Greenwood Milton
1818½ Blackstone Harvey
1819 Pickens A Carleton @
18th intersects
1903 Allaway Ethel G Mrs @
3-2486
1904 Schwerd Edw C
4-0612
1905 Feiman Wm F @
3-7177
1905½ Koop F Wm 3-3709
1906 Martin Blanche C Mrs
3-8354
1907 Smith Edwin L 2-3174
1909 Vacant
1910 Schreiber Ruth E
3-2019
1911 Tillotson Zella J
4-4716
1912 Lyonsmith Mabel A @
2-7753
1913 Dufresne Virginia A
Mrs 4-3060
1914 Harmon Ted V @
3-7285
1915 Kirk Glen W 2-8610
1915½ Cunningham Inez R
Mrs 2-4014
1917 Taylor Nelson 3-8653
20th intersects
21st intersects
22d intersects
2202 Hale Willard G @
3-5751
2209 Powell E Arnold
2-8646

2200½ Anderson Galen 2-2792
2211 Sykes Violet M 2-2762
2214 Atkinson J Preston @
2215 Smith Vilas W @
3-7339
2216 Dehlin Waimar @
3-1177
2218 Smith Harold H @
3-8116
2219 Smith B L @ paper
hanger 2-0675
2220 Derbyshire Edw Rev
3-2203
2224 Hammond Kenneth H @
3-6126
23d intersects
2309 Vacant
2315 Nelson Jas E @ 2-1778
2319 Atkin Major G @
4-1548
2321 Daly Owen J 2-5081
2323 Montgomery David C @
3-9467
24th intersects
2400 House Cletus F @
3-0747
2401 Joslyn Chas W @
3-7067
2405 Rhodes Alice R @
3-9284
2406 Gray Carolyn Mrs @
3-6262
2410 Worthan Russell S @
3-6344
2411 Mendiola John S 4-4936
Fuller Brushes
4-4936
2411½ Sanders Lee J @
4-4936
2412 Shaefer Herbert @
2-3341
2415 Fry Weldon R @
4-1072
2415½ Bartlett Sherman W
2416 Snodgrass Hubert L @
pntr 3-4292
2419 Pender Richd B @ 2
2-1372
2421 Vacant
2424 Urresti Hilario @
3-1027
bsmt Chaffin Ronny E 3-1027 27
25th intersects
2501 Willy Ray H 2-7066
2502 Johnson Ralph A @
3-3735
2504 Whitman Stanley E ins
broker 4-1640
2505 Turner Wm G @
2-1346
2510 Davis Claire W @
3-4055



State Street Hardware & Lumber Co.

PAINTS — LUMBER — HARDWARE
RANCHWAY FEEDS

3507 W. State St.

Tel. 2-8201

IDAHO W—Contd
2511 Smith Wade N @ 3-3732
2512 Arregui John A @
3-3082
2513 Kerley Laura E Mrs @
4-5675
2515 Nelson Seymour L @
4-2492
2516 Shook Harry W @
4-3137
2517 Wilkerson Dixie E Mrs
@ 3-7281
2519 O'Neill John B 2-8544
2519½ Strong Rita Mrs
2520 Backes John F @
3-1417
2523 Wanda's Beauty Shop
3-9736
Tillotson Wanda L @
3-9736
26th intersects
2600 Russell Harry G
2608 Whitworth Robt L
2620 Stewart Dudley M @
2-1151
Stewart's Gem Shop
2-1151
2624 Peugh Leonard G
3-5074
27th intersects
2700 Seven-Up Btlg Co
3-4061
2701 Knox Orville L @
4-4575
2710 No return
2711 Vacant
2714 No return
2715 Willig Louis V @
2-8275
2720 Stoops M Elmer @
3-2243
2723 Hiatt Dean @ 4-2134
2724 Gurley Melvin H @
2-4490
2724½ Vacant
28th intersects
2802 McDowell Freda Mrs @
4-2732
2803 Bale Bernard D @
2-2680
2808 Lawson Geo S 2-4993
2809 Vacant
2814 Rambo Archie I. @
2-2585

2816 McCarthy Frances E
Mrs @ 3-7126
2903 Booth Fisheries Corp
3-6407
2923 Safway Scaffolds &
Power Tool Co
2-1191

ILLINOIS AVENUE (South
Boise)—From 700 Penn-
sylvania av south to city
limits
2222 Shaw Robt S @ 3-1937
2240 Wood Geo M @ 3-0811
2301 Clark Norten G @
4-0224
Clark's Kindergarten
4-0224

INGLEWOOD ROAD—From
4000 Hillcrest dr south-
east to Augusta and about
1 blk beyond
2501 Thompson Horace M @
2-8419
2503 Cochran Vernard V @
2-3923
2510 Appling Robt E @
3-3928
2511 Noiland John W @
4-5746
2519 Grabowski Leonard J
2-8270
2522 Roper G Ken @ 4-2370
2528 Tipling Ralph M @
2-4925
2529 Nelson Chas @ 4-4739
2533 Hagbery Leonard R @
3-2109
2536 Peringer Robt V @
2-8281
2603 Stone Ernest G @
2-1302
2604 Abrams Marvin J @
4-4732
2607 Walton Edgar O @
3-7976
2610 Fehr Thos J @
2-9197
2615 Hansen Robt D @
3-9420
2616 Leidl Louis W @
3-3389

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GARDEN & LAWN HEADQUARTERS FOR BOISE
LESTER & GENEVIEVE McCracken
Open Sundays

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MUCH
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SO
LITTLE

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CO.

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1415-1423 W. Main St. Lamidell - Twinow - Van Packer Chimneys - Cabinet Hardware Phone 2-5885

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Harry W. Poulson
Insurance - Real Estate
1120 BANNOCK ST. TELEPHONE 2-3536

IDAHO W--Contd
918--Contd
Anderson C C Co
Millinery
923A Provident Federal
Savings & Loan
Assn
10th intersects
1007A Parker Portraits
photog
1009A Boise Blue Print Co
1015A Loyal Order of Moose
Travelstead Shirley
dancing tchr
1017A Mtr Tire Serv
1018A Gamble's Western
Auto Sup Co
1025A Powers & Kendall
Texaco Serv
11th intersects
1101A Genl Mtrs Acceptance
Corp
AMtrs Ins Corp
Genl Exch Ins Corp
1103A Hart and Larson lwys
1105A Universal CIT Credit
Corp
AServ Fire Ins Co
1106A Y M C A
Business Men's
Health Club
APacific Northwest Area
Council of Y M C
Assns
1107A Strevell-Paterson
Finance Corp
1108A Chattin Ditcher Co
1109A Campbell-Simpson
Mtr Co
1110A Hill Warren Agcy ins
1110A Marchant Calculators
1112A Parks Auto Co
1121A Campbell-Simpson
Mtr Co
1123A Norco Wldg Equip &
Sup
1124A El Korah Temple
1125A Idaho Finance Co
Idaho Ins Agcy
12th intersects
1200A Bell Norman E gas str
1209A Ranner Robt L
1212A Boise Bowling Center
Bowl Grill restr
1213A White A Byrl @ plmb
1214A Tony's Club liquors

1220A Idaho Power Co genl
ofcs
1225 Dufresne Auto Co
body shop
13th intersects
1304 Vacant
1309A Koelsch Peter W @
1310A Bevington's Floor
Coverings
1317A Wood Gerald L acct
APeters Delbert D acct
1322A Superior Auto Prods
Co whol
1324A Hummel Hummel &
Jones archts
1325A Graybar Elec Co whol
14th intersects
1406A Rutledge Jesse L @
1410A Air-Way Branches Inc
1412A US Dept of Commerce
Civil Aeronautics
Admn (Aviation
Safety Dist Ofc)
AUS Dept of Commerce
Civil Aeronautics
Admn (Dist Air-
port Eng)
AUS Treasury Dept
(Savings Bonds Div)
1413A Boisc Child Care Center
1414A Rutledge Bros sht mtl
wkrs
1416A Home Appliance Serv
15th intersects
1508A Simpson Emily Mrs
ASmith Myrtle A Mrs
Owen Miles
1508A Olson Gus L @
16th intersects
1600A Burnett Loren A
1607A McCurdy Wm A
1607A Richards Francis
1611A Jordin Anne E Mrs @
1615A Rowe Frank A @
1617A Maxwell Lonnie M @
17th intersects
1707A Boas Alex A @
1709A McBride Amanda Mrs @
Caufield Guy H
1710A Rush Clyde I @
1711A McKicker Helen M
Mrs @
1712 Wilson Jay D
1715A Scanlan L Belle Mrs @
Ellis Wm L
1715A Vacant

BABBITT CONSTRUCTION CO.
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1620 Taggart Phone 2-6578

Day and Night School
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R. C. BEETHAM
Manager
BOISE 1223 MAIN

IDAHO W--Contd
1718A Mairs Minnie E Mrs @
1719 Bethel A M E Church
1722A Goff Wm E @
18th intersects
1804A Haskin R Geo @
1805A Roberts Bertha A Mrs @
1807 Howard N L
1808A Marquess Wm P @
1811A DeParree Esther M
Mrs @
1812A Wright Robt G @
1812A Wright Lizzy M
1815A Turner Michl D @
1817 Under Constn
1818A Fuller Jas W
1818 1/4 Cackler W C
1818A Vacant
1819A Pickens A Carleton @
19th intersects
1903A Alloway Ethel G Mrs @
1904 Driscoll Mary J Mrs @
1905A Felman Wm P @
1906A Drake Grant @
1907A Graham Maude M
Mrs @
1909A Richardson Dan
1910A Hines Anthony W
1911 Vacant
1912A Hennessy Mary L Mrs @
1913A Herrington Helen C
1914A Harmon Ted V @
1915A Erickson D E
1917A Piechura Theo J
20th intersects
201st intersects
22d intersects
2302 Bemenderfer Robt H
2209 Dunmire Merle Mrs
2211A Garlington Norman R
2214 Buckmaster Harry M
2215A Smith Vilas @
2216A Dehlin Walmar @
2218A Smith Harold H @
2219A Wildman Ora M @
2220A Herford Lois P Mrs
Kramer Charlie
2224A Hammond Kenneth H @
2224A Vacant
23d intersects
2309 McGann Bonnie Mrs
2315A Thompson Roy G jr
2319A Atkin Major G @
2321A Becknell John L
2323 Matlock Frank E
24th intersects

2400A House Cletus L @
2401A Joslyn Chas W @
2405A Rhodes Alice R @
ATollefson Arnold G
2406 Gray Burt M @
2410A Worthan Russell S @
2411A Mendiola John S
2411A Sanders Lee @
2412A Shaefer Herbert @
2415A Fry Weldon R @
2415A Berger John
2416 Parkin Anna Mrs @
2419A Pender Richd B @
2421A Dages Frank J @
2424A Urresti Hilario @
25th intersects
2501A Willy Mae Mrs @
2502A Johnson Ralph A @
2504A Kessler Neva Mrs
beauty shop
2505A Turner Wm G @
2510A Davis Claire W @
2511A Wheeler Vivian W Mrs
2512A Arregui John A @
2513A Kerley Walter R @
2513A Nelson Seymour L @
2516A Shook Harry W @
2517A Wilkerson Jo Mrs @
2518A McNey Wilkin K
2518A Alderson Geo W
2520A Backes John F @
2523 Vacant
26th intersects
2600A Miller Wilfred D
2608A Peck Louis A jr @
2620A Stewart Dudley M @
jwlr
2624A Stewart Alvin M @
27th intersects
2701A Knox Orville L @
2700A Seven-Up Btlg Co
Holstinger L D acct
2710A Creason John M @
2711A Willig Louis V @
2713 Vacant
2714 Vacant
2720A Stoops M Elmer @
2723 Hiawt Dean
2724A Gurley Melvin H @
rear Ward Raymond D
28th intersects
2802A McDowell Harold F @
2803 Bale Bernard D
2808A Heasley Larry A
2809A Allred Francis L
2814A Rambo Archie L @

GRIM'S TIRE SERVICE
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SO
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CO.**

UNION
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Specialists in
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Equipment

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and
DOWAGIAC
BURNERS
SPARK
STOVES

318
S. 8th

PHONE
76

STANDARD

FURNITURE COMPANY

IDAHO W—Contd
807A Idaho Power Co slrm and div ofc
811A Carroll's women's clo
813A Powell Leo R furn
814A Hughes Ladies Apparel
815A Idaho Title Co
816A Boise Ins Agcy
817A State Wide Title Ins
818A Vacant
817A Fuller W P & Co paint
818A Stevens women's clo
819A Boise Music & Appliances
820A Block's Shoe Stores
820 1/2 Pack Building
Apartments:
1 George Jesse A
2 Smith Isadore
3 Bledsoe Clarence
4 Reynolds Lucy R Mrs
5 Dempsey Maurice J
6 Marriott Robt L
7 Brown D Ren
8 Norwood Geo A
Street continued
821A Smithman Norris M art gds
822A Strawn's Office Supply
823A King's shoe dir
824A Mayfair Shop The women's clo
826 1/2 McCarty Building
Rooms:
201A Lucas Marshall Y dentist
203A Davidson-Eberle real est and ins
204A Carter Pascoe B lawyer
205A Bernis Bro Bag Co
206A Vandy Beauty Shoppe
208 Capitol Life Ins Co
209A Williams Rex G barber
210 United Pacific Ins Co (claims etc)
211 Idaho Coal Dirs Assn Inc
214A Boise Natl Farm Loan Assn
215A Child Evangelism Fellowship
216A Kayser Harry lawyer
217A Dirks Diedrich J A ofc
218A Hurley A P real est
202A Webb Wm M dentist
203A Capital Dental Technicians
205A Tucker Mable F Mrs dramkr
206A Gedney Corabelle letter shop
210A US Dept of Agri (Bur of Agri Economics, Estimates Br)
212A Norman Merle Studio cosmetics
217A French W Wayne chiro
218A Thissen John M chiro
400A Langroise Clark & Sullivan lawyers
402A Bowler Wm B lawyer
403A Costello Fredk A acct
405A Idaho Livestock Production Credit Assn
404A Keck Jean beauty shop
405A Orane Betty L osteo phys
407A Penson & Walker Agcy ins
410A Idaho State Pharmaceutical Assn Inc
417A Johnson Virgil E clv eng
418A Income Tax Auditing Co
Street continued
828A Ballou-Latimer Co drugs
900A Dixie Leitha Mrs art gds
904 Dixie Cream Donut Shop lunches
Nuchols A Phillip

904A Kress S H & Co dept store
909A Montgomery Ward & Co dept store
913 Overland Barber Shop
914A Kohlrad & Rose shoes
915A Sawtooth Club
916A Boise Health Club physical culture
918A Anderson C C Co dept store
919A Golden Rule Store dept store
2d fl Anderson C C Co shoe salon
Anderson C C Co beauty shop
Francis' Photo Studio
919A City Dye Works
921 Wright & Glover jwlr
923A Nelson Adolph G ins
924A Provident Federal Savings & Loan Assn
10th Intersects
1007A Hopfgarten Adv Sign Co
1009A Weil J & Co whol cigars
1015 Loyal Order of Moose
1017A Motor Tire Service
1018A Western Auto Sup Co
11th Intersects
1101A Oakley Appliance & Music Co
1105A Oakley Whol Inc auto accessories
10th Intersects
1106A NYCA
1108A Chaffin Ditcher Co
1109A Campbell-Simpson Motor Co
1110A Rainbow Beauty Salon
1110 1/2 Grimm School For Secretaries
1112A Parks Auto Co
1121A Campbell-Simpson Motor Co
1123A Norton's Tire & Auto Sups
1124A El Koran Temple
12th Intersects
1200 Field Reo W gas and oil
1205A Boise Barber & Beauty Sup
1210A Boise Bowling Center
1213A White A Byrl pimbr
1214 Louie's Club beer
1216A Locklear A Newt
1220A Idaho Power Co genl offices
1225 Idaho Power Co parking lot
13th Intersects
1309A Koelsch Peter W
1310A Bevington's Floor Coverings
1311 Glicker A Fred
1315A Whitell Kyle E
1318 Enbysk Gilbert L
1318 1/2 McGill Edith L
1323A Baker Floor Covering
1324A Scrivner Edmund L
14th Intersects
1406A Rutledge Jesse L
1410 Air-Way Branch of Boise vacuum cinrs
1412 US Dept of Commerce Civil Aeronautics Admn (Safety Regulations Dist Ofc)
US Dept of Commerce Civil Aeronautics Admn (Dist Airport Eng)
1414A US Selective Service (Ofc of Records)
1415A Rutledge Bros aht mtl wkrs
1416 Rol-Pak Oil Filter Ser
15th Intersects
1508 Malloy Frank W
1510A Simpson Emily Mrs
1511 Miller Ervin
16th Intersects
1600A Wassler Ernest P
1607A Shue Donald E
1607 1/2 Nelson Marvin C
1611A Jordan John C

SECURITY STATE LIFE INSURANCE CO.

OF IDAHO
Idaho's Only Home Owned Old Line
Legal Reserve Life Insurance Company
PHONE 3785 Home Office, Baird Building

DAVIDSON-EBERLE

REAL ESTATE — LOANS — INSURANCE
203 McCarty Bldg. Phone 6040

IDAHO W—Contd
1615A Fork David L
1617A Maxwell Lonnie M
17th Intersects
1707A Boas Alex A
1708A McBride Amanda Mrs
1710A Rush Clyde I
1711A McVicker Helen M Mrs
1712 Vacant
1713 Scanlan L Belle Mrs
1715 1/2 Scanlan Robt R
1718 Mairs Minnie E Mrs
1719 Bethel A M E Church
1722A Goff Wm E
18th Intersects
1804A Haskin R Geo
1805A Roberts John L
1807A Hansen J Douglas
1808A Crump Lex C
1811A Hendrickson Delmar G
1812A Woods Edw W
1813 1/2 McLachlan Wendell F
1815A Turner Michl D
1816A Lovely Walter S
1818 1/2 DeMeyer Walter
1818 1/2 Thompson Robt H
19th Intersects
1902A Alloway Ethel G Mrs
1904 Driscoll Mary J Mrs dramkr
1905A Berry Lee
1906A Drake Grant
1907A Graham Maude
1910A Anderson J Harry
1912A Hennessy Mary L Mrs
1914 Nelson Karl G
1915A Wine Victor R
1917A Echevarria Angel
20th Intersects
2202A Hale W G
2214A Gehle Eva P Mrs
2215A Bryson Harry L
2216A Dehlin Walter G
2218A Gons Geo E
2220A Kehoe Mary E Mrs
2224A Hammond Kenneth H
2224 1/2 Siron Louis C
23d Intersects
2309A Jensen Ralph N
2319A Atkin Major G
2321A Miller A L
2323A Eubanks Dick
24th Intersects
2400A House Cletus L
2401A Blair Albert G
2406 Gray Burt M
2410A Worthan Russell S
2411A Smith Morris D
2412A Jack Russell W
2415A Fry Weidon R
2415 1/2 Hens Clarence W
2416 Parkin John
2419A Lamb John
2421A Biggs Stanley H
2424A Urresti Hilarlo
25th Intersects
2501A Whilly Frank J
2502A Johnson Ralph A
2504A Kessler Ralph W
2505A Turner Wm G
2510A Davis Claire W
2511A Ross Josephine W Mrs
2512A Arregui John A
2513A Kerley Walter R
2515A Nelson Seymour L
2516A Shook Harry W
2517 Wilkerson Dixie E Mrs

2519A Mullany Maude Mrs
2620A Buckles John F
Davidson J M
26th Intersects
2600A Burkett Virgil E
2608A Sandrotzky Robt
2620A Stewart Dudley M
2624A Stewart Alvin M
27th Intersects
2701 Knox Orville L
2710A Boyd Stanley
2712A Willig Louis V
2714 Horstman Lizzie Mrs
2720 Stoops M Elmer
2723A Kelly John L
2724A Matcham Alf J
rear Welker Grant
28th Intersects
2802 Leslie Sadie Mrs
2803 Grace Chas E
2808A Hunt Pearl
2809A Walbey John
2810A Rambo Archie L
2816A McCarthy Jas L
2917 1/2 Miller Edw L
3001A McCorkle Tom Constn Co
ILLINOIS AV (S Boise)—From 700
Pennsylvania av south to city limits
2240A Wood G Melvin
IOWA (S Boise)—From east city
limits west to 2200 Broadway
1502A Niles Matt
200A Rementeria Ave S
304A Beatty Melvin G
307A Maus Philip G
Wyoming av Intersects
402 Tucker Walter R
403A Johnson Elmer C
410A Falls Herman P
411 Summers Jesse E
421 Davis Patk H
Illinois av Intersects
520 Garro Edw
Division av Intersects
606 Stacy Wright A
619A Parkinson Geraldine B Mrs
rear Collins Robt
621A Lewis Wm R
Colorado av Intersects
721A Osborn Josie Mrs
Lendville av Intersects
803A Leonard Francis L cabtmkr
Leonard Rosalie E Mrs acct
816 Ebbey Wm
Longmont av Intersects
917A Lewis Carl S
IRENE—From 2390 13th west to
junction of State and 33d
14th Intersects
15th Intersects
16th Intersects
17th Intersects
18th Intersects
19th Intersects
20th Intersects
21st Intersects
22d Intersects
1662A Williams Geo R
1708A Lingel Richd M
1710A King Clifford M
23rd Intersects
1902A Warren Arth C
2105A Miller Ernest W
2122A Hynes Wm J
2201A Blaine Jas W
2307A Burrows Virgil C

PETRIE LANDSCAPE NURSERIES
David C. Petrie
Idaho's Most Complete Nurseries
West of City on Hwy. 30 and just North of Cole School
R. D. 2 PHONE 1803-R

B E K I N S
M O V I N G
A N D
S T O R A G E
C O.

1404
GROVE ST.
Telephone
7575

GLASS

Mirrors,
Paint,
Varnish,
Brushes,
Wall Paper

**INTER-MOUNTAIN
GLASS
CO.**

1417-1423
MAIN ST.

PHONE
900

HOME LUMBER & COAL CO.

"Complete Building Service"
BUILDING MATERIALS — SHINGLES AND SHERWIN-WILLIAMS PAINTS
Wm. C. Adams, Mgr. Res. Phone 4587-J
1212 BANNOCK ST. PHONE 5100 BOISE, IDAHO

1040 W—Contd
North Ave—Contd
5 Weller Hans
40 Broadhead Wm A
12 Cook W Carey
10 Brown Mary Jane

2152 Albion Mabel C Mrs 2d intersects
3d intersects

3012 Mendota Pete J 3d
3102 Johnson Harold E phys
317 Hawley Jas H
3202 Young Kenneth E 3d
Fraser Bus
3202 Wm A
Allen Lenora Mrs
3225 Lincoln School
324 White Apartments
Apartments:
1 Vacant
2 Julius Mary A Mrs 3d
3 Roark Clara
4 McGinnis Zebias E
5 Hennemeyer Fred

4th intersects

401 American Legion Hall
Maxine John H
408 Motter Della H Mrs 3d
4122 Ybun Laura P Mrs 3d
4122 Lockery Edw J
4125 A-La-Ma Apartments

4125 A-La-Ma Apartments
Apartments:
17 Baidice Nell C Mrs
27 Paulson Paul
3 Ward Jesse E
4 Moulton Alice M
5 Wolfenbarger Chas
6 Bill W Allen

Street continued

4162 Tucker E Walden 3d
4172 Keiss Dorothy Mrs
Williams Walter W
4182 Keady Wm J Mrs
4192 Jarrett Roland R
4202 Roman Catholic Diocese of Boise
Chantry etc

4222 Church of the Good Shepherd
5th intersects

5002 State Ins Fund (Workmen's
Compensation)
503 Vacant
5072 House Funeral Home
7 Webb Is Kherian
512 Star Rooms
Cassidy Frank M

5152 Vaughtan John J
5172 Hardin Mary J Mrs
5212 Johnson Cath M Mrs 3d furn
5222 City Fire Dept (Central Sta)

6th intersects

6072 Reeves Wholesale Co cigars
6082 Bower Arrie No 115 (P O E)
6092 Eagle Hall
6102 Thielbich Century Bowl bowling
6112 Ah Fung Herbert herbs
Ah Fung Gerald herbs

6112 Vacant
6122 Vanhook Hotel
Yankin Thomas
Yankin Benito

613 Vacant
615 Vacant
617 Fong Wm Lndy
Fong Wm Lndy

618 Vacant
6222 Aowahon Bros drapery
6232 Bower Walter Culp
6242 Patterson Co ofc
6252 Fong's Tea Garden

7th intersects

8002 Mode Ltd The dept store
805 Capitol Securities Bldg
806 U S State Selective Ser Hdqtrs
807 Idaho Bldg & Loan Assn
8122 U S War Production Bldg
8202 U S Selective Ser System
8212 Tourtelotte & Hummel archt

8th intersects

9002 Commercial Ser Sta
905 Sweeney Stores Inc gro and meats
906 U S Capitol Rooms furn rms
Arostegui Jos
909 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

9th intersects

1002 Commercial Ser Sta
1005 Sweeney Stores Inc gro and meats
1006 U S Capitol Rooms furn rms
Arostegui Jos
1009 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

10th intersects

1102 Commercial Ser Sta
1105 Sweeney Stores Inc gro and meats
1106 U S Capitol Rooms furn rms
Arostegui Jos
1109 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

701 Commercial Ser Sta
705 Sweeney Stores Inc gro and meats
706 U S Capitol Rooms furn rms
Arostegui Jos
709 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

8th intersects

902 Commercial Ser Sta
905 Sweeney Stores Inc gro and meats
906 U S Capitol Rooms furn rms
Arostegui Jos
909 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
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710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

9th intersects

1002 Commercial Ser Sta
1005 Sweeney Stores Inc gro and meats
1006 U S Capitol Rooms furn rms
Arostegui Jos
1009 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
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Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

10th intersects

1102 Commercial Ser Sta
1105 Sweeney Stores Inc gro and meats
1106 U S Capitol Rooms furn rms
Arostegui Jos
1109 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
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Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

11th intersects

1202 Commercial Ser Sta
1205 Sweeney Stores Inc gro and meats
1206 U S Capitol Rooms furn rms
Arostegui Jos
1209 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

12th intersects

1302 Commercial Ser Sta
1305 Sweeney Stores Inc gro and meats
1306 U S Capitol Rooms furn rms
Arostegui Jos
1309 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

13th intersects

1402 Commercial Ser Sta
1405 Sweeney Stores Inc gro and meats
1406 U S Capitol Rooms furn rms
Arostegui Jos
1409 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

14th intersects

1502 Commercial Ser Sta
1505 Sweeney Stores Inc gro and meats
1506 U S Capitol Rooms furn rms
Arostegui Jos
1509 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

15th intersects

1602 Commercial Ser Sta
1605 Sweeney Stores Inc gro and meats
1606 U S Capitol Rooms furn rms
Arostegui Jos
1609 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

16th intersects

1702 Commercial Ser Sta
1705 Sweeney Stores Inc gro and meats
1706 U S Capitol Rooms furn rms
Arostegui Jos
1709 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

17th intersects

1802 Commercial Ser Sta
1805 Sweeney Stores Inc gro and meats
1806 U S Capitol Rooms furn rms
Arostegui Jos
1809 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

18th intersects

1902 Commercial Ser Sta
1905 Sweeney Stores Inc gro and meats
1906 U S Capitol Rooms furn rms
Arostegui Jos
1909 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

19th intersects

2002 Commercial Ser Sta
2005 Sweeney Stores Inc gro and meats
2006 U S Capitol Rooms furn rms
Arostegui Jos
2009 Boise Chamber of Commerce
Boise Community Chest
Boy Scouts of America
Jr Chamber of Commerce
Idaho Cattlemen's Assn
Mtn States Traf Bureau
Merchants Bureaus
Idaho Rate Assn
Boise Celebration Assn
Intern Hdy Assn
Southwestern Idaho Water Conserva
tion Project Inc
710 Boise Rdw & Paint Co
711 Bentele Uphol Co
712 Home Lumber & Coal Co Paint
Store
Home Lbr & Coal Co genl ofc
DContl Lbr & Sup Co ofc
7125 Untel Leo S furn
Frank's Roller Rink

20th intersects

OLSON MANUFACTURING CO.

IDAHO'S PIONEER STEEL FABRICATOR
2223 Fairview Ave. Phone 6377 Boise, Idaho

IDAHO W—Contd
Capital Securities Bldg—Contd
230 U S Ofc for Emergency Manage
ment

300 Sullivan LaVerne L lawyer
Langroise & Sullivan lawyers
Langroise Wm T lawyer
Callahan Zinc Lead Co
302 United Credit Mens Assn
304 Idaho Mining Assn
Kitchen Carl C legal publications
307 Idaho Anti-Tuberculosis Assn
310 U S Civil Aeronautics Admin
(War Training Ser)
314 U S Navy Recruiting Sta
400 U S Ofc of Price Admn
402 Federal Housing Admn
Street continued

807 Idaho Power Co als room and div
ofc

811 Williams Oro
Williams Meat Mkt
811 Economy Rooms lodging
812 Powell Leo S furn
814 Hughes Ladies Apparel
815 Boise Trust Co
816 Hon's est appliances
816 Payless Drug Store
817 Fuller W P & Co paints retail
818 Stevens women's clo
819 Hon's est appliances
820 Block's Shoe Stores
820 Pack Bldg

8th intersects

1 George Jesse A
2 Thomas Ralph E
3 Phillips Joe L
4 Reynolds Lucy R Mrs
5 Vacant
6 Delmaris Blanche E Mrs
7 Reynolds Benj

Street continued

821 Addison Ted Plumbing Co
822 Frithman's Art & Gift Shop
823 Taylor Glenn A optom
824 Buhn's Wlrs
824 Strawn & Co Inc printing
825 Whillock's Shoe Store
826 Mayfair Shop The women's clo
826 McCarty Bldg

8th intersects

201 Lucas Marshall Y dentist
202 Davidson-Eberle real est and ins
203 Carter Pascoe B lawyer
204 Vanley Beauty Shoppe
205 Roberts Thos M lawyer and
justice of the peace
206 Williams Rex G barber
207 Farm Mkt Relations Inc
210 Monroe Calculating Mach Co Inc
215 Hurley Arth P real est
Dirks Diedrich J A adjustments
216 Keyer Harry A lawyer
203 Local Loan Co
304 Cowen J Bert real est
305 Rucker Mable F Mrs drsmkr
306 Idaho Coal Dirs Assn
307 U S Marine Corps Recruiting Sta
308 Income Tax Auditing Co
309 Boise Baseball Club
310 U S Dept of Agri (Div of Agri
Station)
311 Fuller Brush Co
312 Norman Merle Studio cosmetics
313 French W Wayne chiropractor
314 Thissen John M chiropractor
402 Idaho Livestk Prodn Credit Assn
403 Natl Farm Loan Assn
404 Ensign & Ensign Ins
St Michael Conclave No 32
(Masonic)
412 Keck Jean beauty shop
413 Stacey Wm A lawyer
415 Modern Woodmen of Am ofc

14th intersects

1406 Hahn Harvey W
1414 Bunch Sheet Metal Wks
15th intersects
16th intersects

1600 Chaney Truck Lines
Chaney Claude R 3d
1607 Camp Victor M
1607 Putney Ada E Mrs
1611 Baxter Glen W
1612 Vacant
1614 Bludeau Edw J 3d
1615 Folk David L 3d
1616 Whitake Herbert R
Pruett Benj B
1617 Maxwell Lonnie M 3d
17th intersects

1707 Boas Alex A 3d
1709 McBride Edw 3d
1710 Rush Clyde I 3d

17th intersects

1807 Boas Alex A 3d
1809 McBride Edw 3d
1810 Rush Clyde I 3d

18th intersects

1907 Boas Alex A 3d
1909 McBride Edw 3d
1910 Rush Clyde I 3d

19th intersects

2007 Boas Alex A 3d
2009 McBride Edw 3d
2010 Rush Clyde I 3d

20th intersects

2107 Boas Alex A 3d
2109 McBride Edw 3d
2110 Rush Clyde I 3d

21th intersects

2207 Boas Alex A 3d
2209 McBride Edw 3d
2210 Rush Clyde I 3d

22th intersects

2307 Boas Alex A 3d
2309 McBride Edw 3d
2310 Rush Clyde I 3d

417 U S Bur of Reclamation (Soil and
moisture cons)
Street continued
828 Ballou-Latimer Co drugs
9th intersects

900 Reeve Art Co
904 Splendid Bakery
906 Kress S H & Co dept store
908 Montgomery Ward & Co dept
store

913 Vacant
915 Konrad & Rose shoes
915 Sawtooth Club
State Dept of Law Enforcement
(Athletic Comn)
Boise Health Club phys culture
918 Anderson C C Co dept store
Golden Rule Store dept store
mez 11 Funk H A optometrist
919 City Dye Works
921 Wright & Glover Wlrs
923 Nelson Adolph G ins
Provident Fed Sav & Loan Assn
Tucker Virgil E ins
10th intersects

1007 Hopfgarten Adv Sign Co
1009 Wcll J & Co wheel oars
1014 Signal Corps Radio Sch
1015 Link 4 School of Business
1017 Motor Tire Service
1018 Western Auto Sup Co
11th intersects

1105 Oakley Automotive
1106 M C A
1108 Bates Les 3d confy
1108 Harman Wm B ins
1109 Campbell-Simpson Motor Co
1110 Reed Harold E barber
1110 Robinson E Bob mus tchr
1112 Parks Auto Co
1121 Campbell-Simpson Motor Co
1123 Morton's Tire & Auto Sups
1124 Ari Korah Temple
1125 Vacant
12th intersects

1200 Field's Super Ser Sta
1209 Vacant
1214 White A Byrl 3d pimbr
1216 Thacker Chas F
1220 Idaho Power Co genl offices
1225 Dufrane Auto Co used car dept
13th intersects

1308 Elliott Jos
1309 Gans Ruth M Mrs
1310 Fritzsche Eus
1310 Vacant
1312 Montague Chas R
1314 Kellogg Lizzie B Mrs
1315 Whitwell Evie E
1317 Pike Mark E Mrs 3d
1318 Juntil Carl J
1318 Palmer Gene L
1323 Holverson Carl E
1324 Adams Leslie L
14th intersects

1406 Hahn Harvey W
1414 Bunch Sheet Metal Wks
15th intersects
16th intersects

1600 Chaney Truck Lines
Chaney Claude R 3d
1607 Camp Victor M
1607 Putney Ada E Mrs
1611 Baxter Glen W
1612 Vacant
1614 Bludeau Edw J 3d
1615 Folk David L 3d
1616 Whitake Herbert R
Pruett Benj B
1617 Maxwell Lonnie M 3d
17th intersects

1707 Boas Alex A 3d
1709 McBride Edw 3d
1710 Rush Clyde I 3d

17th intersects

1807 Boas Alex A 3d
1809 McBride Edw 3d
1810 Rush Clyde I 3d

18th intersects

1907 Boas Alex A 3d
1909 McBride Edw 3d
1910 Rush Clyde I 3d

19th intersects

2007 Boas Alex A 3d
2009 McBride Edw 3d
2010 Rush Clyde I 3d

20th intersects

2107 Boas Alex A 3d
2109 McBride Edw 3d
2110 Rush Clyde I 3d

21th intersects

2207 Boas Alex A 3d
2209 McBride Edw 3d
2210 Rush Clyde I 3d

22th intersects

2307 Boas Alex A 3d
2309 McBride Edw 3d
2310 Rush Clyde I 3d

23th intersects

2407 Boas Alex A 3d
2409 McBride Edw 3d
2410 Rush Clyde I 3d

24th intersects

2507 Boas Alex A 3d
2509 McBride Edw 3d
2510 Rush Clyde I 3d

25th intersects

**H.
ALBERT
NEAL
&
CO.**

OFFICE
MACHINES

SCHOOL
EQUIPMENT

A. B. Dick
Mimograph
Duplicators

Elliott
Addressing
Machines

Standard
Mailing
Machines

Ediphone
Dictating
Equipment

Church
Furniture

Public
Seating

210
N. 10th

PHONE
1106

UNDERWRITERS ACCEPTANCE CORPORATION

AUTOMOBILE FINANCING
AUTOMOBILE AND FURNITURE LOANS
G. T. DRESS, Mgr.
213 First National Bank Bldg. Boise, Idaho Phone 351

WORTHINGTON & COFFIN

Coal Merchants

OFFICE
315 NO.
EIGHTH
Telephone
2079

W. P. FULLER & CO.

PAINTS, WALL PAPER,
WINDOW, PLATE AND AUTO GLASS

Office and Warehouse
15TH AND RIVER—PHONE 538

18th intersects
1804 Harkin R. Cro. B.
1805 Roberts John L. G.
1807 Hammett Ralph D. G.
1808 Marquess Wm. P. G.
1812 Beauty Nook
1813 Kretschmer Fdw. P. Jr. G.
1815 Lawrence Obed T.
1816 Turner Michl D. G.
1817 Leavitt Walter S. G. cabtmkr
1818 Bush Eva J.
1819 Connell Russell R.

19th intersects
1903 Alway Ethel G. Mrs. G.
1904 Briscoe Mary J. Mrs. G. drsmkr
1905 Berry Lee J. G.
1906 Drake Candis Mrs. G.
1907 Anderson J. Harry
1908 Walker David W.
1909 Nelson Karl G. G.
1910 Baker Earl N.
1911 Matthews Bely Mrs.

20th intersects
2001 Towne Frank C.
2002 DeMott E. R.
2003 Anderson Kenneth E. G.
2004 Christopher R. L.
2005 Newman J. Kendall
2006 Keweenaw Donald W.
2007 Haselmont Kenneth H. G.

21st intersects
2101 Peterson Geo.
2102 Kasper Henry D.
2103 A. M. Major G. G.
2104 Peterson Fred T.
2105 Thomas Geo. L. G.
2106 Thomas Henry P.
2107 Hill Peter W.
2108 Kelly Wm. J. G.
2109 Kelly J. P. G.
2110 Kelly Mary G.
2111 Kelly Mary G.
2112 Kelly Mary G.
2113 Kelly Mary G.
2114 Kelly Mary G.
2115 Kelly Mary G.
2116 Kelly Mary G.
2117 Kelly Mary G.
2118 Kelly Mary G.
2119 Kelly Mary G.
2120 Kelly Mary G.

22d intersects
2201 Thomas Geo. L. G.
2202 Thomas Henry P.
2203 Hill Peter W.
2204 Kelly Wm. J. G.
2205 Kelly J. P. G.
2206 Kelly Mary G.
2207 Kelly Mary G.
2208 Kelly Mary G.
2209 Kelly Mary G.
2210 Kelly Mary G.
2211 Kelly Mary G.
2212 Kelly Mary G.
2213 Kelly Mary G.
2214 Kelly Mary G.
2215 Kelly Mary G.
2216 Kelly Mary G.
2217 Kelly Mary G.
2218 Kelly Mary G.
2219 Kelly Mary G.
2220 Kelly Mary G.

23d intersects
2301 Thomas Geo. L. G.
2302 Thomas Henry P.
2303 Hill Peter W.
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2305 Kelly J. P. G.
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2314 Kelly Mary G.
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2317 Kelly Mary G.
2318 Kelly Mary G.
2319 Kelly Mary G.
2320 Kelly Mary G.

24th intersects
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2402 Thomas Henry P.
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2505 Kelly J. P. G.
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2511 Kelly Mary G.
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2513 Kelly Mary G.
2514 Kelly Mary G.
2515 Kelly Mary G.
2516 Kelly Mary G.
2517 Kelly Mary G.
2518 Kelly Mary G.
2519 Kelly Mary G.
2520 Kelly Mary G.

26th intersects
2601 Thomas Geo. L. G.
2602 Thomas Henry P.
2603 Hill Peter W.
2604 Kelly Wm. J. G.
2605 Kelly J. P. G.
2606 Kelly Mary G.
2607 Kelly Mary G.
2608 Kelly Mary G.
2609 Kelly Mary G.
2610 Kelly Mary G.
2611 Kelly Mary G.
2612 Kelly Mary G.
2613 Kelly Mary G.
2614 Kelly Mary G.
2615 Kelly Mary G.
2616 Kelly Mary G.
2617 Kelly Mary G.
2618 Kelly Mary G.
2619 Kelly Mary G.
2620 Kelly Mary G.

27th intersects
2701 Thomas Geo. L. G.
2702 Thomas Henry P.
2703 Hill Peter W.
2704 Kelly Wm. J. G.
2705 Kelly J. P. G.
2706 Kelly Mary G.
2707 Kelly Mary G.
2708 Kelly Mary G.
2709 Kelly Mary G.
2710 Kelly Mary G.
2711 Kelly Mary G.
2712 Kelly Mary G.
2713 Kelly Mary G.
2714 Kelly Mary G.
2715 Kelly Mary G.
2716 Kelly Mary G.
2717 Kelly Mary G.
2718 Kelly Mary G.
2719 Kelly Mary G.
2720 Kelly Mary G.

28th intersects
2801 Drury Lewis H.
2802 Raines Alf H. G.
2803 Golder J. Claude G.
2804 Nelson Stanley C.
2805 Wisdom Floyd E. G.
2806 Hunt Jas. E. G.
2807 Russell Jack.
2808 Hambo Archie L.
2809 McCarthy Jas. L. G.
2810 Fischer Eug. J. G.
2811 Wilson Woodrow S.
2812 Vacant
2813 Brizendine Chas. F.
2814 Vacant

ILLINOIS AV (S Boise) — From 700
Pennsylvania av south to city limits
2225 Wood G. Melvin
10WA (S Boise)—From east city limits
west to 2200 Broadway
2201 Remondetta Avel E. G.
2202 Maus Philip G. G.
2203 Beatty Villate Mrs. G.
2204 Vacant
2205 Wyoming av intersects
2206 Weldon Nora Mrs. G.
2207 Falls Herman P. G.
2208 Illinois av intersects
2209 Garro Edw. G.
2210 Division av intersects
2211 McGarvie Walter E. G.
2212 Lewis Wm. R.
2213 Osborn Glido W. G.
2214 Leadville av intersects
2215 Leonard Francis L. G.
2216 Leonard Rosalie E. Mrs. acct.
2217 Longmont av intersects
2218 Lyman Marion A. G.

IRENE—From 2300 13th west to junction of State and 33d
2301 Harrison blvd intersects
2302 Price John L.
2303 Vacant
2304 Alter Albert E.
2305 Kasper Clifford M. G.
2306 Vacant
2307 Miller Ernest W.
2308 Hynes Wm. J. G.
2309 Vacant
2310 Blahar Jas. W. G.
2311 Burrrows Virgil C. G.
2312 Thode Walter P. G.
2313 Badger Philip J.
2314 Smith Howard.
2315 Ennis R. Cecil G.
2316 Erickson Dessel G.

17th intersects
1701 Vacant
1702 Alter Albert E.
1703 Kasper Clifford M. G.
1704 Vacant
1705 Miller Ernest W.
1706 Hynes Wm. J. G.
1707 Vacant
1708 Blahar Jas. W. G.
1709 Burrrows Virgil C. G.
1710 Thode Walter P. G.
1711 Badger Philip J.
1712 Smith Howard.
1713 Ennis R. Cecil G.
1714 Erickson Dessel G.

18th intersects
1801 Vacant
1802 Miller Ernest W.
1803 Hynes Wm. J. G.
1804 Vacant
1805 Blahar Jas. W. G.
1806 Burrrows Virgil C. G.
1807 Thode Walter P. G.
1808 Badger Philip J.
1809 Smith Howard.
1810 Ennis R. Cecil G.
1811 Erickson Dessel G.

19th intersects
1901 Vacant
1902 Miller Ernest W.
1903 Hynes Wm. J. G.
1904 Vacant
1905 Blahar Jas. W. G.
1906 Burrrows Virgil C. G.
1907 Thode Walter P. G.
1908 Badger Philip J.
1909 Smith Howard.
1910 Ennis R. Cecil G.
1911 Erickson Dessel G.

20th intersects
2001 Vacant
2002 Miller Ernest W.
2003 Hynes Wm. J. G.
2004 Vacant
2005 Blahar Jas. W. G.
2006 Burrrows Virgil C. G.
2007 Thode Walter P. G.
2008 Badger Philip J.
2009 Smith Howard.
2010 Ennis R. Cecil G.
2011 Erickson Dessel G.

21st intersects
2101 Vacant
2102 Miller Ernest W.
2103 Hynes Wm. J. G.
2104 Vacant
2105 Blahar Jas. W. G.
2106 Burrrows Virgil C. G.
2107 Thode Walter P. G.
2108 Badger Philip J.
2109 Smith Howard.
2110 Ennis R. Cecil G.
2111 Erickson Dessel G.

22d intersects
2201 Vacant
2202 Miller Ernest W.
2203 Hynes Wm. J. G.
2204 Vacant
2205 Blahar Jas. W. G.
2206 Burrrows Virgil C. G.
2207 Thode Walter P. G.
2208 Badger Philip J.
2209 Smith Howard.
2210 Ennis R. Cecil G.
2211 Erickson Dessel G.

23d intersects
2301 Vacant
2302 Miller Ernest W.
2303 Hynes Wm. J. G.
2304 Vacant
2305 Blahar Jas. W. G.
2306 Burrrows Virgil C. G.
2307 Thode Walter P. G.
2308 Badger Philip J.
2309 Smith Howard.
2310 Ennis R. Cecil G.
2311 Erickson Dessel G.

24th intersects
2401 Vacant
2402 Miller Ernest W.
2403 Hynes Wm. J. G.
2404 Vacant
2405 Blahar Jas. W. G.
2406 Burrrows Virgil C. G.
2407 Thode Walter P. G.
2408 Badger Philip J.
2409 Smith Howard.
2410 Ennis R. Cecil G.
2411 Erickson Dessel G.

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RESIDENCE PHONE 2010

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Boise, Idaho

IVY AV (S Boise)—From Park av south
to Oak av, east of Broadway
311 Isser Harry D.
312 Shallman Kath V. Mrs nurse
313 Conallman Gustaf E. G.
314 Straus Berda Mrs. G.
315 Vacant
316 Foster John R. G.

IVYWILD (S Boise)—From 2500 Broad-
way west to Manitou av
1032 Stanton John M. G.
JACKSON (The Bench)—Runs south from
4008 4th av S
3082 Harmon Leslie C.
313 Ellis Geo. T. G.
314 Vacant
315 Taylor Jas. L. G.

JEFFERSON E—From 400 N 1st east to
Av D and from 400 Bruce east to city
limits
1025 Hill Chas. P. G.
1026 Petersen Geo. H.
1102 Tolman Fred A. G.
1242 Garmond's Fermina Mrs.
130 Roman Clety T. G.
1402 Davis Peter E. Mrs. G.
1403 Nurses Home
1404 Pittenger Fred A. G.

205 Hillview Apts:
1. A. Brenden Alice Mrs.
2. Vacant
3. Vacant
4. Vacant
Street continued
2074 Ondarza Escalatin Mrs. G.
2112 Wells Fred C. G.
2144 Minson Arth. G.
2152 Aker Dora M. Mrs. G.
2182 Palmer Caperton G. G.
2104 Alehe Jas. F. Hon. G.
2202 Scanlan Noble E.
224 Loveloy Danl L.
Jones Robt. T.
300 Taylor Rodney S.
302 Ashton Walter G.
305 Hicks Daisy Mrs. G.
Eglington Paul E.
Wasson Jos. L.
307 Cummock Cath Mrs. G.
Evans Arth. C.
310 Arnelan Tony.
312 Bower Bert L.
314 Hawsatt Tullio G. Mrs. G.
315 Vacant
317 Atkinson Golden W.
318 Ayres Estella B. Mrs. G.
319 Hermansen Emil W. G.
320 Fienner Rex G. G.

Av C intersects
402 Larson Sidney R.
Larson's Bly Belon
406 Gilbert Margt. Mrs.
408 Hodge John W. G.
410 Bates Myrlin V.

Av D intersects
508 Asher Wm.
510 Brennan Jas. E. G.
512 Maxfield Jas. H. G.
520 Power C. Geo. G.
524 Graham Howard N. G.

Av E intersects
601 Vacant
601 1/2 Vacant
604 Villeneuve Mary J. G.
608 Vaughn Leon T.
Subbarra Julian
Uriasaga Gloria Mrs.
612 Coruete Wm. G. G.
615 Rothchild John F.
618 Knapton Frank D.
620 Dyett Wm. M.

622 Weaver Jas. I.
633 Wiley Hugh D.
635 Johnson John E. G.
637 Sedwick Philo D.
639 Vacant
639 1/2 Brower Lydia Mrs.
641 Eno Edgar J.
Av F intersects
Bruce intersects
McKinley av intersects

700 Casino Edw. B.
701 Pearson A. Leslie G.
701 1/2 Baucker Mabel P. Mrs.
703 Shiefer Fred A.
712 Gibson Doyle V.
713 Warner Dell B. G.
714 Sullivan Mark T. G.
716 Jellison Minnie G.
723 Matthews Frank W.
725 Loveland Simpson G.
727 Ziegler Carl F. G. real est
738 Overland Elias N.
742 Sewell Gayle M.
743 Howard Gus P. G.
744 Neely Claudia L. Mrs. G.
746 Reimers Otto A.

801 Mureless Justo E. G.
809 Cernich Kazl G.
810 Harmon Lydia Mrs. G.
812 Aldape John.
816 Henderson Calvin E. G.
819 Harmon Lydia Mrs. G.
820 Hopkins Hazel C. Mrs. G.
824 Hood Ernest W.
825 Garrett John E. G.
826 McBride Henry L. G.
828 Lenz Pete.
830 Williams Walter D. G.

Elm intersects
808 Roosevelt School.
809 Muhlslein Albert N. G.
813 Ames Philip A.
Fleming Ruth E.
917 Baecher Allan W. G.
926 Brown Helen P.
927 Gansbaum John E.

Maple intersects
1001 Reed Harold A.
1002 Jones Howard L. G.
1005 McLaughlin Ben L.
1006 Bodle J. Horace G.
1009 Woolter Archie R.
1010 Walker Austin A. G.
1011 Collins Loren.
1014 Baker Harry T. G.
1015 Hellett John P. G.
1017 Tremaine John W.
1018 Gillette Lee E. G.
1020 Poncia Marie Mrs. G.
1022 Delna Benton F. G.

Walnut intersects
1100 Schiferl Mathew J. G.
1101 VanMeter Thos. H. G.
1104 Hennings Carl.
1106 Mullins Wm. H. G.
1106 Goodwin Roy I. G.
1108 Hall John R. G.
1112 Mann C. Fred G.
1113 Werry Norman.
1114 Knight Robt. H. G. piano tuner
1116 Locke D. Wesley G.
1120 Little Frank E. G.
1122 Thomas Chris J. G. transfer
Locust intersects

1203 Marmen Jesse E.
1204 Oster Fred G. G.
1205 Warner Chas. K. G.
1206 French Duard E. G.
1207 Kaperntok Edwin A.
1208 Robbette John J. G.
1210 Clark Mabel G. nurse
1211 Mendell Fred A. G.
1217 Selby V. Howerston G.
1218 Wayne Harry A. G.



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1418 BANNOCK ST. PHONE 271 BOISE, IDAHO

IDAHO ST.—W.—Contd
408ΔRobrhr Ira A @
411-415 A-Lo-Ha Apartments
Apartments:
1ΔPrice Albert E
2ΔSmith Walter S
3ΔWard Jesse E
4ΔStewart Florence
5 Vacant
6ΔSmith H Rex
Street continued
412ΔThum Laura P Mrs @
412½ Dockery Edw J
416ΔTucker E Waldon @
417ANeva Wm F
418ΔKelly Edw J Rev
419ΔJarrett Richard R
422ΔChurch of the Good Shepherd
5th at intersects
500ΔCivilian Conservation Corps
503ΔSmith Douglas Assoc Ser gas
and oil
519 Star Rooms
Bernola Telefoto
Sheriff Saul C
ΔAgulrie Frank M
515ΔFeuling Frank T
517ΔWatson Gwen A
Watson Harry F
521 Johnson Cath M Mrs @ furn
rms
522ΔCity Fire Dept (Central Sta)
6th at intersects
602ΔReeves Wholesale Co tobacco
604ΔBoise Aerle No 115 (F O E)
604½ Eagles Hall
608 Cotton Kath G Mrs
610 Shintani Ejiro
611ΔAh Fong Herbert herbs
Ah Fong Gerald herbs
612 Gion Hoy Chinese Herb Co
Vick Yee
612½ Hodge Mary A Mrs
Canada Pearl L Mrs
ΔMartin Milton A
Gregory Tabitha Mrs
613 Modern Rooming Hse
Yoursa Benito
617 Fong Wing Lindy
618ΔIdaho Crmry Co
622ΔAdelmann Bros assayers
623ΔBoise Water Corp
Nataatorium Co ofc
624ΔFong's Tea Garden
7th at intersects
701ΔCommercial Ser Sta
706ΔSafeway Stores Inc gro
706½ ΔCapital Rooms lodging
709ΔBoise Chamber of Commerce
Boise Community Chest
Boys Scouts of America
Jr Chamber of Commerce
Wstn Idaho State Fair
Idaho Cattle & Horse Growers
Assn
Mtn States Traf Bureau
Retail Merchants Bureau
Idaho Rate Assn
Boise Celebration Assn
710ΔBoise Hdq Co
711ΔBoise Whol Dry Gds Co
712ΔHome Lumber & Coal Co gent
ofc and paint store
712½ Union Block
Twentieth Century Bowling Plr
Apartments:
1 Neuman Sol
4 Griffith Nathan F
7ΔMyer Nadie H Mrs
9 Marks Jacob A
10 Vacant

11 Vacant
12 Vacant
14 Berkley Mervin
15 Peters Eliz B Mrs
16 Vacant
17 Vacant
18 L'Abbee Homer
19 Higgins Merlin R
21 Tage A Flenroy
22 McNeilly W Lloyd
24 Vacant
25 Wilson Agnes H Mrs nurse
26 Maycock Brokersake Cq
27 Wolfenberger Chas
28 Vacant
29 Bostic Yette Mrs
30 Beeson Eug
31 Wood Love R Mrs
32 Richardson Ruth Mrs
Street continued
713ΔCapital News Pub Co
714ΔCentral Coal & Seed Co
716ΔPabco Paint Store
718ΔPurity Bakery
720½ Apartments
Apartments:
1ΔCard Chas S
2 Spillman Mary
3 Noland Lucille Mrs
4 Clark Bernard T
5 Bellow Edna E Mrs
6 Montandon Cynthia A Mrs
Rooms:
200ΔMontandon Otoo F Ins
201 Morse Wm E Jr acoustic equp
202 Truth Center
205 Business & Professional Wo-
men's Club
Y W C A ofc
Girl Reserves ofc
Young Business Girls
Street continued
721ΔCity Bldg Insp
ΔCity Electrical Insp
ΔCity Health Officer
ΔCity Street Dept
ΔCity Park Dept
8th at intersects
800ΔMode Ltd The dept store
905 Capitol Securities Bldg
Rooms:
200ΔHome Owners Loan Corp
208ΔIdaho Bldg & Loan Assn
209 Am Soc for the Control of Can-
cer Women's Field Army
211ΔIdaho Anti Tuberculosis Assn
212ΔIll S Treasury Dept (State Ac-
counts Ofc)
916ΔBoise City Natl Bank
222ΔGenoway Chas V phys
232ΔWest Lynan F phys
300ΔSullivan L Vene L lawyer
ΔLangroise Wm H lawyer
ΔGriffin Saml S lawyer
ΔSullivan Willis E lawyer
303ΔUnited Credit Mens Assn
304ΔIdaho Mining Assn
Kitchen Carl C legal publications
307ΔHood J L mortgage loans
ΔHenry J M Ins
310ΔOppenheim Renj W lawyer
314ΔU S Treasury Dept (State Dis-
bursement Ofc)
328ΔAetna Affiliated Co's
400 Vacant
Street continued
807 Idaho Power Co sis room and
div ofc
811ΔWilliams Gro
811½ Economy Rooms lodging
813ΔPowell Leo R furn
814ΔHughes Ladies Apparel

A. G. NELSON, Pres. JACK H. SWANBERG, Field Supervisor
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FIDELITY AND SURETY BONDS
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P. O. BOX 1218 BOISE, IDAHO

IDAHO ST.—W.—Contd
815ΔBoise Trust Co
816ΔPayless Drug Stores
817ΔFuller W P & Co paints retail
store
818ΔStevens women's clo
819ΔHon Electric Inc
820ΔBlock's Shoe Stores
820½ Pack Bldg
Rooms:
1 George Jesse A
2 Phillips Harry E
5ΔPenman LeRoy E
6 Reynolds Lucy R Mrs
8 Floresa Geo
9 Vacant
11 Sandlin Neal
19 Vacant
14ΔKing Virgil T
Street continued
821ΔAddison Ted Plumbing Co
ΔFritchman's Paint & Picture
Store
822ΔTaylor Glenn A optom
822½ Vacant
823ΔHuhn Geo O jwlr
824 Strawn & Co Inc printing
825ΔWalsh's shoes
826ΔMayfair Shop women's clo
826½ McCarty Bldg
Rooms:
201ΔLucas Marshall Y dentist
204ΔFraser & Carter lawyers
206ΔU S Farm Credit Admn
Regional Agri Credit Corp
208ΔRoberts Thos M justice of the
peace
209 Williams Rex G barber
210ΔAgri Trade Relations Inc
212ΔIdaho Chain Stores Assn
216 Keyser Harry lawyer
217ΔMorritt Stores Inc (ofc) renl
mdse
201ΔWhipple Mary Mrs furnier
303ΔLocal Loan Co
306ΔRucker Mable F Mrs drsmkr
309ΔBoise Baseball Club
311ΔFuller Brush Co
312ΔNorman Merle Studio cosmetics
317ΔFrench W Wayne chiropractor
319ΔThissen John M chiropractor
403ΔIdaho Livestk Produ Credit
Assn
406ΔModern Woodmen of Am ofc
407ΔMonroe Calculating Mach Co
409 Income Tax Auditing Co
Bussell Jas W (ofc) pharm
411ΔInnis Warren H chiropractist
ΔRate Auditing Ser
412ΔKeck Jean beauty shop
413ΔStacy Wm A lawyer
Fisher Thos M Investigations
416ΔIdaho Compensation Co Ins
419ΔVanity Beauty Shop
Street continued
828ΔDalhou-Latimer Co drugs
900 Cherry Blossom Candy Shop
(br) conf
904ΔSplendid Bakery
906ΔKress S H & Co dept store
909ΔMontgomery Ward & Co dept
store
913ΔLowe Appliance Shop
915 Konrad & Rose shoes
916½ ΔSawtooth Club
ΔBoise Health Club
918ΔAnderson C C Co dept store
Golden Rule Store dept store

919ΔCity Dye Works
Wright & Glover wch reprs
923ΔVivian's Beauty Shop
10th at intersects
1007ΔHopfkarten Adv Sign Co sign
pntrs
1009ΔWell J & Co whol cigars
1014ΔNordling Paris Co
1016ΔLink's School of Business
1017ΔGoodyear Tire & Rubber Co
wnse
ΔMotor Tire Service Inc
1018ΔWestern Auto Sup Co
11th at intersects
1101ΔOakley Electric
1102ΔOakley Automotive
1102½ M C A
1108 Estes Lee confy
1108½ Robinson R Bob mus tchr
1109 Campbell-Simpson Motor Co
1110 Dadds Elmer G barber
1112ΔParks Auto Co
1121ΔCampbell-Simpson Motor Co
1123 Bevens & Co ser dept
1124ΔKoran Temple
1125 Vacant
12th at intersects
1900ΔField's Super Ser Sta
Bates Repair Shop auto repr
1209 Cook Robt E
Martin Ray
1213ΔWhite A Byrl @ plmbr
1215ΔFraser Carl H
1220ΔIdaho Power Co gent offices
18th at intersects
1308ΔElliot Jos
1309ΔKochsch P Wm @
1310 Schlaman Wm C
1310½ Vacant
1312 Chaney Doris
1314 Hodges Archie W
1315 Spa The baths
ΔWaltman B Wm
1317ΔPike Curtis P @
1318 Elliot Jos T
1323 Garside Chas A
1324 Osborn Thos S
14th at intersects
1406ΔPhelan Tony C
1414ΔBunch Sheet Metal Wks
15th at intersects
1600ΔChaney Truck Lines
ΔChaney Claude R
1607 Dana Lawrence L
1607½ Brotherton John C
1611 Stiles Orvil E
1612ΔChinn Geo W @
1614 Bludeau Edw J @
1615ΔPeik David L @
1616 Twitcheel Frank L
rearΔHolsum Bakery
1617 Maxwell Alice M drsmkr
ΔMaxwell Lonnie M @
17th at intersects
1707 Boss Alex @
1709 McBride Edw @
1710ΔTaylor Jas B @
1711ΔMcVicker Helen Mrs @
1712 Day Alice Mrs
1715 Mayes Belle L Mrs
1718ΔMorrison Jos J @
1719 Bethel A M E Church
1722ΔNicholson Carl E woolgrower
ΔLong Elma J Mrs @
18th at intersects
1803ΔCarter W Jas @
1804 Under constn
1805ΔRoberts John L @
1807ΔRader Ralph D @
1808ΔMarquess Wm P @

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537**

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IDAHO ST—W—Contd
1818ΔLovely Walter S
Hardman Howard

1903ΔOsborn Clifford J
1904 Driscoll Mary J Mrs drsmkr
Shaffer Chas C

1905 Berry Lee
1906 Drake Candis Mrs
1910 Anderson J Harry
1912 Vacant

1914ΔWalker Geo R
1917ΔRoberts Ralph B

2022 Ansoategui Santiago
2214ΔPhillips Elmer R
2216 House Cletus L
2218 Hughes W Del

2220 Vacant
2224 Hammond Kenneth H
Downey Wayne E

2309 McGill Joe
2319ΔAtkin Major G
2321ΔJacobson Fred R
2323ΔClark Wendell G contr

Clark Edwin M contr
2410ΔPritchard Geo A
2411ΔWolfe Wm L
2416ΔWroten Jas L

2501 Willy Frank J
2502 Church of the Foursquare
Gospel

2505ΔMuller Alice R Mrs
2511ΔWelker Alf N
2513ΔKerley Walter R
2515ΔWhite Sam E

2517 Wilkerson Dixie E Mrs
2519 McNeilly John P
2523 Cooper Grace Mrs

2600ΔBlair Albert G
2620 Stewart Dudley M
2624 Rounds Mazie Mrs

2701ΔGage Chas F
2715ΔWillie Louis V
2720 Marsden Jack W
2723 Horsman Ruth nurse

Altanoes Alf H
2724ΔCotter Claude J
2802 Hughes Harry J

2808 Hunt Jas E
2814 Farris Arth L
2816ΔJordan Jos F
3080ΔFischer Eug J

3180 Partee Jas A
ILLINOIS AV (S Boise) — From 700
Pennsylvania av s to city limits

INTERURBAN BLDG—See 215 N Capitol
bldg

**IOWA ST (S Boise) — From 2200
Broadway e to Longmont av**

307 Maus Philip G
308 Italy Violet Mrs

403 Weldon Wm T
Illinois av intersects
Division av intersects
Colorado av intersects

721ΔOsborn Glyde W
803 Leonard Francis L
917ΔLyman Mariou A

**IRENE ST—From Junction of State
and 33d e to city limits**

1662 Gordon Harry A
1708 Lien Verne C
Smith Britten
1708ΔHand Manley G
1710ΔKaesser Clifford M

2011 Vacant
2105ΔJeppesen Franklin B

2610ΔMasters Albert R
2614 Howarter Chas W
2712 Sacks Carl F

2814 Clark Ruth Mrs drsmkr
Clark Donald

3200 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

3240 Higgs Ivor L
3210 Carey Loretta Mrs
3212 Sanders Thos O

3215 Straus Jos
317 Hollaway Jack
3238ΔLogan Guy H

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Northwest Casualty Company**

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JEFFERSON ST—E—Contd

302ΔAshton Walter
305ΔMurray Jas A
Master Harold
Anderson Robt
Edwards DeMur

312ΔBates Mylin V
312ΔWood Bruce V
314 Haggitt Tillie Mrs
316 Carmody Irving

317ΔHohenleitner Herbert F
318ΔAyres Ernest F
319ΔHermansen Emil W
320ΔFleener Rex F

402ΔShanahan Carl E
406 Gilbert Marj Mrs
408ΔAdams Theo R
410 Floyd L Earl

508 Hibbert B Chas
510 Brennan Jas E
512ΔMaxfield Jas H
520ΔPower C Geo

524ΔGraham Howard N
601 Vacant
601½ Vacant

604ΔVilleneuve Mary
608ΔBergey Harry L
612 Corbit Wiley B
615ΔThode Bessie A Mrs

618ΔHardy Theo T
622 Vance Alton
623ΔEustis Bert W
635ΔJohnson John E

637 Atkinson Golden W
638 Weaver Irvin J
639 sneaker Edm M
639½ Massey John R

641ΔHooper Leon N Mrs
700 Barnard Rex I
701ΔPearson Leslie A

701½ΔJohnson Nora B Mrs
703ΔThurber Erin B
712 Hugg Carl H

714 Sullivan Mark T
716ΔJellison Minnie
723ΔBlackley Marvin A
725 Loveland Simeon

727ΔCarlton Jessie W Mrs
735 Ireland Russell W
742ΔMerrill Georgina D Mrs
743 Shelton Clarence F

744ΔNesby Frank A
746 Thomas Peggy Mrs
801ΔAldape Phillip
Fitzpatrick Howard

809 Cernich Kazi
810 Langdon A Wellington
815ΔHenderson Calvin R
819 Hamon Lydia Mrs

820 Hopkins Edw D
824ΔRichardson Curtis
825ΔGarrett John E
826ΔSanford Hollis

828ΔRuhl Walter R
830 Walton Elmar
908ΔRoosevelt School
913 Nixon Donald

925ΔYoung Rankin C
1001ΔMiller Z Reed
1002ΔBrown Fred F

1065ΔBellif Howard M
1066ΔBodie J Horace
1069 Muzatko John W
1010ΔWalker Austin A

1011 Vacant
1014ΔBaker Harry T
1015ΔHallett John P
1017ΔRogers Lester R

1018ΔAnderson Ira A
1020ΔPoncia Marie Mrs
1022ΔDelana Benton F
1100ΔSchiferl Matthew J

1104ΔGaun Angus H
1106ΔGoodwin Roy T
1109ΔHall John R
1112ΔMann C Fred

1115ΔWerry Norman piano tuner
1118ΔSpence Harry L
1119ΔLocke D Wesley
1120ΔLittle Frank B

1122ΔThomas Chris J
1203 Engle Adam H
1204 Oster Fred G
1205 Vacant

1206 French Duard E
1207ΔStrong Merrill C
1208ΔMonk Robt S
1210ΔClark Mabel nurse

1214ΔMendell Fred A
1215ΔRudwick Robt
1226 Howard Horace S
1228ΔLake Ivan B sheep shearer

1302ΔNordyke J Earl
1304ΔHearne Raymond W
1305ΔFrailick Ransler C
1306ΔRobertson Erle T

1308ΔYoung Geo L
1309ΔMiller C Renj
1310 Hennrich Geo E
1312ΔQuiver Jas E

1317ΔHolland Arth L
1319ΔBates Roy A
1321ΔGaley Frank S
1402ΔCraddock Robt V

1405ΔDavis Clarence D
1407 Gordon Nicholas J
1408ΔHeron Eva Mrs
1411 Bowen Richd O

1412ΔHunt Guy H
1414 Vanderhoof Alice Mrs
1415ΔJones Walter L
1416ΔQualls Curtis J

1418ΔKerr Kell G
1420 Kyle Orville M
1421ΔBaxter Erle Mrs
1422ΔAyres Jessie C

1423ΔWoods Willis M
1424ΔHearne Walter S
1425ΔHub Gro
1426ΔFarley Willard E

1427ΔLloyd Neva nurse
1428ΔButler Walter
1429ΔShaw Manley B
1430ΔBeckwith Mortimer S

1431ΔAbbate Domingo
1432ΔHearne Walter S
1433ΔHub Gro
1434ΔFarley Willard E

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1538ΔFarley Willard E

1539ΔLloyd Neva nurse
1540ΔButler Walter
1541ΔShaw Manley B
1542ΔBeckwith Mortimer S

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Idaho Hardware & Plumbing Co. LTD. PAINTS AND OILS

IDAHO ST.—E.—Contd
990 Hummel Fredk C
224 Teller Wm R
Oiler Virginia

Warm Springs av intersects
IDAHO ST.—WEST—From 200 N 1st, w to 14th and from 200 N 16th w to city limits

1st st intersects
103 Pursell Anna M Mrs
Harvey Helen M Mrs
Carse Lillian M Mrs
109 Falk Henry L
110 Boise Junior College
120 Barnwell Middleton S Rev
145 Hurst Apartments

Apartment:
1 Stoltz Fanny Mrs
2 Forter Lucille F Mrs
5 Grover Preston L
6 Wesson John E
9 Whittier Harry
10 Okey Perry E

Street continued

2d st intersects
212 Allshie Jas F Jr

3d st intersects
310 Chapman Vernon R
320 Brassfield Edw L
Rutledge Carl E
Mendenhall Everett O
Dando Richd
331 Lincoln School
324 White Apartments

Apartment:
1 Oelschlaeger Arth
2 Grice Frank E
4 Abarrate Anastacio
5 Facker Viola

Street continued

4th st intersects
108 Rohrer Ira A
111 A-L-Ha Apartments

Apartment:
1 Price Albert E
2 Tracy Arth C
3 Blenapfl Edw
4 O'Brien Florence Mrs
5 Parrott Saml
6 Thease Roscoe

Street continued

5th st intersects
412 Perrault Katie A Mrs
412 1/2 Dockery Edw J
Tessmer Sylvanus L
416 Tucker E Walden
417 Moore Guy T
418 Kelly Edw J Rev
419 Jarrett Ronald
422 Church of the Good Shepherd

Street continued

6th st intersects
502 Vacant
502 1/2 Vacant
503 Goodman Oil Co sta
504 Vacant
512 Aguirre Frank M shoe repr
Star Rooms
Bernola Telefoto
Sherrill Saml C
Miller Bert R
515 Crowley Ardel L
521 Johnson Catharine M Mrs
522 City Fire Dept

Street continued

7th st intersects
602 Reeves Wholesale Co
604 Boise Aerie No 115 (F O E)
604 1/2 Eagles Hall
608 Myers Nora B
610 Shintant Ejiro
611 Onaka Saml
612 Olson Roy Co herds

Street continued

8th st intersects
612 1/2 Hodge Mary A Mrs
613 Modern Rooming Hse
Ysursa Benj beer
617 Ching Sing Lndry
Wong Fong
618 Intermountain Auto Freight
Intermountain Honey Co
622 Adelmann Bros plmbs and assyrs
623 Boise Water Corp
Nastatorium Co
624 Grange Grocery

Street continued

9th st intersects
706 Pay'n Takit gro and meats
706 1/2 Capitol Rooms lodging
709 Vacant
710 Vogler Printing Co
Inland Printing Co
Guarantee Typewriter Co
710 1/2 Rea Lester T barber
711 Boise Whol Dry Gds Co
712 Home Lumber & Coal Co paint store
712 1/2 Danceland
Union Block

Street continued

10th st intersects
Apartment:
1 Neuman Sol
4 Griffith Nathan R
7 Halley Michl
8 Marks Jacob A
14 Reed Georgia Mrs
15 Higgins Merliss R
16 Ryan Myrtle Mrs
17 Smith Kenneth
20 Tase Chas
21 Tase A Flournoy
22 Vacant

Street continued

11th st intersects
713 Capital News Pub Co
714 Boise Saddlery & Finding Co
Capital Brokerage & Comm Co
716 Stillson's Cash Mkt meats
718 Purity Bakery
718 1/2 Central Apts

Street continued

12th st intersects
Apartment:
1 Cochran Allen J
3 Cressy Glenn J
4 Brown Claude T
5 Adams Elmer

Street continued

13th st intersects
720 Consumers Store gros
721 City Bldg Insp
City Electrician
City Health Officer
City Street Dept
City Park Dept
722 1/2 Fidelity Bldg

Street continued

IDAHO ST.—W.—Contd
Boise City Natl Bank Bldg—Contd
303 Farrer Vern Ins
300 Idaho Mining Assn
308 Wyman Frank T lawyer
312 Smith Gordon C mining
320 Idaho Anti-Tuberculosis Assn
4th fir Young Women's Christian Assn
Street continued

11th st intersects
807 Idaho Power Co sh room and div ofc
811 Boise Butcher Co
Williams Geo L gro
811 1/2 Economy Hotel lodging
813 Idaho Pissy Wigly gros-meats
814 Central Coal & Seed Co
815 Foster's Inc furn
816 Fuller W P & Co paints
818 Nu-Examel Inc
820 Baker Rug & Shade Hse
820 1/2 Pack Bldg

Street continued

12th st intersects
1 George Jess A
3 Holloway Carrie drsmkr
4 Albright Philip C
6 Reynolds Lucy H Mrs
8 Schrupp Carl H
12 Scanlon Thos J
Wadley Henry L

Street continued

13th st intersects
822 Bayhouse Floral Co
823 Buhrn Geo O Jwlr
824 Strawn & Co Inc printing
825 Union Security Corp
Motor Transport Assn
State Code Authority for Trucking Ind
Inland Sea Foods
826 McCarty Bldg

Street continued

14th st intersects
Ed fir U S Regional Agri Credit Corp
800ms
201 Lucas Marshall Y dentist
204 Fraser & Carter lawyers
205 Idaho Livestock Prod'n Credit Assn
301 Dalley Evalene Mrs drsmkr
Whipple Mary Mrs hematiching
305 Rucker Mable F Mrs drsmkr
Sutton Alice drsmkr
307 Idaho Coal Drs Assn
311 Consumers Water Corp
317 French Wayne W chiro
318 Innis Warren H chiropodist
401 Western Idaho Wool Mktg Assn
405 Monroe Calculating Mach Co
412 Keck Jean beauty shop
414 Roberts Thos M lawyer
Fisher Thos M office
416 Ridenbaugh John livestock dir
417 Anderson W Scott wool
418 Vanity Beauty Shop
Street continued

15th st intersects
828 Ballou-Latimer Co drugs

Street continued

16th st intersects
900 Cherry Blossom confy
904 Splendid Bakery
906 Kress S H & Co dept store
909 Montgomery Ward & Co dept store
915 Owyhee Market gro and meats
915 1/2 Boise Health Club
918 Anderson G C dept store
Golden Rule Store dept store
919 City Dye Works
Golden Seal M & M Co
921 Pay'n Takit stores gro and meats
925 Capital City Shoe Shop

Street continued

17th st intersects
907 Hopfgarten Adv Sme Co
909 Well J & Co whol cigars
914 Nordling Parts Co
915 Link's School of Business
Students Finance & Loan Co
917 Goodyear Tire & Rubber Co whse
Motor Tire Service Inc
918 Western Auto Sup Co

Street continued

18th st intersects
1401 Boise Dairy Products Co
1400 Moore Raymond E

Street continued

19th st intersects
1600 Chaney Claude R
Chauey Truck Line
1007 Perkins Eva A Mrs
1011 Jordan John C
1012 Chion Geo W
1014 Bladreau Edw J
1015 Polk David L
1016 Anderson Paul E
retn Holsun Bakery
1017 Maxwell Lonnie M

Street continued

20th st intersects
1707 Swartz Clarence T
1709 McBride Edw
1710 Smith Geo E
1711 Hatfield Hugh M
1712 Berry E Darwin
1715 Wiedenman Elsie L Mrs
1718 Jackson Arth W
1719 Bethel A M E Church
1729 Blakely Chester F

Street continued

21st st intersects
1803 Carter W Jas
1804 Roberts John L
1807 Raber Ralph D
1818 Lowlye Walter S
Newman Ray

Street continued

22nd st intersects
1904 Driscoll Mary J Mrs
rear Flick Lulu Mrs
1906 Drake Candis Mrs
1912 Kelly C Virgil
1914 Jensen Peter L

Street continued

23rd st intersects
2214 Cassada Nancy Mrs
2218 Heath Russell
2219 Avery Allen G
2220 Stearns Arth J
2224 Hammond Henry G

Street continued

24th st intersects

25th st intersects

26th st intersects

27th st intersects

28th st intersects

29th st intersects

30th st intersects

31st st intersects

32nd st intersects

33rd st intersects

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"THE VERY BEST" IN LAUNDRY SERVICE

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PEP

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20th st intersects

21st st intersects

22nd st intersects

23rd st intersects

24th st intersects

25th st intersects

26th st intersects

27th st intersects

P & M TIRE SALES CO.

GOODYEAR
TIRES



"More People
Ride on
Goodyear Tires
Than Any
Other Kind."

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AND
REPAIRING

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Equipment)
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BOISE, IDAHO

"Say It with Flowers" BOISE FLORAL CO. 111 North Eighth

442 Idaho St.—West	R. L. POLK & CO'S	Idaho St.—West
910 City Dye Works.	1805 Roberts John L. ☉.	
921 Pay'n Taktis Stores gros.	1807 Scheiber Chas M.	
925 Capital City Shoe Shop.	1818 Lovely Walter S. ☉.	
cor 10th 10th st intersects.	1820 Driscoll Mary J Mrs. ☉.	
cor 10th Anderson C C Co dept store.	1804 Drake Candis Mrs. ☉.	
First Natl Bank of Idaho.	1806 Voss Frank H. ☉.	
Golden Rule Store dept store.	1812 Moody Anna M Mrs. ☉.	
Hopfgarten Adv Sign Co.	1814 20th st intersects.	
Link's Business College & Sec-	1816 21st st intersects.	
retarial Sch.	1818 22d st intersects.	
1016 King Motor Co.	1820 Tindell Gordon J.	
11th st intersects.	1822 Stearns Arth J.	
Oakley & Sons auto sups.	1824 Hammond Henry O. ☉.	
1101 Y M C A.	1826 25th st intersects.	
1106 Y M C A Bldg.	1828 Willy Frank J. ☉.	
1106 Legier Henry confy.	1830 Vacant.	
1108 Estes Leo real est.	1832 Kerley Walter ☉.	
1108 1/2 Campbell-Simpson Motor Co auto	1834 Waring Gilt H.	
1109 dila.	1836 Wilkerson Dixie Mrs. ☉.	
1110 Bladreau Edw J barber.	1838 McNeilly John P. ☉.	
1110 1/2 Ferrell Stacy dancing tchr.	1840 Cooper Stephen M. ☉.	
1112 Parks Auto Co.	1842 26th st intersects.	
1121 Meier Geo S auto repr.	1844 Chaney Roy ☉.	
1123 Vacant.	1846 McCarroll Bros auto reprs.	
1125 19th st intersects.	1848 27th st intersects.	
1900 Martin Eva Mrs.	1850 Crocker Gerald R.	
1910 Wells Jennie E Mrs.	1852 Vacant.	
1913 White A Byrl.	1854 Naillon Wm H.	
1916 Nusbaum Fred.	1856 Owen Alfd S.	
1918 Williams Eva Mrs.	1858 28th st intersects.	
1920 Bower Marietta M Mrs.	1860 Leslie Wm T. ☉.	
1922 Bunting Wm.	1862 Vacant.	
1924 El Korah Temple.	1864 Rambo Wm L.	
19th st intersects.	1866 Thompson Louisa Mrs. ☉.	
1908 Young Chas G.	1868 Jordan Jos F. ☉.	
1910 Engle Adam B.	1870 Fischer Eugene J. ☉.	
1912 Wheeler Grace Mrs.	1872 ILLINOIS AV. (S. BOISE).	
1914 Smith Merton B. ☉.	from 700 Pennsylvania s to city	
1916 Brown Lydia Mrs.	limits.	
1918 Pike Curtis F. ☉.	IOWA ST. (S. BOISE).	
1920 Brooks John A.	from 2200 Broadway e to Wyom-	
1922 Dwight Emily L. Mrs.	ing av.	
1924 Roth Mary Mrs. ☉.	Wyoming av intersects.	
14th st intersects.	1900 Welden Wm T.	
Boise Dairy Products Co.	1902 Illinois av intersects.	
1406 Goode Eva Mrs.	1904 Vacant.	
15th st intersects.	1906 Division av intersects.	
16th st intersects.	1908 Colorado av intersects.	
Chaney Claude R. ☉.	IRENE ST.	
Chaney Truck Lino.	from junction of State and 33d	
Perkins Dwight Jwlr.	e to city limits.	
Jordin John C. ☉.	13th st intersects.	
1611 China Geo W. ☉.	14th st intersects.	
1612 Bladreau Edw J. ☉.	15th st intersects.	
1614 Folk David L. ☉.	16th st intersects.	
1616 Holsum Bakery.	17th st intersects.	
1618 Slattery Mary Mrs.	18th st intersects.	
1620 Maxwell Lonnie M. ☉.	19th st intersects.	
7th st intersects.	20th st intersects.	
Corbridge Geo H contr. ☉.	21st st intersects.	
1707 McBride Edw. ☉.	22d st intersects.	
1709 Smith Geo E. ☉.	23d st intersects.	
1710 Hatfield Hugh M. ☉.	24th st intersects.	
1712 Treadwell Isaac V.	25th st intersects.	
1714 Hoseley Emma M Mrs.	26th st intersects.	
1716 Berry E Darwin ☉.	27th st intersects.	
1718 Bethel A M E Ch.		
1720 Long Oliver T. ☉.		
1722 18th st intersects.		
1803 Carter W Jas. ☉.		

HOME LUMBER & COAL CO.

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1416 BANNOCK ST.

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BOISE, IDAHO

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Irene St. HOUSEHOLDERS GUIDE Jefferson St.—East 443

28th st intersects.	508 Peters Wm V.
29th st intersects.	510 Gregerson Rudolph.
30th st intersects.	512 Maxfield Jas H. ☉.
31st st intersects.	520 Warren Voc.
32d st intersects.	524 Harmon Chas F.
State st intersects.	av E intersects.
WY. AV. (S. BOISE).	601 Bumgardner Oscar L.
from Park av s to Oak av 1st e of	604 Villeneuve Martha Mrs. ☉.
Broadway.	608 Shawe Victor L. ☉.
311 Hanford Earl M. ☉.	612 Corbett Willey R. ☉.
IVY WILD ST. (S. BOISE).	615 Bush Alva H.
from 2600 Manitou av e to Broad-	618 Oelschlaegel Arth O.
way.	620 Driscoll John ☉.
Broadway st intersects.	622 Driscoll Wm J. ☉.
Charles st intersects.	633 Killian Lloyd D. ☉.
Cone Clarence C. ☉.	635 Johnson John E. ☉.
JEFFERSON APTS.	637 Campbell Lorne S.
Sec 1014 Jefferson.	638 Weaver Irving J. ☉.
JEFFERSON ST.—EAST	639 Vacant.
from 400 N 1st e to av D and	641 Durant John C. ☉.
from 400 Bruce e to city	av E intersects.
limits.	643 Bruce st intersects.
1st st intersects.	645 McKinley av intersects.
Hill Chas P. ☉.	701 Johnson Ervin W. ☉.
Nurses Home No 4.	701 1/2 Dring Arth C.
Cowley Chester C. ☉.	712 Wheeler Harold H.
Tolman Fred A. ☉.	714 Hochstrasser Chas L.
Garmendia Lorenzo ☉.	716 Jellison Minnie ☉.
Roles Alice M Mrs.	725 McClelland Merie R.
Nurses Home No 3.	727 Vacant.
Schmidtner Henry ☉.	735 Vacant.
Haynie Wm C.	742 Warner Wallace O. ☉.
Nurses Home No 2.	743 Howard Guy P. ☉.
Pittenger Fred A. ☉.	744 Aveline Elton G.
Reserve st intersects.	746 Taylor Sarah J Mrs. ☉.
Rader Bernard H.	801 Straughan st intersects.
Dietrich Frank S. ☉.	801 Delaney Wm J. ☉.
Hillview Apts.	810 Slevers Harry A.
Williams Anna C Mrs.	810 Hamon Phillip C.
Mumford Geo.	819 Oberbillig Donald D.
Rasmussen Augusta Mrs.	820 Coon A Jay.
Quigley Whit.	820 Walt Walter F. ☉.
Alasira Jose ☉.	826 Jackson Florence E Mrs.
Willis Fred C. ☉.	840 Shockley Nathl.
Roberts Margt H.	840 Elm st intersects.
Aker Leslie J. ☉.	908 Roosevelt School.
Rieger Sylvia Mrs. ☉.	913 Biggs Clarence E.
Fahrney Florence K. ☉.	925 Stoehr Wm. ☉.
Forrest Albt T.	925 Maple st intersects.
Lyman Marlon A.	925 Yeadon Drucilla Mrs. ☉.
Vacant.	1001 Schultz Leslie G.
Ashton Walter ☉.	1002 Siron Louis G. ☉.
Heigho Cedric A.	1006 Bodle J Horace ☉.
Murray Jas A.	1010 Walker Austin A. ☉.
Cummock Jas R. ☉.	1011 Belsher Troupe N. ☉.
Vacant.	1014 Baker Harry T. ☉.
Craig John C. ☉.	1015 Hallett John P. ☉.
Tompkins Laura Mrs.	1017 Idaho State Humane Society.
Cross Chas R. ☉.	1018 Jennings Wm H. ☉.
Treat Roy M.	1020 Smith Julia Mrs. ☉.
Ayres Ernest F. ☉.	1022 Delana Benton F. ☉.
Hornumson Emil W.	1027 Walnut st intersects.
Morton Willard H.	1100 Schiefer Matthew J. ☉.
Fleener Rex G. ☉.	1104 Barrett Elmer C.
av C intersects.	1106 Goodwin Ray I. ☉.
Williams Sarah M Mrs. ☉.	1109 Hall John R. ☉.
Bowers Guy.	1112 Mann C Fred. ☉.
Roussan Ruby Mrs.	1115 Werry Norman M. ☉.
Mitchell Dwight E.	1118 Wilson C Phillip.
Stephens Frank T.	1119 Welch John S. ☉.
av D intersects.	1420 Locke D Wesley.

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OLDEST ESTABLISHED JEWELERS IN IDAHO
BOISE, IDAHO PHONE 968-J

400 Idaho St.—East	R. L. POLK & CO'S	Idaho St.—West
112 1/2 Vacant.	617 Chung Sing Lindry.	
114 Worstell Lawrence E.	618 Intermountain Co-op Creamery.	
114 1/2 Euler Richd L.	621 Boise Water Co.	
116 Krebs Harry.	621 Natatorium Co.	
117 Anderson Mrs Lucinda M.	622 Adelmann Bros.	
144 Krall Mrs Eva A.	624 Peoples Co-op Mer Co.	
145 Anderson Columbus C.	700 *7th st Intersects.	
200 *Av A Intersects.	702 Hayes Cecil.	
200 Church Mrs Mary E.	704 Townsend Victor A.	
212 Aldecoa John D.	705 Rosene & Elmer.	
212 Archabal John.	706 McBratney Wm.	
220 Hammel Fred C.	706 Co. Coroner.	
224 Putnam Wm R.	706 1/2 Capital Rooms.	
300 *Av B Intersects.	707 Christopherson & Blackwell.	
300 *Warm Springs av Intersects.	708 Jones Furn Co.	
	708 Chinese Club.	
	709 Hong Kong Cafe.	
	710 Boise Rubber Stamp & Ptg Co.	
	710 Guarantee Typewriter Co.	
	710 Hansen J. T.	
	711 Wing Mrs Julia.	
	712 1/2 Danceland.	
	712 1/2 Jones Mrs Clarissa H.	
	712 1/2 Union Block.	
	714 Globe Paint Co.	
	715 Capital News Pub Co.	
	716 Idaho Prov & Pkg Co.	
	718 Hi-Klass Bakery.	
	718 1/2 Central Apts.	
	720 Consumers Store.	
	800 *8th st Intersects.	
	n e cor 8th Montandon Bldg.	
	n w cor 8th Mode Bldg.	
	802 Mode The.	
	807 Boise Nat Bank Bldg.	
	809 Idaho Power Co.	
	811 Boise Butcher Co.	
	811 1/2 Boise Butcher Co Bldg.	
	813 Idaho Piggly Wiggly Co.	
	814 Central Coal & Seed Co.	
	814 Northrup King & Co.	
	815 Foster's.	
	816 Fuller W P & Co.	
	818 Vacant.	
	820 Vacant.	
	820 1/2 Pack Bldg.	
	822 Strawn & Co.	
	823 I P System (O S L).	
	825 High & Fritchman Co.	
	826 Ballou-Latimer Co.	
	801 High & Fritchman Co.	
	900 9th st Intersects.	
	902 Vacant.	
	904 Crescent Millinery.	
	906 Downey & Wilder.	
	908 Boise Spig Gds Co.	
	909 Roberts Bros.	
	909 The Company Store.	
	910 Faust's Art Store.	
	913 Golden Seal M & M Co.	
	910 Lorimer's City Dye Wks.	
	921 Williams J C & Son.	
	923 Capital Shoe Shop.	
	1007 Hopfgarten Adv Sign Co.	
	1015 Link's Business Coll and Secre.	
	1100 tarial Schl.	
	1101 *11th st Intersects.	
	1101 Oakley & Sons.	
	1106 Young Men's Christian Assn.	

Merchants Protective Ass'n.
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MORLER'S CYCLERY

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A FULL LINE at 210-212 N. Ninth St.

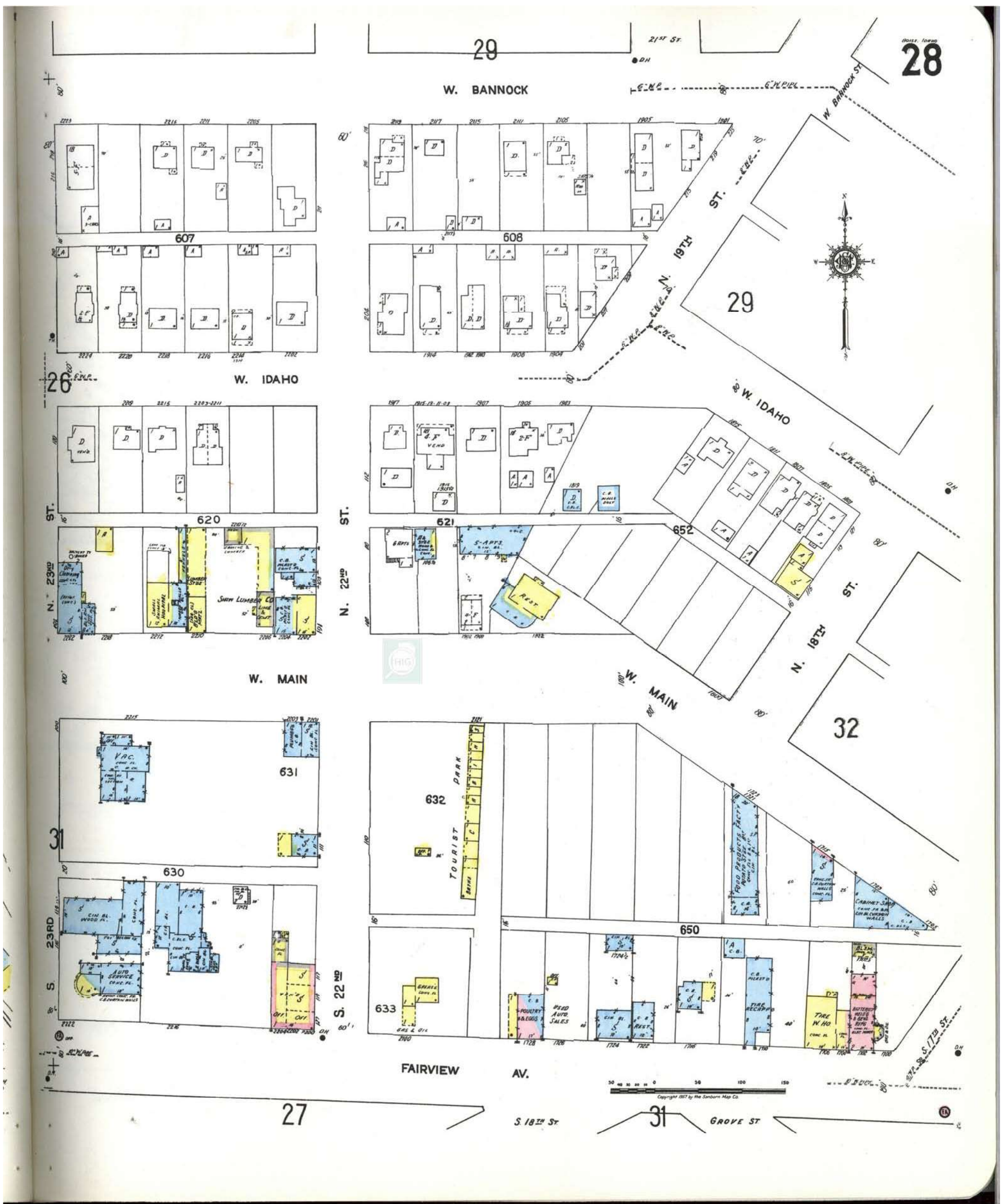
Idaho St.—West	HOUSEHOLDERS' DIRECTORY	Idaho St.—West 401
1110 Burns John A.	2700 *27th st Intersects.	
1112 McConnell Jas M.	2715 Vacant.	
1112 (rear) Harding Chas.	2720 Erikson Eugene C.	
1112 Chessier Alfr E.	2723 Vacant.	
1116 McCallister Mrs Ethel.	2724 Stout David A.	
1116 Pullin Flossie.	2800 *28th st Intersects.	
1116 Willis John H.	2802 Leslie Wm T.	
1121 Jensen Motor Co.	2808 Waldo Mrs Mae P.	
1123 Meier Geo S.	2814 Rambo Wm L.	
1124 El Korah Temple.	2816 Jordan Jas F.	
1124 Shriners Mosque.	3180 Capitol Meat Co.	
1200 *12th st Intersects.	3180 Fischer Eugene J.	
1209 Martin Mrs Eva.	IOWA ST.	
1210 Paddy Mrs Louisa J.	407 Welden Wm T.	
1210 Wells Mrs Jennie E.	917 Crane Mrs Mabel E.	
1213 White A B Plumbing & Heating.	IRENE ST.	
1213 1/2 White Alphonzo B.	1710 Noel Paul A.	
1214 Roberts J Cyrus.	2105 Miller Ernest W.	
1218 Cronk Minton.	IVY WILD ST.	
1220 Gourlay Alex.	*Broadway st Intersects.	
1220 *13th st Intersects.	*Charles st Intersects.	
1220 Parkinson Wm D.	1101 Ballenger Stephen S.	
1220 McPike Wm P.	1105 Higley Tracy.	
1210 Johns Abraham L.	1130 Cone Clarence C.	
1210 (rear) Havard Chas C.	JEFFERSON APTS.	
1212 Erickson John R.	See 1020-1022 W Jefferson.	
1213 Smith Mrs Mary.	JEFFERSON ST.—EAST	
1214 Brown Mrs Lydia.	102 Hill Chas P.	
1217 Pike Curtis F.	103 Foster Orville J.	
1218 Vacant.	106 McCaffre Mrs Jermima.	
1223 White Mrs Gladys E.	110 Tolman Fred A.	
1224 Vacant.	124 Vacant.	
1224 *14th st Intersects.	130 Dunn Thos.	
1226 Mellor Wm H.	131 Vacant.	
1226 *15th st Intersects.	137 Nurses Home No 3 St Lukes Hosp.	
1226 *16th st Intersects.	140 Schildhauer Henry.	
1226 Perkins Dwight.	141 So'osabal Antonio.	
1226 Vacant.	145 Nurses Home No 2 St Lukes Hosp.	
1226 Chinn Geo W.	148 Pettenger Fred A.	
1226 Clark Mrs Pearl M.	*Reserve st Intersects.	
1226 Folk David L.	Hillview Apartments.	
1226 Holsum Bakery The.	Mac Innis Edw J.	
1226 King Frank A.	207 Alastra Jose.	
1226 Maxwell Lonie M.	211 Willis Fred C.	
1226 *17th st Intersects.	214 Roberts Mrs Julia C.	
1226 Carbridge Geo H.	215 Aker Leslie J.	
1226 McBride Edw.	218 Rieger Erwin A.	
1226 Hogue Gilbert H.	220 Knowles Mrs Sarah J.	
1226 Hatfield Hugh M.	224 Eckenbach Herman W.	
1226 Vacant.	300 Shellworth Harry C.	
1226 Haseley Mrs Emma G.	302 Ashton Walter.	
1226 Halvick Michl.	305 Hart Harry W.	
1226 Bethel A M E Church.	307 Curnmock Jas R.	
1226 Long Oliver T.	310 Getz Fred.	
1226 *18th st Intersects.	310 Getz Wm.	
1226 Brown Fred F.	312 Pierson Danl A.	
1226 Roberts John L.	314 Vacant.	
1226 Vacant.	315 Grass Chas R.	
1226 Lovely Walter S.	318 Ayres Ernest F.	
1226 Driscoll Mrs Mary J.	319 Ryan Tanner H.	
1226 Voas Frank H.	319 Stephens Frank T.	
1226 Hennessy Jos P.	320 Flenner Rex G.	
1226 Moody Mrs Anna M.	400 *Av C Intersects.	
1226 Willis Wm J.	402 Williams Mrs Sarah M.	
1226 Reed Richd S.	406 Harker Ralph.	
1226 Hammond Hugh G.	408 Jones John W.	
1226 Vacant.	410 Vager Wm D.	
1226 Bradshaw John C.	*Av D Intersects.	
1226 Thompson Jas.	508 Freemyer Oral E.	
1226 Slopes Chas N.	510 Brandt Chas F.	

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Add to the Comfort and Convenience of Your Home
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ling, Mgr.ALL KINDS
of BUILDING
MATERIALTel.
9584th &
Main
Sts.

Ridenbaugh

See page 18



Map Type: Fire Insurance
 Publisher: Sanborn Map Co.
 Publication Name: Boise, ID
 Base Map Date: 1912
 Revised Date: 1956
 Republished Date: 1956
 Sheet Number: 28

1956

Requested by: Envirosite Corporation

CAPITAL CITY DEVELOPMENT CORP.

1715 W Idaho

Boise, ID 83702

Client Project # 41444

HIG Project # 2037790 www.historicalinfo.com







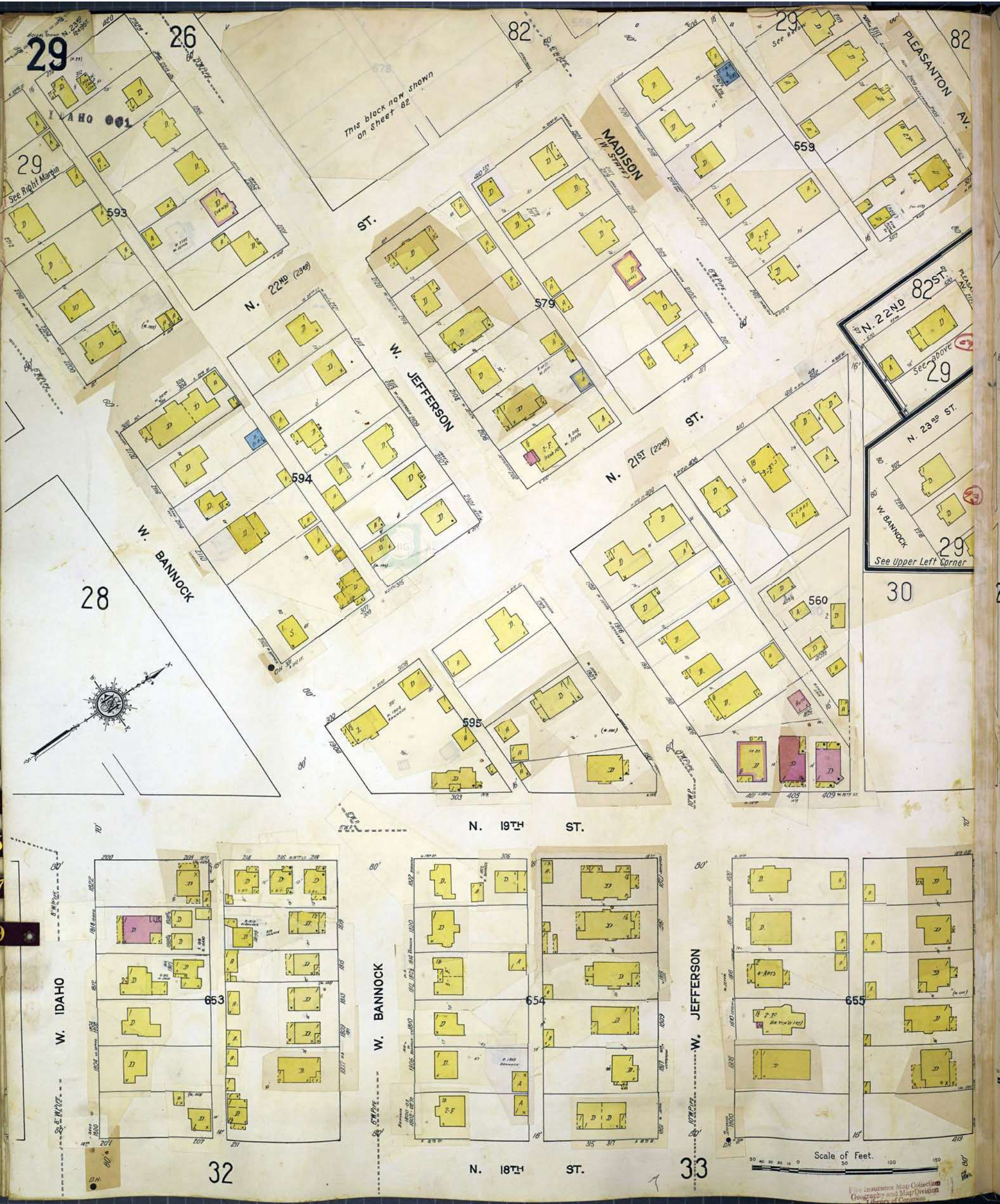
Map Type: Fire Insurance
 Publisher: Sanborn Map Co.
 Publication Name: Boise, ID
 Base Map Date: 1912
 Revised Date: September 1949
 Republished Date:
 Sheet Number: 28

1949

Requested by: Envirosite Corporation

CAPITAL CITY DEVELOPMENT CORP.
 1715 W Idaho
 Boise, ID 83702
 Client Project # 41444
 HIG Project # 2037790 www.historicalinfo.com







Map Type: Fire Insurance
 Publisher: Sanborn Map Co.
 Publication Name: Boise, ID
 Base Map Date: 1912
 Revised Date: September 1949
 Republished Date:
 Sheet Number: 32

1949

Requested by: EnviroSite Corporation

CAPITAL CITY DEVELOPMENT CORP.
 1715 W Idaho
 Boise, ID 83702
 Client Project # 41444
 HIG Project # 2037790 www.historicalinfo.com





Map Type: Fire Insurance
 Publisher: Sanborn Map Co.
 Publication Name: Boise, ID
 Base Map Date: 1912
 Revised Date:
 Republished Date:
 Sheet Number: 28

1912

Requested by: Envirosite Corporation

CAPITAL CITY DEVELOPMENT CORP.

1715 W Idaho

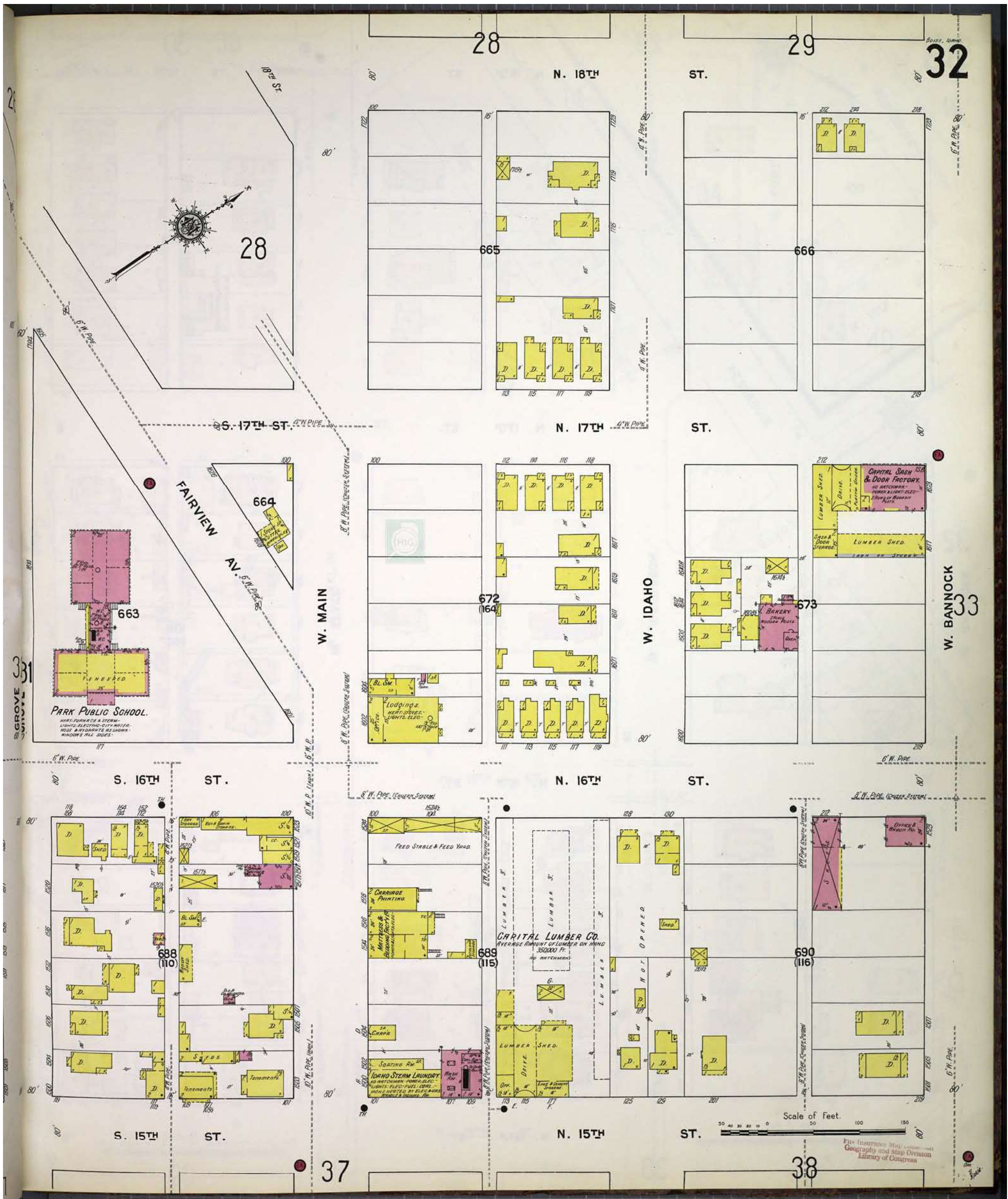
Boise, ID 83702

Client Project # 41444

HIG Project # 2037790 www.historicalinfo.com







Map Type: Fire Insurance
 Publisher: Sanborn Map Co.
 Publication Name: Boise, ID
 Base Map Date: 1912
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 Sheet Number: 32

1912

Requested by: EnviroSite Corporation

CAPITAL CITY DEVELOPMENT CORP.
 1715 W Idaho
 Boise, ID 83702
 Client Project # 41444
 HIG Project # 2037790 www.historicalinfo.com



Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 6

Previous Reports

No previous reports were provided to CAS for review.

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 7
Personnel Qualifications

CRAIG A. SIMON, P.E.
www.casandassociatesllc.com

ENVIRONMENTAL SPECIALIST & PROFESSIONAL ENGINEER

EDUCATION

BS, Mining Engineering, University of Utah, 1975
Minor, Geology.
Environmental Manager, Hazardous Waste Management
Colorado School of Mines, 1991.

PROFESSIONAL REGISTRATION

Professional Engineer (Idaho and Oregon Licensed)
State of Idaho Vendor Registration No. 30267

EXPERIENCE

CAS & Associates

Principal (1994-Current)

CAS & Associates is a Boise, Idaho based environmental consulting organization specializing in underground and above ground storage tank (UST/AST) permitting, related subsoil and groundwater investigations, Risk Based Corrective Action (RBCA)/Risk Evaluation Manual (REM) evaluations and remediation of petroleum impacted subsoil and groundwater. CAS & Associates has gained a close and respected relationship with the US Environmental Protection Agency (EPA), the Idaho Department of Environmental Quality (DEQ) and all of the clients which it has served.

Specific areas of expertise include:

Limited Phase I Environmental Site Assessments (ESAs). All Appropriate Inquiry Rules and ASTM Standard E 1527-05.

Phase II environmental investigations involving the collection of groundwater and subsoil samples through trenching, hollow-stem auger drills or direct-push units.

Installation of Idaho Department of Water Resources approved groundwater monitoring wells.

Collection of subsoil and groundwater samples for laboratory analyses of selected chemicals of concern

Site Characterization Investigations.

Risk Based Corrective Action (RBCA) and Risk Evaluation Manual (REM) Evaluations.

Design and installation of subsoil and groundwater remediation systems (i.e., groundwater sparging, subsoil excavation for land treatment, subsoil remediation via vapor extraction)

EPA required Spill Prevention Control and Countermeasures (SPCCs) Plans and Facility Response Plans (FRPs).

Chen-Northern Engineering
Project Engineer (1992-1994)

Project engineer for numerous UST related projects. Many of these projects were completed for the Idaho Petroleum Storage Tank Fund (PSTF) Bureau and the Idaho Department of Transportation.

Residuals Management, Inc.
Project Engineer (1992)

Engineering efforts were directed towards: the remediation of hazardous wastes (i.e., PCBs, mercury, petroleum hydrocarbons), waste reduction programs and emergency response plans. Manifested and selected RCRA disposal facilities (i.e., incineration and stabilization) for industrial clients in the Pacific Northwest. Responsibilities for staffing, budget preparation and project management.

CAS & Associates
Principal (1990-1991)

Mining and geologic consultant to the J. R. Simplot Company (Simplot Exploration, Nampa, Idaho). Evaluated the geologic reserves (proven-probable-possible) and economic feasibility of a historical gold mine in eastern Oregon. Project manager of a large minerals exploration program (gold and industrial minerals) in Northeast Washington for Boise Cascade Corporation.

Boise Cascade Corporation
Manager, Mineral Projects (1982-1990)

Responsible for the economic and technical evaluation of mineral exploration and development programs covering four million acres of timberlands in the United States and Canada. Through a program of joint ventures and company funding; precious metals, base metals and industrial minerals were targeted for exploration and eventual development. Other responsibilities included lease and joint venture negotiations (minerals and oil and gas), permitting of exploration and hydroelectric projects plus compilation of the Mineral/Hydroelectric Department's annual capital, operating and administrative budgets.

Dames & Moore Consulting
Project Engineer (1977-1981)

Completed detailed operating and capital cost schedules for large truck/in-pit (mobile) crushing and conveying systems within the Powder River Basin, Wyoming. A tour of the major lignite mines in Germany took place during this period for familiarization with bucket-wheel-excavators (BWEs) and associated high-volume, low-cost, material-handling systems. Additionally, a mining plan involving detailed capital and operating costs was completed for the Rio Blanco Oil Shale project.

Additional responsibilities included: the economic valuation of mineral properties, principally industrial minerals (i.e., phosphate, coal, uranium); mine plan review and mine feasibility studies for two coal properties in New South Wales, Australia; economic feasibility audit of a large coal property in Alaska; principal design engineer for underground and open-pit uranium mines in New Mexico; mine design, equipment selection, and cost analysis at the world's largest tar sands (at that time-perhaps the world's largest mine of any commodity) in Fort McMurray, Alberta, Canada.

Centennial Development Company
Engineer (1976-1977)

Project engineer and supervisor for this underground construction company with headquarters in Salt Lake City, Utah. During this period, an underground decline, vertical shaft and development headings were completed, in respectively, deposits of coal, copper, and borate. The projects were undertaken in the Western US

CF&I Steel Corporation
Engineer (1975-1976)

Responsibilities included mine ventilation (i.e., methane & dust control), development surveying and long-term mine planning for a 1,000,000 ton per year underground coal mine in Southern Colorado. Both room-and-pillar and longwall mining methods were employed

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 8

Analytical Results

No sampling was included in the scope of work for this project

Phase I Environmental Site Assessment (ESA)
Land Parcel (0.406 +/- Acres)
1715 West Idaho Street, Boise, Idaho 83702
Ada County Parcel ID: R5538941262
May 26, 2020

APPENDIX 9

Client-Requested Documentation

No Client-Requested Documents



OWNER'S POLICY OF TITLE INSURANCE
Issued By
TITLE RESOURCES GUARANTY COMPANY

Any notice of claim and any other notice or statement in writing required to be given to the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, TITLE RESOURCES GUARANTY COMPANY, a Texas corporation (the "Company") insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown

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in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or

(b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records

(i) to be timely, or

(ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.

10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

In Witness Whereof, Title Resources Guaranty Company has caused this policy to be signed and sealed by duly authorized officers as of Date of Policy shown in Schedule A.



An authorized signature



Title Resources Guaranty Company

By: _____
President/CEO

Michael Boyden
Secretary

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching

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between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) the term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
 - (2) if the grantee wholly owns the named Insured,
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.
 - (ii) with regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A.
- (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of

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these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

- (a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.
- (b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.
- (c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

- (a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.
- (b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) to pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) to pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

- (a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

(i) the Amount of Insurance; or

(ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

(i) the Amount of Insurance shall be increased by 10%, and

(ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

- (a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled

to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.

If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located.
Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.
- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: 8111 LBJ Freeway, Ste. 1200, Dallas, TX 75251, or trgclaims@titleresources.com.



TitleOne
Authorized Agent for:
Title Resources Guaranty Company

SCHEDULE A

Name and Address of Title Insurance Company: Title Resources Guaranty Company
8111 LBJ Freeway, Ste. 1200
Dallas, TX 75251

File Number: 20363584

Policy Number: 2470-O-20363584

Date of Policy: July 2, 2020 at 1:22PM

Amount of Insurance: \$605,000.00

Premium: \$2,080.00

Property Address Reference: 1715 W Idaho Street, Boise, ID 83702

- 1. Name of Insured:**
The Urban Renewal Agency of the City of Boise, Idaho, an independent public body, corporate and politic, organized under the laws of the State of Idaho, doing business as Capital City Development Corporation
- 2. The estate or interest in the land that is insured by this policy is:**
Fee Simple
- 3. Title is vested in:**
The Urban Renewal Agency of the City of Boise, Idaho, an independent public body, corporate and politic, organized under the laws of the State of Idaho, doing business as Capital City Development Corporation
- 4. The Land referred to in this policy is described as follows:**
See Attached Schedule C

TitleOne
By:

Scott Thiel, Authorized Signatory

SCHEDULE B
Exceptions from Coverage

File Number: 20363584
Policy Number: 2470-O-20363584

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. Rights or claims of parties in possession not shown by the public records.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land, and that is not shown by the Public Records.
3. Easements, or claims of easements, not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims to title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices to such proceedings whether or not shown by the records of such agency, or by the public records.
7. Taxes, including any assessments collected therewith, for the year 2020 which are a lien not yet due and payable.

Note: New Parcel number for the year 2020.
Parcel Number: R5538941262

8. The land described herein is located within the boundaries of Boise City (208-384-3735) and is subject to any assessments levied thereby. None are due and payable.
9. The land described herein is located within the boundaries of Boise City Canal Company and is subject to any assessments levied thereby. None are due and payable.
10. Easements, reservations, restrictions, and dedications as shown on the official plat of McCarty's 2nd Addition recorded in Book 2 of Plats at Page 85, records of Ada County, Idaho.
11. Terms and provisions contained in City of Boise Ordinance No. 6108.
Recorded: December 12, 2011
Instrument No.: 101131220, records of Ada County, Idaho.
12. All matters, and any rights, easements, interests or claims as disclosed by Record of Survey 11766 recorded March 26, 2019 as Instrument No. 2019-023510, records of Ada County, Idaho.
13. Terms and provisions contained in a Notice of Buildable Parcel for Parcel Consolidation.
Recorded: March 26, 2019
Instrument No.: 2019-023512, records of Ada County, Idaho.

File Number: 20363584
Policy Number: 2470-O-20363584

ALTA Owner's Policy (6/17/06)

SCHEDULE C
Legal Description

Lots 8 and 9 in Block 11 and the Westerly 45 feet of Lot 10 in Block 11 of McCarty's Second Subdivision, according to the official plat thereof, filed in Book 2 of Plats at Page(s) 85, official records of Ada County, Idaho.



Valbridge
PROPERTY ADVISORS

Appraisal Report

Idaho Street Residential Land
1715 W. Idaho Street
Boise, Ada County, Idaho 83702

Report Date: May 15, 2020



FOR:

John Brunelle, Executive Director
Capital City Development Corporation
121 N. 9th Street, Suite 501
Boise, Idaho 83702

Client Number: PO# 200072

Valbridge Property Advisors | Mountain States

1459 Tyrell Lane, Suite B
Boise, ID 83706
208-336-1097 phone
208-345-1175 fax
valbridge.com

Valbridge File Number:
ID02-20-0088-000



Joe Corlett, MAI, SRA
Moe Therrien, MAI
Kevin Ritter, MAI
Jeff Vance, MAI
Derek Newton, CGA
Dave Pascua, RT
Paul Dehlin, MAI

1459 Tyrell Lane, Suite B
Boise, Idaho 83706
208.336.1097 phone
208.345.1175 fax
valbridge.com

May 15, 2020

John Brunelle, Executive Director
Capital City Development Corporation
121 N. 9th Street, Suite 501
Boise, Idaho 83702

RE: Appraisal Report
Idaho Street Residential Land
1715 W. Idaho Street
Boise, Ada County, Idaho 83702

Dear Mr. Brunelle:

In accordance with your request, we have performed an appraisal of the above referenced property. This appraisal report sets forth the pertinent data gathered, the techniques employed, and the reasoning leading to our value opinions. This letter of transmittal does not constitute an appraisal report and the rationale behind the value opinion(s) reported cannot be adequately understood without the accompanying appraisal report.

The subject property is 0.406 acres of high-density residential zoned land located in downtown Boise. The site is vacant and ready for development. The property is under contract for purchase at a pending price of \$605,000. Based on the valuation presented herein, the pending sale price is supported by our conclusion of market value.

The subject was appraised using generally accepted principles and theory. We developed our analyses, opinions, and conclusions and prepared this report in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP) of the Appraisal Foundation; the Interagency Appraisal and Evaluation Guidelines; the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute; and the requirements of our client as we understand them. The report is presented in Appraisal Report format and complies with the requirements set forth under Standards Rule 2-2(a) of USPAP. It presents a narrative discussion of the pertinent data gathered, the techniques employed, and the reasoning leading to our value opinions.

The appraisal problem is to develop an opinion of Market Value: As Is. The client in this assignment is Capital City Development Corporation (CCDC). The intended use is to document market value to assist in the potential purchase of the subject property. The intended users of this report include the client and any duly appointed representatives of the client, specifically authorized by the client to view or use this appraisal in accordance with the stated purpose or function.

Significant Market Factor

The global outbreak of a "novel coronavirus" (known as COVID-19) was officially declared a pandemic by the World Health Organization (WHO) on March 11, 2020. On March 13, 2020, the State of Idaho issued an emergency declaration, which included a stay-at-home order through April 30, 2020. Pertaining to the business sector, only essential businesses are to remain open. Approximately 55%

of businesses in Idaho are considered essential under the stay-at-home order. The national, regional, and local economy have been adversely impacted with rapidly increasing unemployment that is actively being countered by government stimulus packages with the hopes of stabilizing the economy. The pandemic has created near-term uncertainty, but any long-term impact the pandemic may have on the local economy and real estate markets is unclear at this time. Sufficient transactional or market data has yet to become available to adequately measure future real estate market behavior relative to the pandemic. However, market participants do expect real estate markets to be negatively impacted to some degree. The duration of the pandemic is the major factor influencing the degree to which real estate may be impacted. It is noted, states around the county have begun or have near-term plans to lift stay-at-home restrictions to "reopen" the economy from the shutdown. On April 23, 2020, the State of Idaho announced a 4-stage plan for opening up Idaho. Stage 1 guidelines went into effect May 1, 2020. The document outlining the 4-stage guidelines is included in the Addenda section.

The reader is reminded that the conclusions presented in this appraisal report apply only as of the effective date(s) indicated. The appraiser makes no representation as to the effect on the subject property of this event, or any event, subsequent to the effective date of the appraisal.

The acceptance of this appraisal assignment and the completion of the appraisal report submitted herewith are subject to the General Assumptions and Limiting Conditions contained in the report. The findings and conclusions are further contingent upon the following extraordinary assumptions and/or hypothetical conditions which might have affected the assignment results:

Extraordinary Assumptions

- None

Hypothetical Conditions

- None

Value Conclusions

Based on the analysis contained in the following report, our value conclusions are summarized as follows:

Value Conclusions	
Component	As Is
Value Type	Market Value
Property Rights Appraised	Fee Simple
Effective Date of Value	May 8, 2020
Value Conclusion	\$605,000

Respectfully submitted,
Valbridge Property Advisors | Mountain States



Jeff Vance, MAI
Senior Appraiser
Idaho, Certification # CGA-2828
Certificate Expires 04/18/2021



Moe Therrien, MAI
Senior Managing Director
Idaho, Certification # CGA-8
Certificate Expires 12/31/2020

Table of Contents

Cover Page	
Letter of Transmittal	
Table of Contents.....	i
Summary of Salient Facts.....	ii
Aerial and Site Views.....	iii
Location Maps.....	iv
Introduction.....	1
Scope of Work.....	4
Regional and Market Area Analysis.....	6
Neighborhood Analysis	15
Site Description	23
Assessment and Tax Data	30
Market Analysis	31
Highest and Best Use.....	38
Valuation - Market Value: As Is.....	40
Sales Comparison Approach.....	40
Value Conclusion - Market Value: As Is.....	48
General Assumptions and Limiting Conditions	49
Certification – Jeff Vance	54
Certification – Moe Therrien	55
Addenda	56
Engagement Letter	57
Subject Photographs.....	62
Purchase and Sale Agreement	63
Opening Up Idaho Guidelines.....	72
Glossary.....	81
Qualifications	87

Summary of Salient Facts

Property Identification

Client Identification	Capital City Development Corp; PO# 200072
Property Name	Idaho Street Residential Land
Property Address	1715 W. Idaho Street Boise, Ada County, Idaho 83702
Tax Parcel Number(s)	R5538941262
Property Owner	Cinco Port LLC

Site

Zoning	R-3DD; Multi-Family Residential w/ Downtown Design Review Overlay
FEMA Flood Map No.	16001C0277H
Flood Zone	X
Gross Land Area	0.406 acres; 17,683 square feet
Usable Land Area	0.406 acres; 17,683 square feet

Existing Improvements

Improvements	None
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Valuation Opinions & Dates

Highest & Best Use - As Vacant	High-density residential
Highest & Best Use - As Improved	n/a
Reasonable Exposure Time	6-12 months
Reasonable Marketing Time	6-12 months
Date of Inspection	May 8, 2020
Date of Value	May 8, 2020
Date of Report	May 15, 2020

Value Indications & Conclusions

Valuation - Market Value: As Is	
Cost Approach	Not developed
Income Capitalization Approach	Not developed
Sales Comparison Approach	\$605,000
Conclusion - Market Value: As Is	\$605,000

Aerial and Site Views

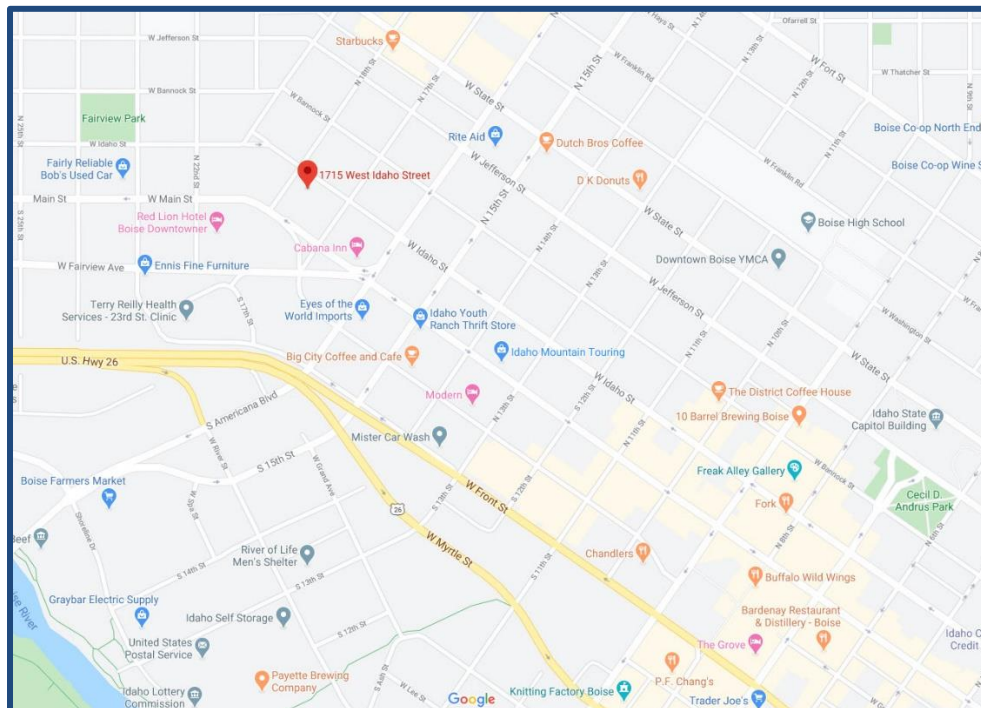
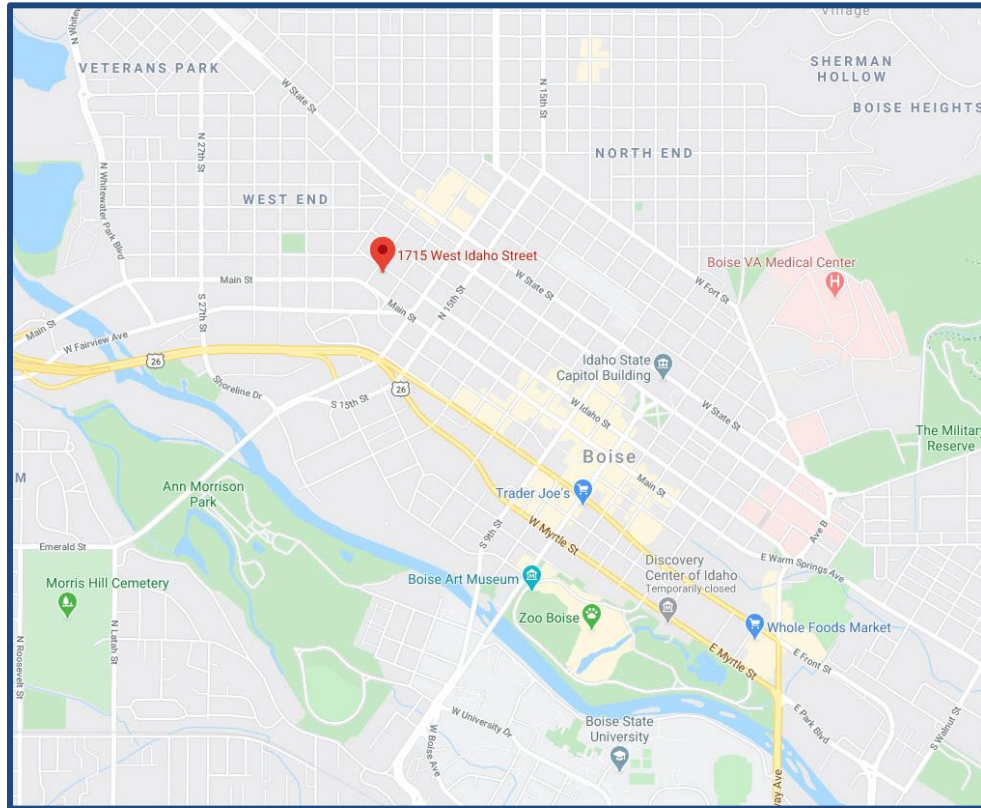
AERIAL VIEW



SITE VIEW



Location Maps



Introduction

Client and Intended Users of the Appraisal

The client in this assignment is Capital City Development Corporation (CCDC). The intended users of this report include the client and any duly appointed representatives of the client, specifically authorized by the client to view or use this appraisal in accordance with the stated purpose or function.

Intended Use of the Appraisal

The intended use is to document market value to assist in the potential purchase of the subject property.

Real Estate Identification

The subject property is located at 1715 W. Idaho Street, Boise, Ada County, Idaho 83702. The Ada County Assessor identifies the subject as Assessor Parcel Number R5538941262. The property is located within the incorporated city limits of Boise.

Legal Description

The subject is legally described as:

Parcel 1, ROS No. 11766, Record of Survey for Parcel Consolidation 1709-15 West Idaho, LLC, Boise, Ada County, Idaho:

Lots 8 and 9 in Block 11 and the Westerly 45 feet of Lot 10 in Block 11 of McCarty's Second Subdivision, according to the official plat thereof, filed in Book 2 of Plats at Page(s) 85, official records of Ada County, Idaho.

Use of Real Estate as of the Effective Date of Value

The subject is a vacant site ready for development.

Use of Real Estate as Reflected in this Appraisal

Same as above.

Ownership of the Property

According to Ada County Assessor records, title to the subject property is vested in Cinco Port LLC.

History of the Property

Cinco Port LLC purchased the property from 1709-15 West Idaho LLC in May 2019. This was an off-market transaction. Details of the transaction are unknown. No other known transactions have occurred with the past three years.

Listings/Offers/Contracts

The subject has been listed for sale for around 1 month at a price of \$595,000. The subject is now under contract for purchase at a pending price of \$605,000. The seller received multiple offers and the price was bid up to \$605,000. The buyer is Capital City Development Corporation (CCDC). The pending transaction is arms-length and both the buyer and seller appear to be typically motivated. The sale price is unaffected by any known special or creative financing or sales concessions granted

by anyone associated with the sale. Based on the valuation presented herein, the pending sale price is supported by our conclusion of market value.

Type and Definition of Value

The appraisal problem is to develop an opinion of the market value of the subject property. "Market Value," as used in this appraisal, is defined as "the most probable price that a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- *Buyer and seller are typically motivated.*
- *Both parties are well informed or well advised, each acting in what they consider their own best interests;*
- *A reasonable time is allowed for exposure in the open market;*
- *Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and*
- *The price represents the normal consideration for the property sold unaffected by special or creative financing or sale concessions granted by anyone associated with the sale."*

(Source: 12 C.F.R. Part 34.42(g); 55 Federal Register 34696, August 24, 1990, as amended at 57 Federal Register 12202, April 9, 1992; 59 Federal Register 29499, June 7, 1994. Also Interagency Appraisal and Evaluation Guidelines as referenced on Page 77472 of the Federal Register/Vol. 75, No. 237/Friday December 10, 2010/Notices)

The value conclusions apply to the value of the subject property under the market conditions presumed on the effective date of value. Please refer to the Glossary in the Addenda section for additional definitions of terms used in this report.

Valuation Scenarios, Property Rights Appraised, and Effective Dates of Value

Per the scope of our assignment we developed opinions of value for the subject property under the following scenarios of value:

Valuation Scenario	Property Rights Appraised	Effective Date of Value
Market Value: As Is	Fee Simple	May 8, 2020

The "as is" date of value coincides with the date of the property inspection.

Date of Report

The date of this report is May 15, 2020 which is the same as the date of the letter of transmittal.

List of Items Requested but Not Provided

None

Assumptions and Conditions of the Appraisal

The acceptance of this appraisal assignment and the completion of the appraisal report submitted herewith are subject to the General Assumptions and Limiting Conditions contained in the report. The findings and conclusions are further contingent upon the following extraordinary assumptions and/or hypothetical conditions which might have affected the assignment results:

Extraordinary Assumptions

- None

Hypothetical Conditions

- None

Scope of Work

The elements addressed in the Scope of Work are (1) the extent to which the subject property is identified, (2) the extent to which the subject property is inspected, (3) the type and extent of data researched, (4) the type and extent of analysis applied, (5) the type of appraisal report prepared, and (6) the inclusion or exclusion of items of non-realty in the development of the value opinion. These items are discussed as below.

Extent to Which the Property Was Identified

The three components of the property identification are summarized as follows:

- Legal Characteristics - The subject was legally identified via city, county, and public records.
- Economic Characteristics - Economic characteristics of the subject property were projected via comparison to properties with similar locational, physical, and financial characteristics.
- Physical Characteristics - The site inspection was relied upon for describing the site.

Extent to Which the Property Was Inspected

The subject was personally inspected by Jeff Vance, MAI, on May 8, 2020. This included walking the site, viewing the property from several different angles, and driving the neighborhood. Moe Therrien, MAI, also performed a current site inspection of the subject.

Type and Extent of Data Researched

We researched and analyzed: (1) market area data, (2) property-specific market data, (3) zoning and land-use data, and (4) current data on comparable listings and transactions. We also interviewed people familiar with the subject market/property type.

Disclosure of Comparable Verification/Inspection

Idaho is a non-disclosure state. Essential information like grantor, grantee, sale price, and sale date from real estate transactions is not required to be listed in public record. Therefore, the appraiser must gather the key data details from parties involved who may have no incentive to cooperate. Often, appraisers are compelled to obtain information from secondary sources. The appraisers made reasonable attempts, within the scope of this work, to obtain all key information from seemingly reliable sources, but some data may not be completely accurate.

Valbridge Property Advisors – Mountain States Appraisal and Consulting Incorporated (VPA-MSA) maintains an extensive database containing sale, rent, capitalization rate, and expense comparables, as well as other pertinent market data. Unless otherwise noted, the comparables utilized herein were all verified personally by Jeff Vance, MAI, and/or another appraiser employed with VPA-MSA. Verification was made from various sources including purchase contracts, rent rolls, real estate brokers, property management companies, buyers, sellers, and landlords. The conformation source is noted for each comparable utilized herein. For improved properties in the local market, we have completed at minimum exterior inspections of the comparables; either in conjunction with this appraisal or as a part of previous appraisals of other properties. Interior inspections have been completed for some but not all of the local comparable properties.

Type and Extent of Analysis Applied (Valuation Methodology)

We observed surrounding land use trends, the condition of any improvements, demand for the subject property, and relevant legal limitations in concluding a highest and best use. We then valued the subject based on that highest and best use conclusion.

Appraisers develop an opinion of property value with specific appraisal procedures that reflect three distinct methods of data analysis: the cost approach, sales comparison approach, and income capitalization approach. One or more of these approaches are used in all estimations of value.

- Cost Approach - In the cost approach, the value indication reflects the sum of current depreciated replacement or reproduction cost, land value, and an appropriate entrepreneurial incentive or profit.
- Sales Comparison Approach - In the sales comparison approach, value is indicated by recent sales and/or listings of comparable properties in the market, with the appraiser analyzing the impact of material differences in both economic and physical elements between the subject and the comparables.
- Income Capitalization Approach - In the income capitalization approach, value is indicated by the capitalization of anticipated future income. There are two types of capitalization: direct capitalization and yield capitalization, more commonly known as discounted cash flow (DCF) analysis.

Approaches Applied

All of these approaches to value were considered. We assessed the availability of data and applicability of each approach to value within the context of the characteristics of the subject property and the needs and requirements of the client. Based on this assessment only the sales comparison approach was developed to derive market value for the subject. Further discussion of the extent of our analysis and the methodology of each approach is provided later in the respective valuation sections.

Appraisal Conformity and Report Type

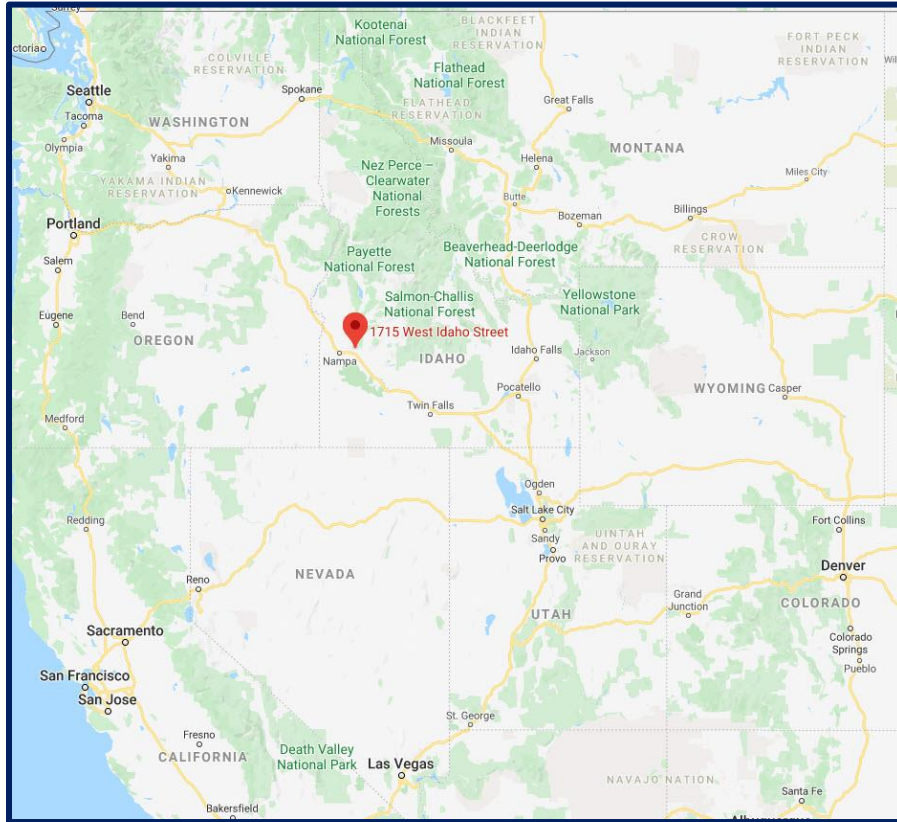
We developed our analyses, opinions, and conclusions and prepared this report in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP) of the Appraisal Foundation; the Interagency Appraisal and Evaluation Guidelines; the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute; and the requirements of our client as we understand them. The report is presented in Appraisal Report format and complies with the requirements set forth under Standards Rule 2-2(a) of USPAP. It presents a narrative discussion of the pertinent data gathered, the techniques employed, and the reasoning leading to our value opinions.

Personal Property/FF&E

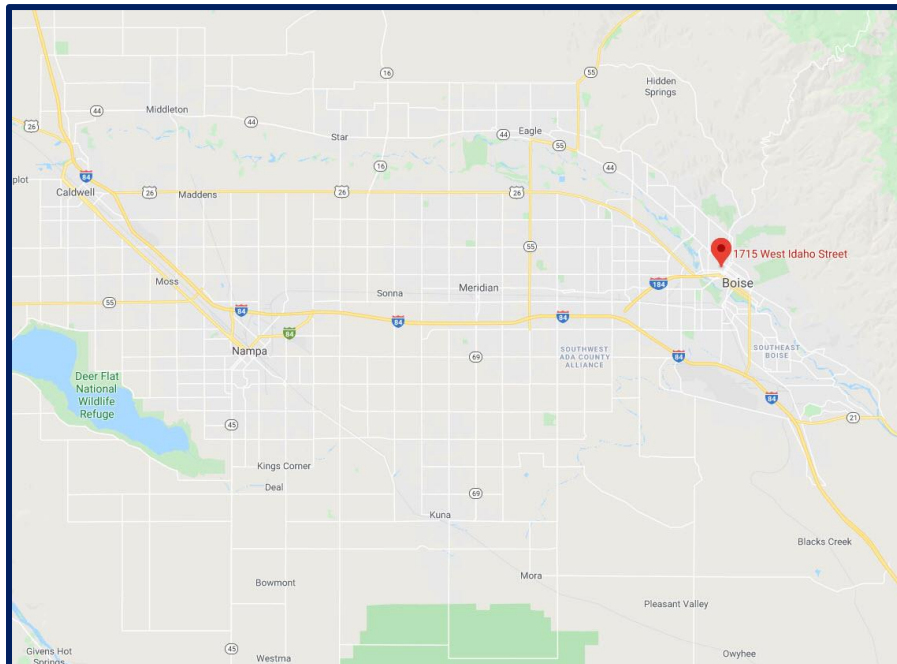
All items of non-realty are excluded from this analysis. The opinion of market value developed herein is reflective of real estate only.

Regional and Market Area Analysis

REGIONAL MAP

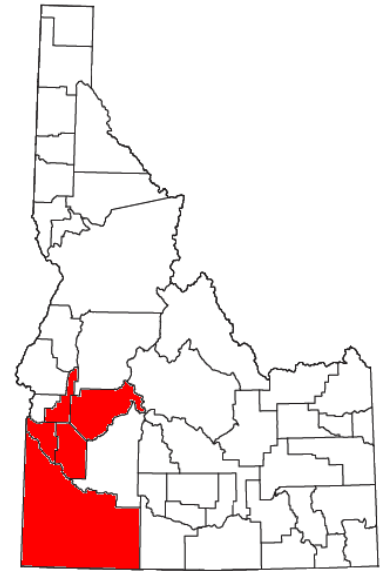


BOISE MSA MAP



Regional Overview

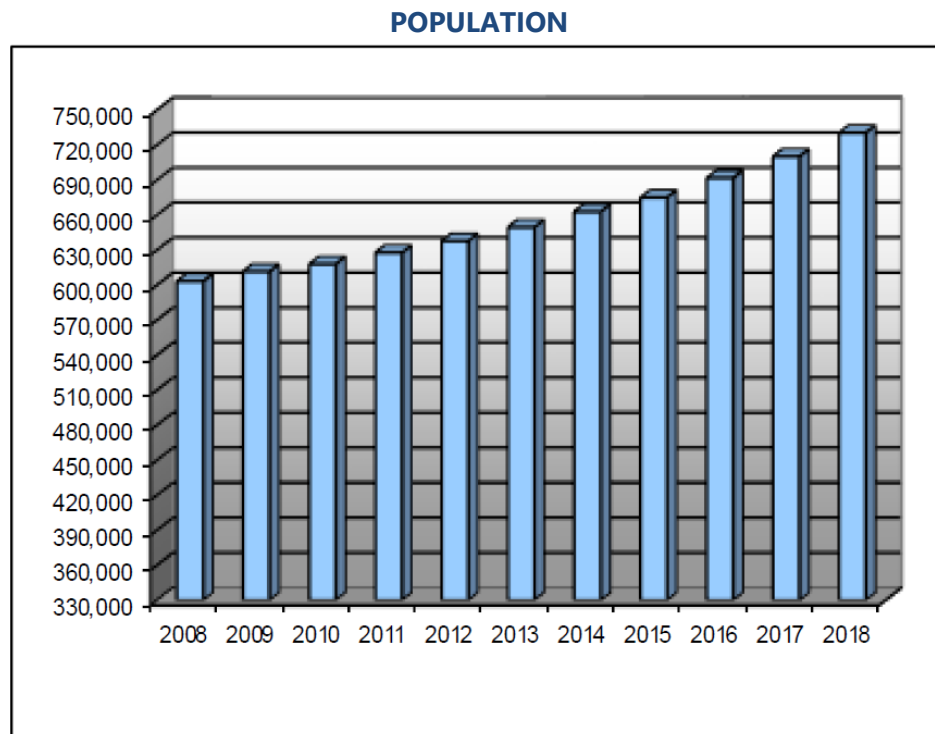
The subject's regional area is southwest Idaho, which is generally referred to as the Treasure Valley or the Boise-Nampa Metropolitan Statistical Area (Boise MSA). As defined by the U.S. Census Bureau, the Boise MSA consists of five counties (Ada, Boise, Canyon, Gem and Owyhee) as shown in adjacent exhibit. The Boise MSA is the state's largest metropolitan statistical area and includes Idaho's three largest cities – Boise, Meridian, and Nampa. Approximately 41% of Idaho's total population resides in the Treasure Valley with 95% of the metro area's population residing in Ada and Canyon counties.



The metro area is currently the 3rd largest in the Pacific Northwest after Seattle and Portland. The general area has been a popular relocation destination for new residents attracted to the outdoor lifestyle, low cost of living, the diversity of the economy and availability of employment.

Population

The following graph produced by the Idaho Department of Labor illustrates population trends for the Boise MSA from 2008 through and 2018. At year-end 2018, total population was 730,426. Note, according to CompassIdaho.org, the population as of April 2020 was 737,790 for the Boise MSA.



As apparent in the graph, population growth has experienced an increasing trend during the past decade. Total population growth from 2008 through 2018 was approximately 127,000 or a 21% increase over the ten-year period indicating a straight-line increase of 2.1% annually.

Ada County Overview

Ada County is the state's most populated county with around 503,000 residents. Incorporated cities in Ada County include Boise, Meridian, Eagle, Garden City, Kuna, and Star. An overview of the cities follows:

Cities

Boise is the most populous city in Idaho with over 240,000 residents. It is the State Capitol and Ada County's seat of government. Located along the Boise River, Boise is the principal city in the Boise MSA, and is the largest city between Salt Lake City, Utah and Portland, Oregon. Boise is headquarters for a number of major corporations and serves as the primary government, economic, cultural, and education center for Southwest Idaho, Eastern Oregon, and Northern Nevada. Boise is continually recognized in numerous publications as one of the best places to live in the country.



Meridian is located adjacent west of Boise and is one of the state's fastest-growing cities. At over 119,000 residents, Meridian is now the 2nd largest city in the state. Because of Meridian's significant growth, the majority of residential neighborhoods in the city are relatively new. Over the past two decades, Meridian has become a center of retail and commercial development in southwest Idaho.

Eagle is located approximately 10 miles northwest of downtown Boise. The population of Eagle is 32,560 residents. Eagle has become one of the most desirable cities in the Treasure Valley because of its location near the Boise River, views of the Boise Foothills, and its upscale quality of residential and commercial developments.

Kuna is located approximately 7 miles south of Meridian. Once a small, rural farming community, Kuna is now one of the fastest growing communities in Idaho. From 2010 to 2020, the population in Kuna increased from 15,210 to 24,890, representing a 64% increase during this period. City officials expect the population to double during the next 10 to 15 years.

Garden City is located adjacent to Boise's downtown business core. Garden City is primarily developed with strip retail and service commercial uses along Chinden Boulevard and older residential subdivisions, mobile home parks, and older industrial buildings throughout the nonarterial streets. At 12,460 residents, population growth has been nominal during the past several years, because it is nearly fully built-up.

Star is located approximately 6 miles west of Eagle. Star has experienced strong growth during the past two decades and now has 11,860 residents. Because of good proximity to employment centers is nearby Boise, Meridian, and Eagle, Star has become a bedroom community to those cities with a significant number of commuters.

Canyon County Overview

Canyon County is located adjacent west of Ada County. At over 234,500 residents, Canyon County is the second most populous county in Idaho. Canyon County's economy is more agriculturally based and although it only ranks 39th (out of 44 Idaho counties in size), it produces 10% of the state's agricultural income. The county ranks 47th among 3,079 counties nationwide in agricultural production with approximately 84% of the land being used for this endeavor. As a product of the agricultural base, a number of agricultural manufacturing and processing businesses are headquartered in the county. Although Canyon County's economy has historically been agriculturally-oriented, it has become more urbanized over the past two decades as a result of strong population growth. The two largest cities in Canyon County are Nampa and Caldwell. Middleton, Greenleaf, Melba, Notus, Parma, and Wilder are smaller rural communities also located within Canyon County. An overview of the two largest cities follows:



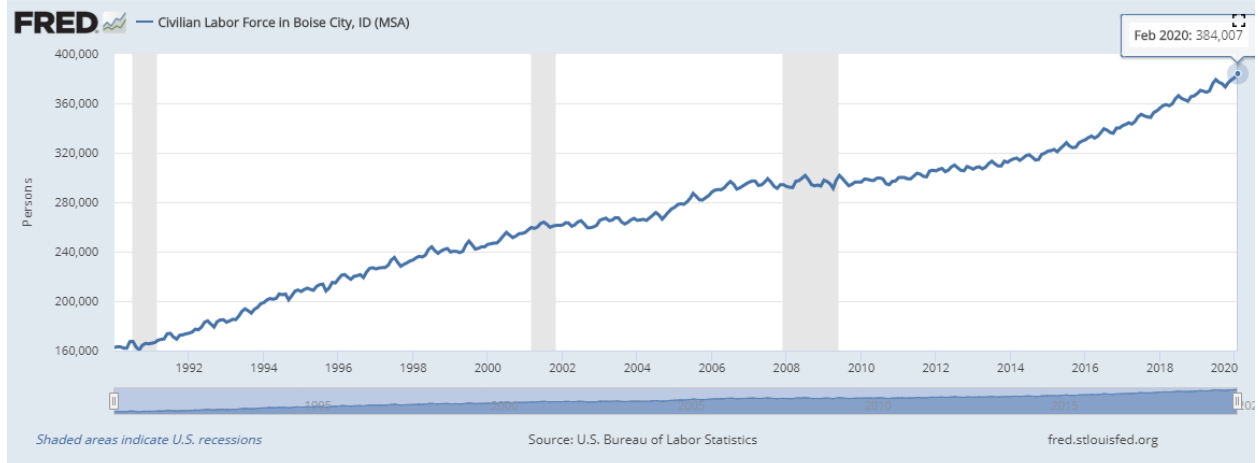
Cities

Nampa is located approximately 25 miles west of Boise and 30 miles east of the Oregon state line. At over 106,500 residents, Nampa is the largest city in Canyon County and the 3rd largest in the state. Many residents commute to neighboring Ada County for work opportunities to benefit from lower overall housing prices and a more rural environment relative to Ada County.

Caldwell is located approximately 8 miles west of Nampa. At over 61,000 residents, Caldwell is the 2nd largest city in Canyon County. Caldwell's economy is largely agriculturally based. Caldwell is the county seat of Canyon County.

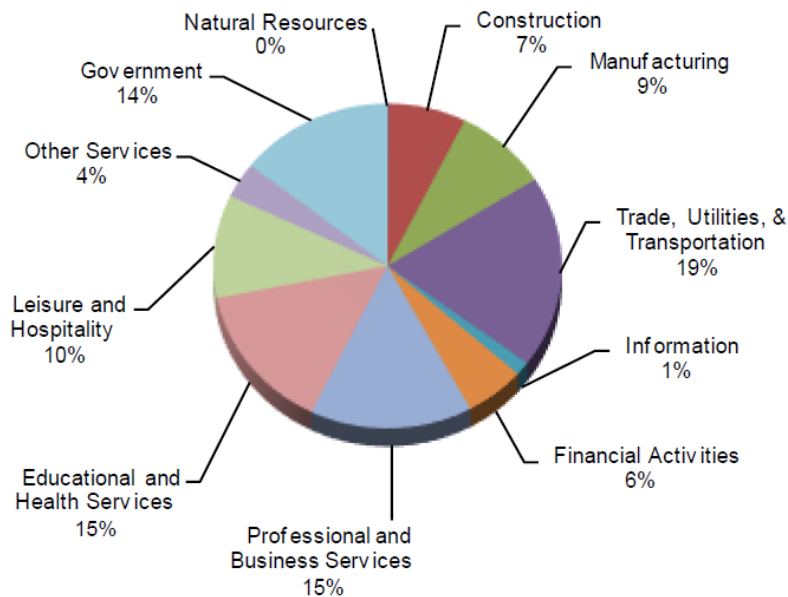
Employment

Since bottoming out at around 292,000 during the recession years of 2008 and 2009, average annual total employment increased to 384,007 as of February 2020, representing an increase of 31.5%. The following graph presents historical employment in the Boise MSA.



Employment distribution for the Boise MSA as reported in the Idaho Department of Labor - Workforce Trends publication is presented following:

Nonfarm Payroll Jobs for 2018

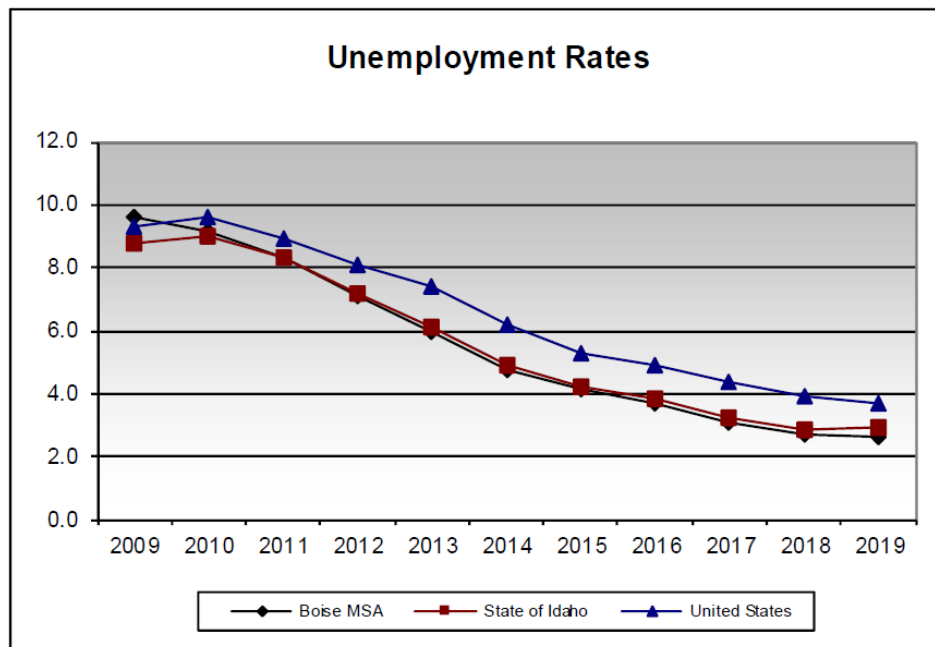


Major employers in the Boise MSA as identified by the Idaho Department of Labor are presented in the following table.

Major Private Employers
Albertsons
Blue Cross of Idaho Health Services
Darmody Enterprises LTD / McDonalds
Fred Meyer Stores
Hewlett Packard
Idaho Power Co
J R Simplot Co
Jacksons Food Stores
Micron Technology
Saint Alphonsus Health System
St. Lukes Health Systems
Walmart
Wells Fargo Bank

Unemployment

Unemployment trends for the Boise metro area via Workforce Trends are presented following. The black colored line shows MSA unemployment, the red line shows the State of Idaho, and the blue line shows the United States on an annual basis between 2009 and 2019.



Consistent with the recession, unemployment increased rapidly in 2008 and then began to decrease in 2011 with economic recovery. The unemployment rate in the Boise MSA was below 4% at year-end 2016. As of February 2020, the Boise MSA unemployment rate was 2.7%.

Comments on Impact of COVID-19

The preceding statistics are effective through February 2020, prior to the recent global outbreak of a COVID-19, which was officially declared a pandemic by the World Health Organization (WHO) on March 11, 2020. On March 13, 2020, the State of Idaho issued an emergency declaration, which included a stay-at-home order through April 30, 2020. Pertaining to the business sector, only essential businesses are to remain open. Approximately 55% of businesses in Idaho are considered essential under the stay-at-home order. The national, regional, and local economy have been adversely impacted with rapidly increasing unemployment that is actively being countered by government stimulus packages with the hopes of stabilizing the economy. According to the Idaho Department of Labor, approximately 117,000 people in the State of Idaho have since filed unemployment claims, doubling the total amount of claims filed in 2019. The Treasure Valley (Ada and Canyon Counties) make up 44.2% of Idaho's workforce. As of March 8, 2020, the Treasure Valley had a workforce of 318,261 people. From March 8 through May 2, as a result of the pandemic, 29,829 workers in the Treasure Valley filed for unemployment. Workers of all ages are being affected, and hard-hit sectors include lodging, food services, health care and construction. Some businesses are hiring, including grocery stores and drug stores, though the increase is nominal relative to the total job losses. The current unemployment rate for Ada County is unknown, as the Department of Labor has yet to determine given that statistics are changing rapidly.

Household Income Profile

Total median and average household income for both Ada County and Boise are presented in the following table. Median and average household income is slightly lower in Boise versus greater Ada County.



Household Income Profile

Ada County, ID
 Ada County, ID (16001)
 Geography: County

Prepared by Esri

Households by Income	2019		2024	
	Number	Percent	Number	Percent
Household	181,228	100%	201,781	100%
<\$15,000	17,725	9.8%	16,281	8.1%
\$15,000-\$24,999	15,260	8.4%	13,811	6.8%
\$25,000-\$34,999	12,637	7.0%	11,298	5.6%
\$35,000-\$49,999	24,681	13.6%	25,639	12.7%
\$50,000-\$74,999	32,535	18.0%	34,417	17.1%
\$75,000-\$99,999	25,931	14.3%	30,530	15.1%
\$100,000-\$149,999	30,259	16.7%	39,547	19.6%
\$150,000-\$199,999	9,843	5.4%	13,660	6.8%
\$200,000+	12,357	6.8%	16,598	8.2%
Median Household Income	\$63,322		\$74,433	
Average Household Income	\$86,186		\$98,960	
Per Capita Income	\$32,420		\$37,189	



Household Income Profile

Boise City, ID
 Boise City, ID (1608830)
 Geography: Place

Prepared by Esri

Households by Income	2019		2024	
	Number	Percent	Number	Percent
Household	98,542	100%	107,468	100%
<\$15,000	11,521	11.7%	10,284	9.6%
\$15,000-\$24,999	9,994	10.1%	8,956	8.3%
\$25,000-\$34,999	7,517	7.6%	6,612	6.2%
\$35,000-\$49,999	14,807	15.0%	15,393	14.3%
\$50,000-\$74,999	16,023	16.3%	17,274	16.1%
\$75,000-\$99,999	12,744	12.9%	15,105	14.1%
\$100,000-\$149,999	14,910	15.1%	19,302	18.0%
\$150,000-\$199,999	4,588	4.7%	6,287	5.9%
\$200,000+	6,438	6.5%	8,255	7.7%
Median Household Income	\$56,507		\$66,180	
Average Household Income	\$81,385		\$93,494	
Per Capita Income	\$34,051		\$39,182	

Transportation

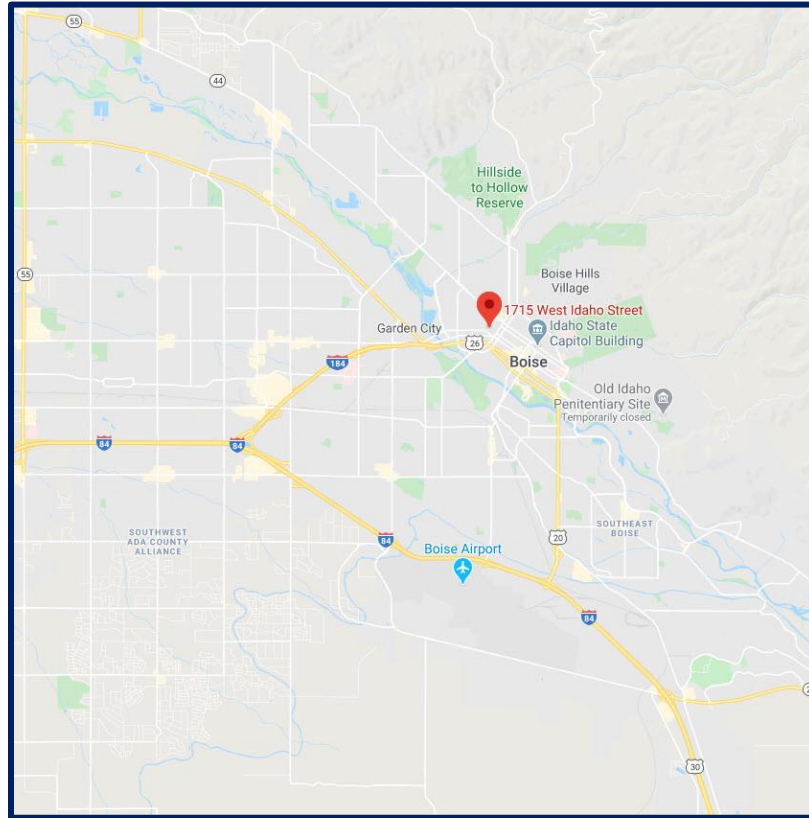
Primary ground transportation is via Interstate 84 that connects the area with Idaho Falls, Pocatello, and Salt Lake City, Utah to the southeast; and Portland, Oregon to the west. The Boise MSA is also served by several state and U.S. highways. The nearest major airport is the Boise Airport, located in southeast Boise.

Conclusions

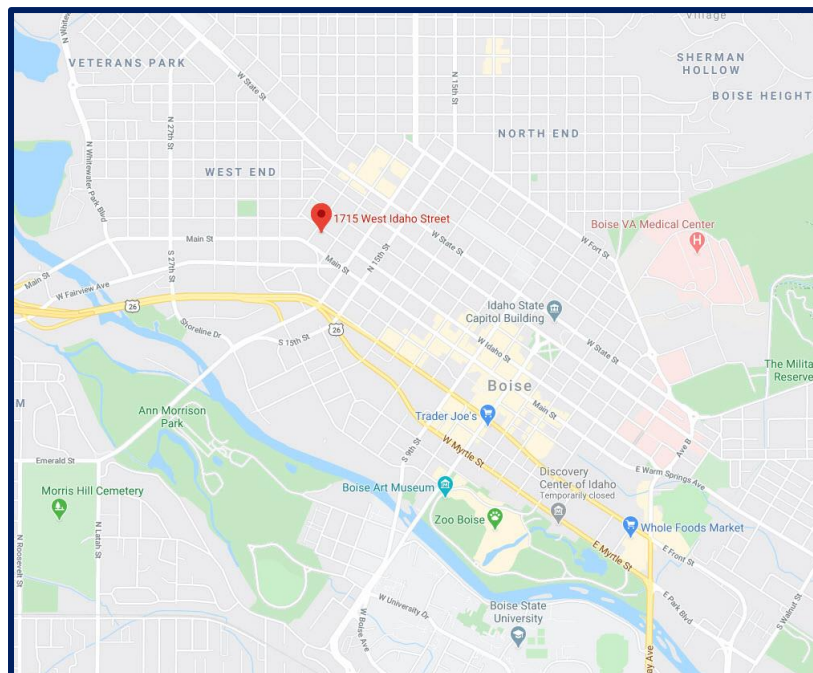
The Boise MSA serves as the governmental, economic, cultural center for Southwest Idaho, Eastern Oregon, and Northern Nevada. The Boise MSA is the 3rd largest in the Northwest, behind Seattle and Portland. The long-term economic outlook for the Boise MSA appears positive. Boise and surrounding neighboring communities are continually recognized by numerous publications as one of the best places to live in the country. Idaho was recently ranked #1 in the nation for job growth (U.S. Department of Labor), top performing economy (Bloomberg), and personal income growth (Idaho Department of Labor). The Boise was recently named the fastest growing city in the U.S. (Forbes 2018). Population is expected to continue an increasing trend in the foreseeable future which will likely strengthen the demand for real estate long-term.

Neighborhood Analysis

CITY MAP



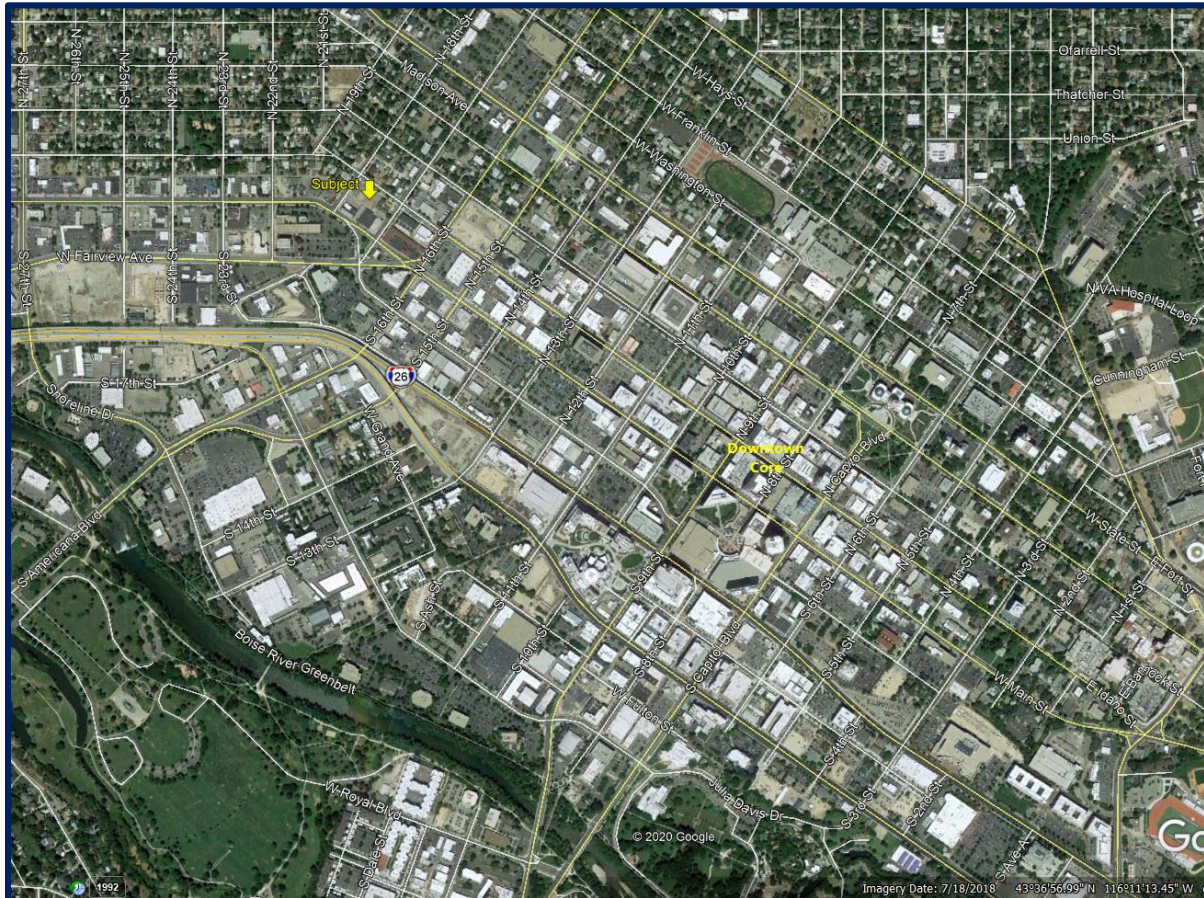
NEIGHBORHOOD MAP



Overview

The neighborhood boundaries are reasonably defined by the major commercial real estate firms within the local market. Vacancy, absorption, and supply data is tracked for each submarket within Ada and Canyon Counties.

NEIGHBORHOOD AERIAL



Neighborhood Location and Boundaries

The subject is located in North Boise, adjacent west of the Downtown Boise or Central Business District (CBD) submarket. The Downtown Boise neighborhood boundaries are generally defined by the Boise River to the south, Broadway Avenue to the east, Hill Road and the Boise foothills to the north, and Americana Boulevard/N. 16th Street/N. Harrison Boulevard to the west. The subject is located one block west of N. 16th Street and is primarily influenced by the Downtown Boise neighborhood due to its downtown fringe location. Thus, the narrative description for the "Downtown Boise" neighborhood is included herein.

Demographics

The following table depicts the area demographics within a one, three, and five-mile radius from the subject.



Market Profile

1715 W Idaho St, Boise, Idaho, 83702
 Rings: 1, 3, 5 mile radii

Prepared by Esri
 Latitude: 43.62179
 Longitude: -116.21359

	1 mile	3 miles	5 miles
Population Summary			
2000 Total Population	12,576	88,655	161,984
2010 Total Population	12,871	89,266	162,118
2019 Total Population	14,437	97,986	178,529
2019 Group Quarters	702	3,674	4,622
2024 Total Population	15,503	105,635	192,668
2019-2024 Annual Rate	1.43%	1.51%	1.54%
2019 Total Daytime Population	45,694	153,960	250,687
Workers	39,888	110,313	169,966
Residents	5,806	43,647	80,721
Household Summary			
2000 Households	6,441	39,018	67,035
2000 Average Household Size	1.86	2.19	2.36
2010 Households	6,676	41,024	71,048
2010 Average Household Size	1.84	2.10	2.22
2019 Households	7,657	45,492	78,758
2019 Average Household Size	1.79	2.07	2.21
2024 Households	8,304	49,270	85,282
2024 Average Household Size	1.78	2.07	2.20
2019-2024 Annual Rate	1.64%	1.61%	1.60%
2010 Families	2,442	19,722	38,689
2010 Average Family Size	2.73	2.81	2.87
2019 Families	2,527	20,443	40,529
2019 Average Family Size	2.74	2.84	2.90
2024 Families	2,649	21,711	43,142
2024 Average Family Size	2.75	2.85	2.91
2019-2024 Annual Rate	0.95%	1.21%	1.26%
Housing Unit Summary			
2000 Housing Units	6,988	41,215	70,249
Owner Occupied Housing Units	34.8%	47.7%	57.5%
Renter Occupied Housing Units	57.3%	46.9%	37.9%
Vacant Housing Units	7.8%	5.3%	4.6%
2010 Housing Units	7,556	45,046	77,288
Owner Occupied Housing Units	31.2%	42.6%	51.7%
Renter Occupied Housing Units	57.1%	48.5%	40.2%
Vacant Housing Units	11.6%	8.9%	8.1%
2019 Housing Units	8,714	50,118	85,828
Owner Occupied Housing Units	29.5%	41.9%	51.3%
Renter Occupied Housing Units	58.3%	48.9%	40.4%
Vacant Housing Units	12.1%	9.2%	8.2%
2024 Housing Units	9,474	54,275	92,926
Owner Occupied Housing Units	29.8%	42.5%	51.9%
Renter Occupied Housing Units	57.9%	48.3%	39.8%
Vacant Housing Units	12.3%	9.2%	8.2%
Median Household Income			
2019	\$38,966	\$43,640	\$50,270
2024	\$47,517	\$51,440	\$57,844
Median Home Value			
2019	\$326,593	\$262,461	\$242,164
2024	\$351,240	\$288,777	\$267,569
Per Capita Income			
2019	\$35,427	\$32,857	\$32,767
2024	\$42,077	\$38,106	\$37,681
Median Age			
2010	34.2	34.2	35.7
2019	35.3	35.9	37.6
2024	35.1	36.5	38.4

Data Note: Household population includes persons not residing in group quarters. Average Household Size is the household population divided by total households. Persons in families include the householder and persons related to the householder by birth, marriage, or adoption. Per Capita Income represents the income received by all persons aged 15 years and over divided by the total population.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2019 and 2024 Esri converted Census 2000 data into 2010 geography.

May 04, 2020

Transportation Access

The nearest interstate access is from the Vista Avenue and Broadway Avenue/Interstate 84 Interchanges located approximately three miles south. The Interstate 1-84 “connector” is located approximately ½ mile west of the downtown core. The nearest major airport is the Boise Airport, located approximately 3.5 miles south.

Main Street, Idaho Street, and Front Street are major arterials extending through the downtown core. Capitol Boulevard is the major northbound arterial and 9th Street is the major southbound arterial through the downtown core. Myrtle Street is a major eastbound arterial located adjacent south of the downtown core. State Street is a major east-west arterial located adjacent north of the downtown core.

Neighborhood Land Use

The downtown core is nearly fully built-out, with very few vacant sites remaining. The neighborhood includes a mix of approximately 80% commercial, 15% residential, and 5% undeveloped land. The commercial uses are further delineated as 70% office, 20% retail, and 10% industrial. Downtown Boise is in a stage of growth/revitalization, based on typical lifecycle stages of growth, stabilization, decline, and revitalization. Properties include a mix of mid-and-high-rise office/mixed-use developments, hotels, retailers/restaurants, and special use properties such as the Boise Convention Center, Century Link Events Center, the Ada County Courthouse, and St. Luke’s Regional Medical Center. Notable developments which have been constructed within the past 1-2 decades include the Banner Bank Building, City Side Lofts, Royal Plaza, The Jefferson, Aspen Lofts, and BoDo, a 500,000-square foot project featuring retail, restaurants, hotel, parking garage, and multiplex cinema.

Major Employment Centers

Boise is the state capitol of Idaho and the county seat with an abundant government employment in the neighborhood. Saint Luke’s Regional Medical Hospital anchors the east end of the neighborhood and employs several thousand health care workers. Additionally, there are several jobs in the financial sector provided by banking institutions and other financial service providers.

Boise is the cultural hub of Treasure Valley and features 18 major cultural attractions, such as the Boise Art Museum, Zoo Boise, The Discover Center of Idaho and the recently renovated Egyptian Theater employing several hundred employees. Other employment includes retail with an estimated 230 retail stores and 80 restaurants/nightclubs.

Significant Recent Developments

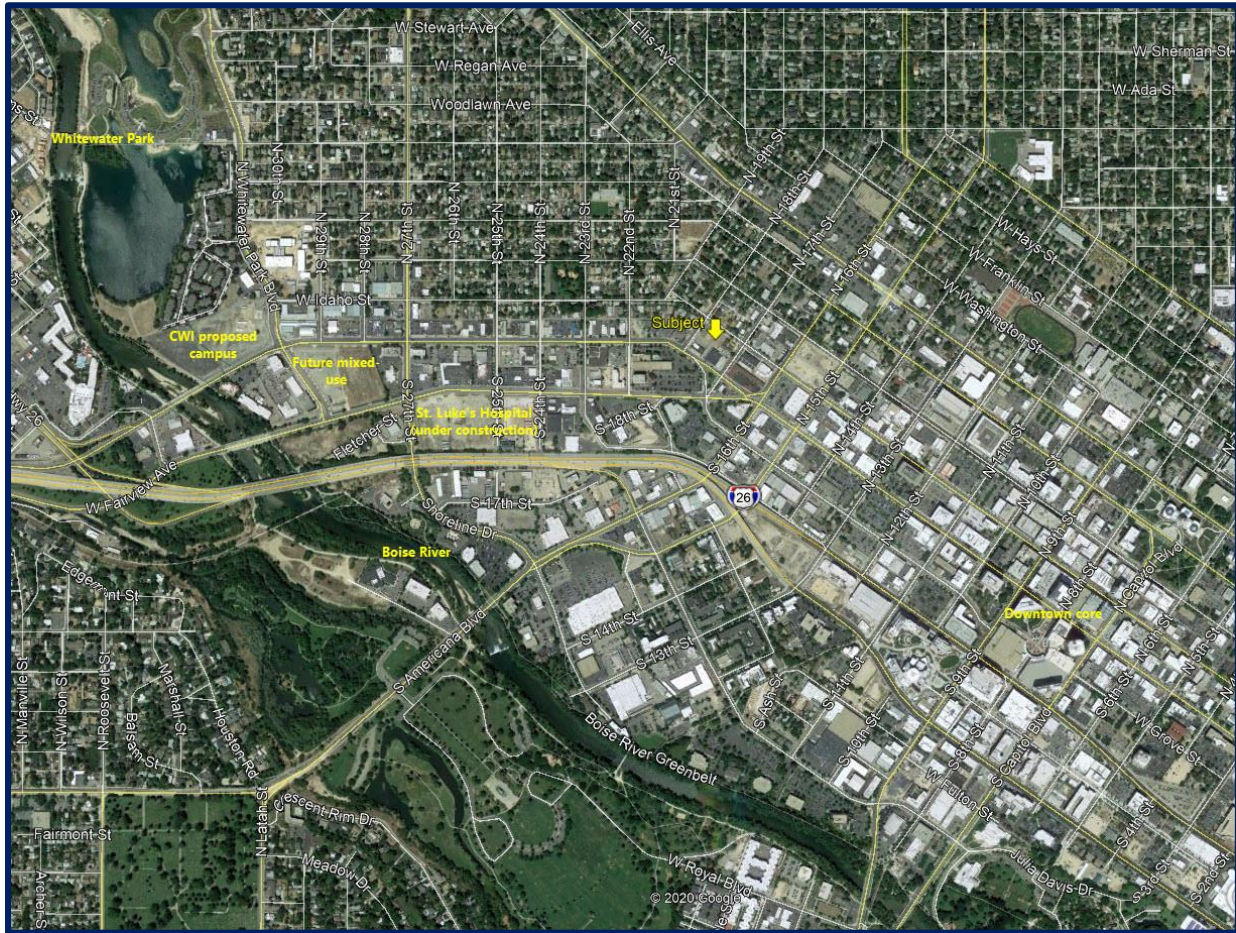
There are several significant developments that have been recently completed or are currently under construction in downtown Boise. These include:

- The 17-story 8th & Main Building is located at the corner of 8th Street and Main Street. It was completed in early 2014 and reached stabilized occupancy in late 2015. Notable tenants include Ruth’s Chris Steakhouse, Holland and Hart Attorneys LLP, First American Title, and Zions Bank.
- Trader Joe’s, located at the corner of Capitol Boulevard and Front Street, was completed in early 2014.
- Whole Foods and Walgreens, located at the eastern fringe of downtown along Broadway Avenue, were completed in late 2012.

- Jacks Urban Meeting Place (JUMP), a \$100 million mixed-use development located at 9th and Front Street, was completed in 2016.
- The JR Simplot Company corporate office headquarters building, located at 9th and Front Street adjacent to the JUMP project, was completed in 2017. The building is 9-stories and contains 334,000 square feet of office space to be occupied by more than 900 Simplot Co. employees. Simplot Co. will consolidate/expand to the headquarters building from other locations in Boise.
- City Center Plaza, a \$70 million mixed-use development located at the southeast corner of 8th Street and Main Street was completed in late 2016. City Center Plaza includes a nine story, 206,000 square foot office/retail building, an underground urban transit mall, and a second multi-story office building with two levels of parking. The project was nearly 100% preleased (office 100% preleased).
- The OneNineteen Condominiums, located at the northwest corner of Grove Street and 10th Street, was completed in late 2016. The project is six-stories and includes 26 residential condominium units and two levels of garage parking.
- Phase One of Afton Condominiums, located at the northeast corner of River Street and 9th Street, is nearing completion. Phase One contains 28 residential condominium units and a parking garage. Construction of Phase Two is under construction and will contain 39 residential condominium units.
- Construction began in 2016 on two large scale hotels at the corner of Capitol Boulevard and Myrtle Street. The Inn at 500 Capitol is a six-story, 112-room boutique hotel; it was completed early 2017. The Residence Inn by Marriott is a 10-story, 186-room hotel; it was completed late October 2017.
- Another large scale hotel, Hyatt Place, located on Bannock Street between 10th Street and 11th Street, was completed in mid-2017. The hotel features 152 rooms.
- Four apartment complexes, located between Ann Morrison Park and S. Capitol Boulevard (across the Boise River), were completed in 2016. The complexes total 541 units and space for nearly 1,500 beds. The apartments are targeted for Boise State University students.
- The Fowler Apartments located at the corner of Myrtle Street and S. 5th Street, is new a 7-story, 159-unit, luxury apartment complex with main level commercial and two levels of garage parking. The project was completed in early 2018.
- The Watercooler Apartments, located at the corner of Idaho Street and S. 14th Street, was completed in mid-2017. The Watercooler Apartments is a 3-story, 37-unit, apartment complex with main level commercial.
- In spring 2017, Gardner Company broke ground on a large scale \$70 million mixed-use development called Pioneer Crossing. Pioneer Crossing, located adjacent west of JUMP between Front Street and Myrtle Street, includes a recently completed an 827-space parking garage, a Panera Bread restaurant, and a 150-room Hilton Garden Inn hotel. A 5-story, 135,000 square foot office building is under construction. The office building is 50% preleased.
- The Gibson Apartments is a new 5-story, 81 unit apartment complex located at the corner of 5th Street and Idaho Street. Construction began in July 2017 and was completed in November/December 2018.
- Construction of a 546 stall, 6-story parking garage and integrated 138 room Hilton franchise Home2Suites Hotel began in mid-2019 at the northeast corner of 6th Street and Front Street. The project is scheduled to be complete by mid-to-late 2020.

- Construction of a 10-story, 181,000 square foot office building recently began at the northwest corner of 11th Street and Idaho Street. Construction on the \$40-\$45 million project could be completed by year-end 2020. The building was 0% pre-leased when construction began.
- An 8-story, 394-stall parking garage and integrated 174-unit apartment complex is under construction at the NEC of 3rd Street and Myrtle Street. The parking garage will be located on levels 1-4; the apartments will be located on levels 5-8. Construction began in fall 2019. The parking garage component is scheduled for completion by late 2020 with the apartments projected to be completed in 2022.
- Construction of The Vanguard recently began at the northwest corner of 6th Street and Front Street. The project will be an 8-story mixed-use building containing 75 apartment units and main level retail. Construction is scheduled to be complete by late spring 2021.
- The Z by Cartee is a mixed-use project under construction at the northeast corner of Myrtle Street and S. 3rd Street. The building will be 8-stories and include 163 luxury apartment units with main level commercial and 183 garage parking spaces. Construction began fall 2019 and is projected to be complete by mid-to-late 2021.
- Construction of the 5th & Grove mixed-use project is anticipated to begin in spring 2020, with completion in mid-to-late 2021. This project will include 109 apartment units and ground level commercial.
- Construction of a new St. Luke's orthopedic hospital and medical office building are under construction at the corner of S. 27th Street and W. Fairview Avenue. The 3 and 4 story buildings will total 230,000 square feet. A 5 story, 670 stall parking garage will also be developed on the site.
- The St. Luke's Regional Medical Downtown Boise Campus is undergoing a major expansion. A \$42 million, 100,000 square foot Children's Pavilion with underground parking was recently completed at the SEC of Jefferson Street and Avenue B. Additional proposed buildings include a new central plant and an addition to the main hospital building. According to Saint Luke's website, the investment will range from \$300 to \$400 million and occur over several years.
- A new mixed-use project is proposed to be developed at NEC of E. Myrtle and S. Avenue A. The project is to include 243 apartments, a 336-stall parking garage, and retail. The project is in the approval stages. No construction timeline has been finalized; completion could be as early as mid-2022 if approved soon.
- Two mixed-use towers are proposed to be developed between Myrtle Street and Front Street on the east side of S. 5th Street. The project is to include a 9-story tower and an 11-story tower linked with a parking garage over Broad Street. The buildings are to include 90,000 square feet of office, main level live/work units, a restaurant, 300 garage parking spaces, and 24 residential condominiums on the upper 6 floors. Approvals were only recently completed; however, a firm construction timeline has not been announced and it is unclear whether this project will move forward.

IMMEDIATE NEIGHBORHOOD AERIAL



Subject Immediate Neighborhood

The immediate neighborhood is considered the west fringe of downtown Boise (approximately 0.7 miles northwest of the downtown core). The subject has a mid-block location fronting W. Idaho Street between 17th Street and 18th Street, ½ block north of W. Main Street. W. Main Street is the major west bound arterial extending from the downtown core to Garden City and west and central Boise. During the past decade, the west-end area has been redeveloping from older commercial uses to a mix of new retail, office, and multi-family uses. The newly developed Esther Simplot Park and Whitewater Park along the Boise River, and a growing population base are the primary catalysts for redevelopment. Esther Simplot Park was developed in two phases with the most recent phase completed in 2019. The Waterfront district just to the west of the park was a mix of aged light-industrial buildings and mobile home parks. The district has flourished since the end of the great recession with construction of several single-unit dwellings capitalizing on the Boise River frontage and adjacent park. Spinoff residential development along the 36th Street corridor and some new commercial buildings have also gained momentum. The College of Western Idaho acquired a site along the river and construction of several proposed educational building is expected to address growing enrollment. Adare Manor, a 134-unit, 4-story, (LIHTC) apartment complex was built in 2019 at the corner of W. Fairview Avenue and 24th Street. Construction of a new St. Luke's orthopedic hospital and medical office building are under construction at the corner of S. 27th Street and W. Fairview Avenue. The 3 and 4 story buildings will total 230,000 square feet. A 5 story, 670 stall parking garage will also be developed on the site.

Conclusion

The subject location is rated good. It is located on the west fringe of downtown Boise. The subject benefits from its proximity to Boise's downtown core. Demand has been strong in the subject's immediate neighborhood during the past several years. Several significant commercial projects are currently under construction or planned for development in the downtown area, and renovation of older properties continues to be on-going.

Site Description

The characteristics of the site are summarized as follows:

Site Characteristics

Location:	1715 W. Idaho Street, Boise, Ada County, Idaho
Land Area:	0.406 acres or 17,683 SF
Usable Land Area:	0.406 acres or 17,683 SF
Shape:	Rectangular
Topography:	Level
Drainage:	Appears adequate
Grade:	At street grade
Utilities:	All typical utilities are available to the property including municipal water and sewer, electricity, natural gas, and telephone service.
Off-Site Improvements:	Asphalt paved streets and concrete curbing and sidewalks.
Interior or Corner:	Mid-block
Signalized Intersection:	No

Street Frontage / Access

Access:	Access is from W. Idaho Street. Additional access is via an alleyway extending between N. 17 th Street and N. 18 th Street. Access is rated average.
Street Type:	Secondary arterial (fronting the subject)
Visibility/Exposure:	The subject does not have any arterial street visibility.
Traffic Counts:	n/a

Flood Zone Data

Flood Map Panel/Number:	16001C0277H
Flood Map Date:	February 19, 2003
Flood Zone:	X
Description:	Zones B, C, and X are the areas outside the 1% annual chance floodplain, areas of 1% annual chance sheet flow flooding where average depths are less than one foot, areas of 1% annual chance stream flooding where the contributing drainage area is less than one square mile, or areas protected from the 1% annual chance flood by levees. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones. Source: FEMA

Other Site Conditions

Soil Type:	Subsoil and drainage appear adequate to support the existing use.
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Environmental Issues:

During the property inspection, we did not observe any obvious environmental concerns. As real estate appraisers, we are not qualified to determine if any environmental hazards exist on the property, whether such hazards are obvious or not. Therefore, this appraisal assumes any environmental hazards to be nonexistent or minimal.

Easements/Encroachments:

The property is not subject to any known atypical easements or restrictions.

A title report was provided in connection with this assignment. Based on this report and our own observations, no adverse easements or restrictions exist. This appraisal assumes only standard utility easements and governmental restrictions exist, none of which are assumed to impact value. An A.L.T.A survey is recommended if further assurance is needed. If questions arise regarding easements, encroachments, or other encumbrances, further research is advised.

Earthquake Zone:

The subject is located within Earthquake Zone 2B, considered a moderate zone with respect to seismic activity.

Adjacent Land Uses**North:**

Single-family residential

South:

Commercial uses along W. Main Street

East:

Single-family residential

West:

Vacant residential lot; single-family residential

Zoning Designation**Zoning Jurisdiction:**

City of Boise

Zoning Classification:

R-3DD; Multi-family Residential District with Downtown Design Review Overlay District

Permitted Uses:

The R-3 zoning allows for high-density single-family and multi-family uses. Note, the subject reportedly has preliminary approval to be developed with 17 units (41.9 units per acre).

Zoning Definition:

- **R-3 (Multi-Family Residential):** Zone intended for higher density residential development in close proximity to retail, employment, transit, and other concentrated uses. Similar lot area and widths to the R-1C zone, but with up to 43.5 units allowed per acre and a maximum height of 45 feet.
- **DD (Downtown Design Review Overlay District):** Overlay which demands creative and high-quality urban design that is in compliance with the [Downtown Design Guidelines](#). Standards are meant to enhance downtown vitality by promoting compact, walkable development and high-quality design. Staff or committee approval is required for any exterior improvement, addition or new development.

Comment:

Some properties in the immediate neighborhood have been rezoned to R-ODD, most notably the site on the block adjacent east of the subject. The R-O zoning allows for densities of up to 87.1 units per acre with a height maximum of 45 to 65 feet depending on surrounding uses. There may be a possibility the subject site could be rezoned to R-O, which would allow the subject site to be developed with a higher density.

As Is Condition**Improvements:**

The site is unimproved. It is vacant and ready for development.

Site Improvements:

A small portion of the site is improved with older asphalt paving used as a basketball court. The site improvements are noncontributory.

Photographs of Subject:

The photographs in the Addenda section provide additional clarification as to the "As Is" condition of the property.

Site Rating**Location:**

Good

Access:

Average

Exposure:

Average

Functional Utility:

Average

Overall Site:

Average-good

[illegible]



RECORD OF SURVEY FOR PARCEL CONSOLIDATION 1709-15 WEST IDAHO, LLC.

LOTS 8, 9 & 10 BLOCK 11, MCCARTY'S 2ND ADDITION TO BOISE
LYING IN A PORTION OF THE SE 1/4 OF SECTION 4, TOWNSHIP 3 NORTH, RANGE 2 EAST, B.M.
BOISE, ADA COUNTY, IDAHO
-2019-

LEGEND

- SET 1/2" TIEGARD W/ CAP "HIC PLS 2005"
- FOUND 1/2" REMAINS NOTED
- FOUND 5/8" TIEGARD AS NOTED
- △ CALCULATED POINT
- POINT OF BEGINNING
- 500-FOOT LANE
- BOULEVARD LANE
- PROPERTY LINE
- PLATTED LOT LINE
- TIE LINE

NOTE

1. THE PROPERTY IS CURRENTLY ZONED R-300
2. THIS RECORD OF SURVEY HAS BEEN APPROVED BY BOISE CITY UNDER APPLICATION NOS 19-0011
3. THERE IS CURRENTLY NO BUILDINGS ON PARCEL
4. THESE PARCELS MAY NOT BE DIVIDED UNLESS PLATTED AND APPROVED BY BOISE CITY UNDER APPLICATION NOS 19-0011 AND NO LONGER BUILDABLE PARCELS INSTANT TO THIS RECORD OF SURVEY

RECORD DATA

WARRANTY DEED DIST NO 2078-10088
MCCARTY'S 2ND ADDITION TO BOISE SUB

BASIS OF BEARING:

THE CORNER OF WEST 1000 STREET TOWNSHIP 3 NORTH, RANGE 2 EAST, B.M. 1709-15 WEST IDAHO, LLC
EAST, BOISE MAGNANAL CORNER OF MCCARTY'S 2ND ADDITION TO BOISE SUB, STREET AND THE INTERSECTION OF NORTH 1000 STREET AND WEST 1000 STREET AND TOWNSHIP 3 NORTH, RANGE 2 EAST, B.M. 1709-15 WEST IDAHO, LLC
THE DISTANCE BETWEEN ADJACENT CORNERS FOUND TO BE

CERTIFICATE

I, MARKETIN COOK, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, CERTIFY THAT:

1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCES OF MARCEL CONSTRUCTION
2. THE LINES BOUNDED BY WITHIN SECTION 4, TOWNSHIP 3 NORTH, RANGE 2 EAST, BOISE SUBDIVISION AND THE SURVEY WAS COMPLETED ON DECEMBER 18, 2018.
3. THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTER SHOWN, AND OCCUPY THE POSITIONS INDICATED AND ARE OF SUFFICIENT NUMBER AND DURABILITY TO PERMANENTLY MARK THE CORNERS OF THE PROPERTY PERPETUALLY AND IN ACCORDANCE WITH THE IDAHO CODE SS 1907 THROUGH SS 1910

ACKNOWLEDGMENT

STATE OF MONTANA
COUNTY OF BEAVERHEAD
ON THIS 1st DAY OF March, IN THE YEAR OF 2019 BEFORE ME, PERSONALLY APPEARED MAX A. HANSEN, KNOWN TO ME TO BE THE MANAGING MEMBER OF 1709-15 WEST IDAHO, LLC, WHOSE NAME AND ADDRESS ARE SET FORTH IN THE FOREWORD OF THE INSTRUMENT, AND HE REQUESTED THAT I EXECUTE THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

Max Hansen
MANAGING MEMBER OF 1709-15 WEST IDAHO, LLC

Max Hansen
MY COMMISSION EXPIRES 6/19/2019

Max Hansen
SIGNATURE OF THE CITY PLANNING DIRECTOR

I, MARKETIN COOK, AM THE CITY PLANNING DIRECTOR IN AND FOR THE CITY OF BOISE, ADA COUNTY, IDAHO AND THAT THIS PARCEL CONSOLIDATION IS IN ACCORDANCE WITH THE PROVISIONS OF THE IDAHO LAND SURVEY ACT AND THE CITY CODE.

Marketin Cook
BOISE CITY PLANNING DIRECTOR

3/21/19
DATE

COUNTY RECORDERS CERTIFICATE

STATE OF IDAHO }
COUNTY OF ADA }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF Max Hansen AT 10:00 AM ON 3/21/19 DAY OF MARCH A.D. 1919 IN BOOK 2 OF PLATS AND PAGES 188 THROUGH 189.
INSTRUMENT NO. 2019-035519
Max Hansen
RECORDERS

OWNERS CERTIFICATE

THIS IS TO CERTIFY THAT MAX A. HANSEN, MANAGING MEMBER OF 1709-15 WEST IDAHO, LLC, HAS BEEN APPROVED BY BOISE CITY UNDER APPLICATION NOS 19-0011 AND THAT THEY AGREE WITH THE LOT LINE ADJUSTMENT AS SHOWN ON THIS MAP.

Max Hansen
MANAGING MEMBER OF 1709-15 WEST IDAHO, LLC

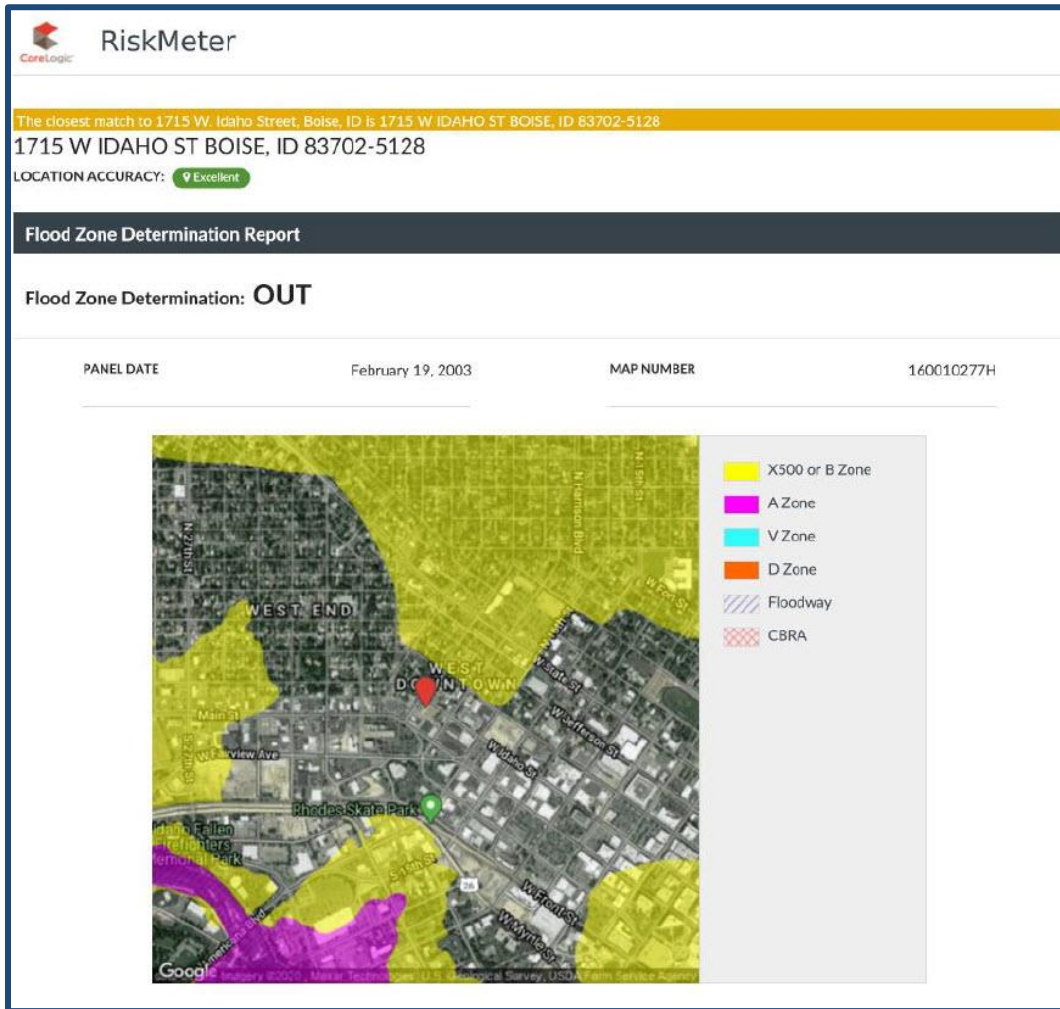
RECORD OF SURVEY

1766

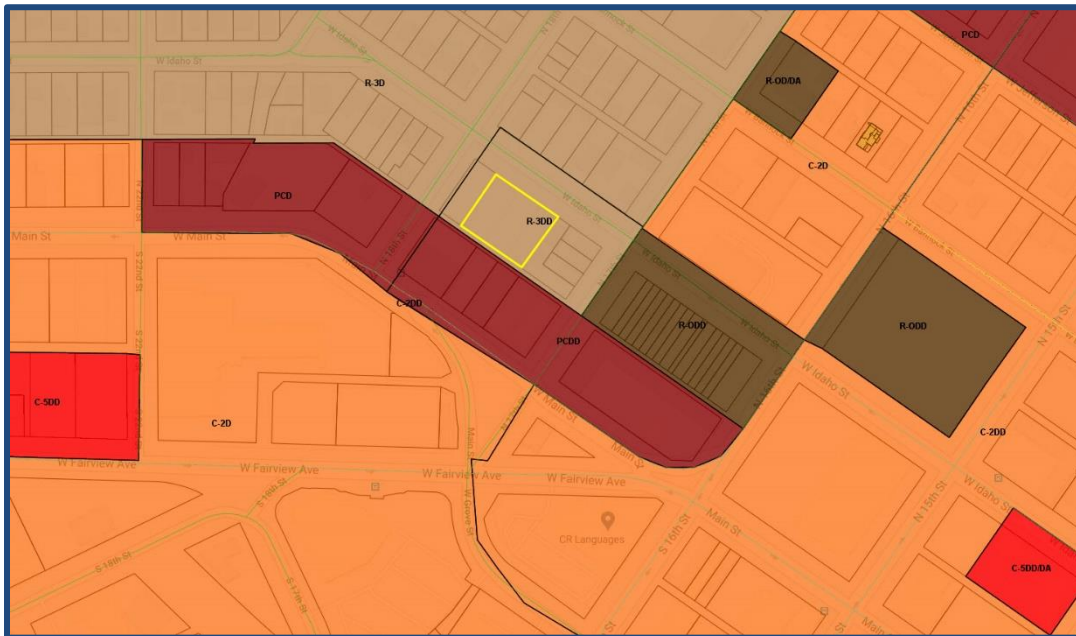
TIMBERLINE SURVEYING

1000 N. 1000 E. ST. BOISE, IDAHO 83725
P: 208-465-3697 F: 208-465-3698
1111 N. 1000 E. ST. BOISE, IDAHO 83725
C: 208-465-3698
T: 208-465-3698
F: 208-465-3698

FLOOD MAP



ZONING MAP



Assessment and Tax Data

Assessment Methodology

Property is assessed by the county assessor's office at true cash value with actual physical re-appraisals on a five-year cycle; with trending during the interim.

Current Assessed Value and Property Taxes

The subject's current assessed value, applicable tax rates and total taxes, including direct assessments, are shown in the following table.

Tax Schedule

Count	Tax Year	Parcel Number	Assessor Land Size (AC)	Assessor Bldg Size (SF)	Assessor's Value - Land	Assessor's Value - Imp.	Assessor's Total Value	2019 Tax Rate	Est. Tax Expense
1	2020	R5538941262	0.406	n/a	\$353,700	\$0	\$353,700	1.3569%	\$4,799

According to Ada County Treasurer records, the subject's property taxes are current as of the date of value.

Market Analysis

Introduction

In this section, market conditions which influence the subject property are analyzed. An analysis of supply and demand conditions in the subject market and submarket for multi-family development is presented. The analysis begins with a discussion of the local impact of the coronavirus (COVID-19).

Significant Market Factor

The global outbreak of a "novel coronavirus" (known as COVID-19) was officially declared a pandemic by the World Health Organization (WHO) on March 11, 2020. On March 13, 2020, the State of Idaho issued an emergency declaration, which included a stay-at-home order through April 30, 2020. Pertaining to the business sector, only essential businesses are to remain open. Approximately 55% of businesses in Idaho are considered essential under the stay-at-home order. The national, regional, and local economy have been adversely impacted with rapidly increasing unemployment that is actively being countered by government stimulus packages with the hopes of stabilizing the economy. The pandemic has created near-term uncertainty, but any long-term impact the pandemic may have on the local economy and real estate markets is unclear at this time. Sufficient transactional or market data has yet to become available to adequately measure future real estate market behavior relative to the pandemic. However, market participants do expect real estate markets to be negatively impacted to some degree. The duration of the pandemic is the major factor influencing the degree to which real estate may be impacted. It is noted, states around the county have begun or have near-term plans to lift stay-at-home restrictions to "reopen" the economy from the shutdown. On April 23, 2020, the State of Idaho announced a 4-stage plan for opening up Idaho. Stage 1 guidelines went into effect May 1, 2020. The document outlining the 4-stage guidelines is included in the Addenda section.

The reader is reminded that the conclusions presented in this appraisal report apply only as of the effective date(s) indicated. The appraiser makes no representation as to the effect on the subject property of this event, or any event, subsequent to the effective date of the appraisal.

National Overview/Impact of COVID-19

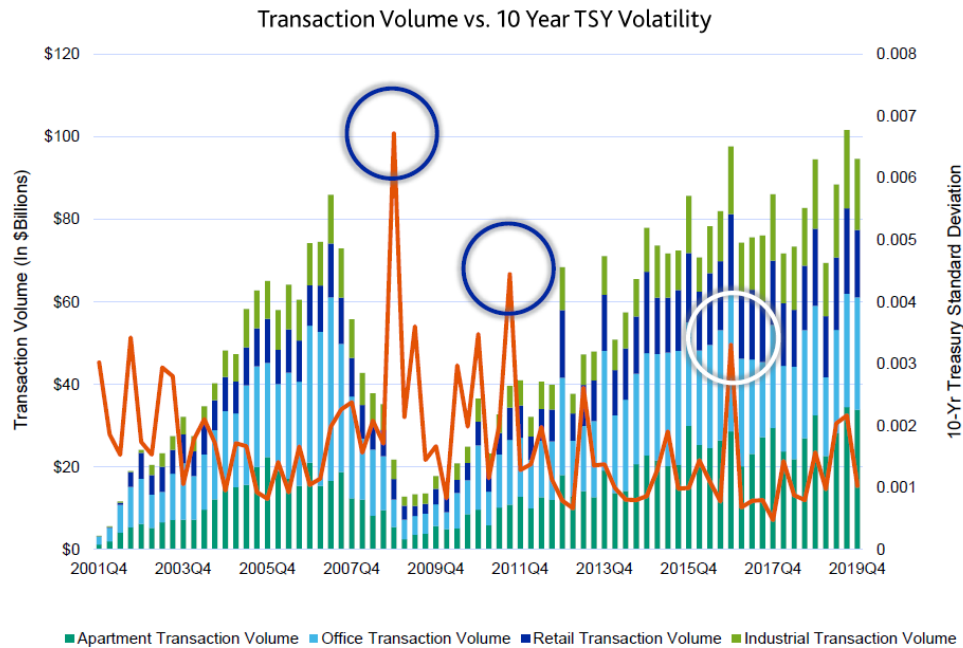
Financial markets are seeing dramatic impacts due to the novel coronavirus pandemic, and while the pandemic continues to be fought, no metric will be reliable to predict with certainty what value impacts will be. However, using trusted analytics resources we can better understand the ways in which past economic shocks have progressed which will help us better assess true risk associated with a particular CRE asset.

This economic crisis is unique from others in that there are shocks to both the supply and demand side. This is exacerbated by record corporate debt in place. According to the Federal Reserve, American non-financial corporate debt has risen to 47% of GDP. In 2009 it was 43%. Two-thirds of non-financial corporate bonds in the US are rated "BBB" or lower.

The United States has posted a 4.8% decrease in GDP for the first quarter of 2020. China's Q1 GDP contracted 6.8% year over year. Drops are likely again in Q2.

CRE markets are already reporting drops in transaction volumes due to travel restriction, quarantines and "stay at home" orders. Movements in the stock market and interest rates as well as stimulus

packages and legislation are causing many deals in progress to be put on hold while participants try to orient in the new reality. The end date of this period of volatility is impossible to foresee, but a historical picture of the relationship between volatility (as measured by deviations in the 10-Yr Treasury prices) and the transaction volume of commercial real estate from the end of 2001 to the end of 2019 may provide some insight.



Source: Moody's Analytics REIS

The preceding graph shows that transactional volume may drop anywhere from 20 to 40% during periods of extreme volatility.

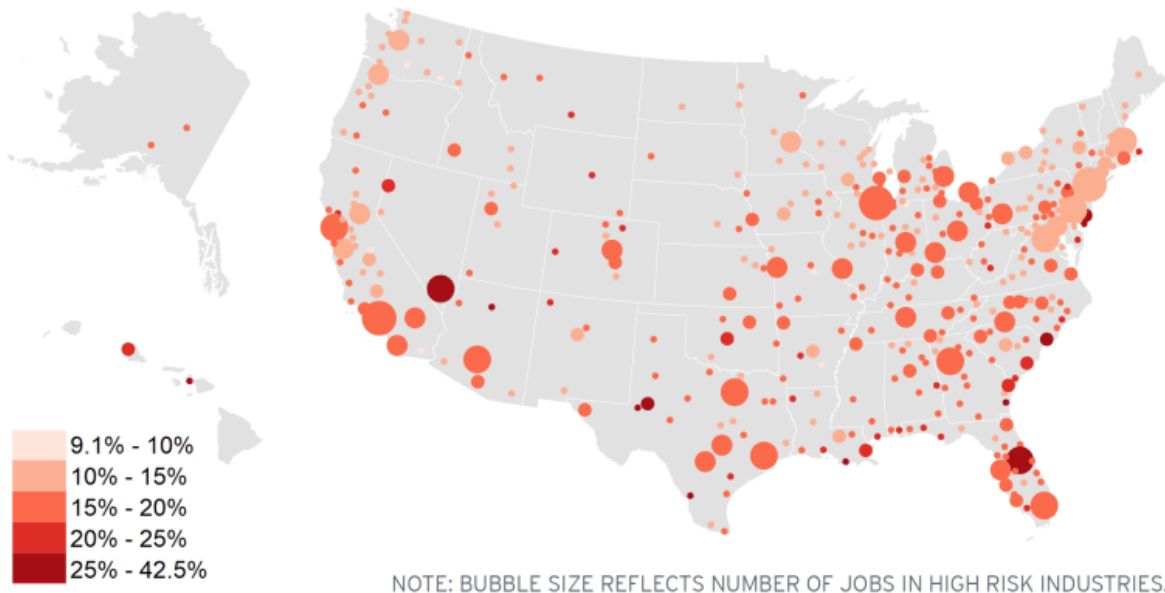
The National Council of Real Estate Investment Fiduciaries (NCREIF) tracks the values and returns for institutionally owned commercial real estate. NCREIF compared the recession in the early 1990's to the financial crisis that began in 2007-08. They found a 27% decline in values across 40,000 individual office, industrial, retail, multi-family and hotel properties for the 2007-08 period. While this was slightly higher than the 25% value drop during the recession of the early 1990's, the recovery was much quicker. The NCREIF study attributes the faster recovery in values to better data for valuation being available and a desire by investment managers to get the properties in their funds marked to market quickly. The addition of more frequent outside appraisals likely also helped. In the current crisis, we have even more data available (now nearly in real time), as well as stronger analytic models and the benefit of a financial stimulus playbook from which to act more quickly to respond to systemic shocks. This all bodes well for a swift recovery if properly deployed.

Impacts to values will not be consistent across sectors, asset classes and markets. Study and analysis on micro levels is critical. Moreover, the analysis of markets and properties prior to the downturn is important as is the market's vulnerability to recession. The Brookings Institution used Moody's Analytics to identify "most at risk" industry groups, from which it compiled a list of five particularly vulnerable sectors: mining/oil and gas, transportation, employment services, travel arrangements, and leisure/hospitality. The following map illustrates areas most affected by employment in these sectors.

MAP 1

Sunbelt tourist destinations and energy metros stand to be most affected

Share of metro employment in high risk industries, 2019

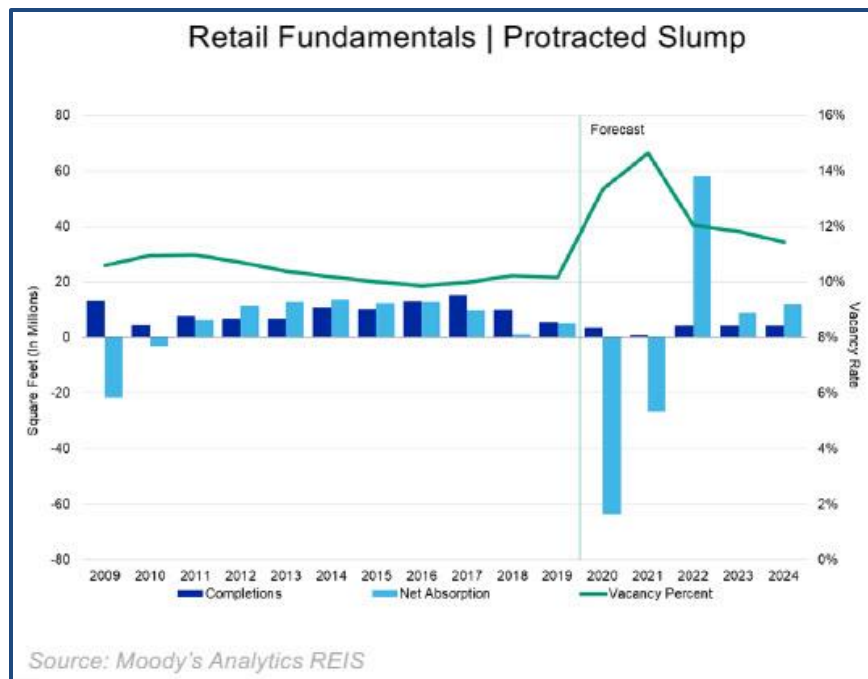
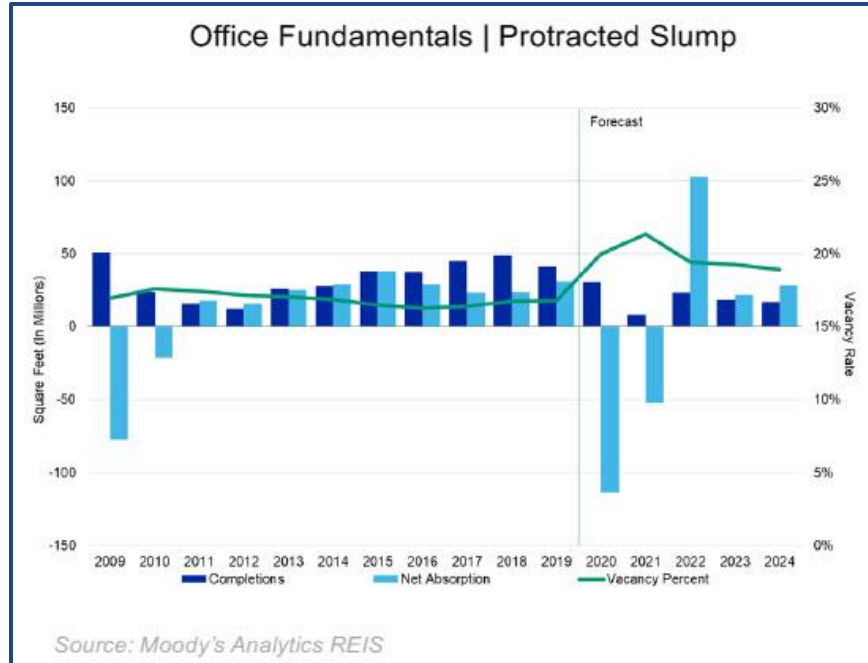


Source: Zandi, "COVID-19: A Fiscal Stimulus Plan,"
(Moody's Analytics, 2020) and Brookings analysis of Emsi
data

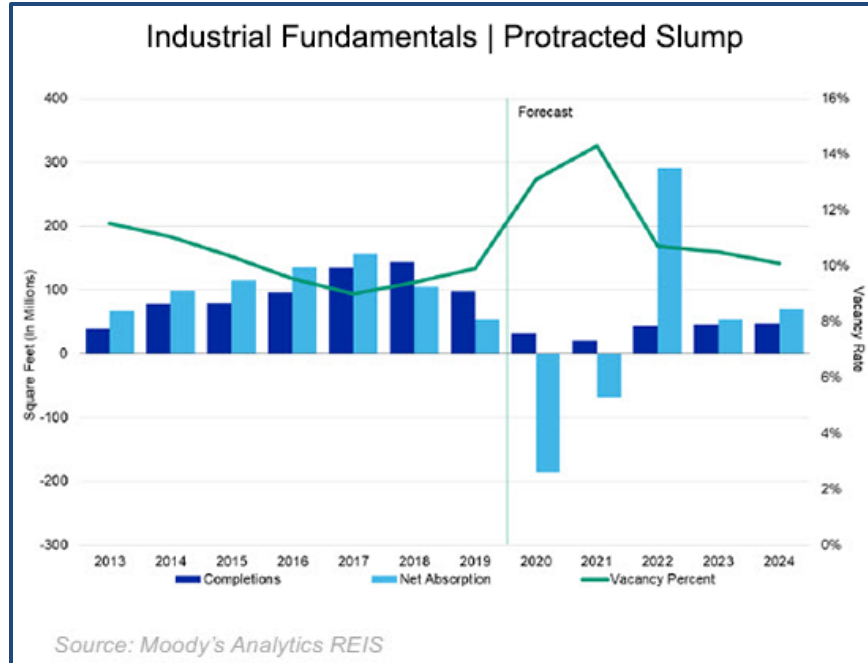
B Metropolitan Policy Program
at BROOKINGS

Property types will also be asymmetrically affected. In the multi-family sector, markets that are oversupplied, or which have a history of rising vacancy or low to flat rent growth are indications of areas that may be harder hit by the new crisis. Markets with volatility in rent growth are still vulnerable, even if vacancy was stable in the past 12 months.

For office and retail properties, Moody's predicts a protracted slump.

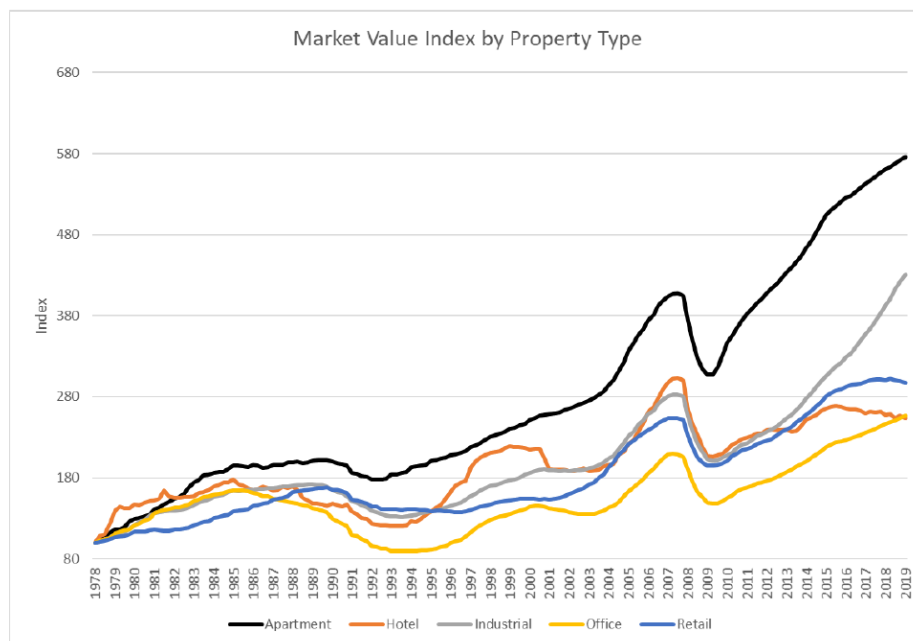


Moody's expects office vacancy to peak at 21% in 2021 and remain close to 20% through 2024. Retail, according to the models, will top out in 2021 at just under 15% vacancy and gradually improve to 11.5% by 2024. Net absorption drops precipitously in 2020 and 2021 in both sectors and begins to recover after that. It's important to note that rents and vacancies in both office and retail are expected to track with GDP performance, so the model is sensitive to future changes in that metric.



Industrial follows the same pattern. Absorption drops in the next 24 months, through 2021, vacancy peaks at just over 14%, and improves to 10% by 2024.

To complement the Moody's predictive modeling, NCREIF published a breakdown of impact on market value by property sector, tracking from 1978 to the end of Q4 2019.



As the previous graph illustrates, multi-family saw one of the largest value drops in 2007-09, but was also the first to recover, and that recovery was the largest and fastest.

Industrial followed the curve, even surging in recent years.

Hotels never returned to their pre-recession peak, even as the economy as a whole was growing.

Office and retail both recovered around seven years after the low point. Office however, had the second most dramatic drop in value and was last to recover (after hotels). This is likely to repeat in the recovery from this crisis as firms may discover that their employees and clients can be served by work-from-home models, allowing them to consolidate square footage.

Market Participant Interviews

The coronavirus outbreak was declared a global pandemic on March 11, 2020. The pandemic has created near-term uncertainty, but any long-term impact the pandemic may have on the local economy and real estate markets is unclear at this time. Sufficient transactional or market data has yet to become available to adequately measure future real estate market behavior relative to the pandemic.

To better gauge near-term market behavior, several market participants were interviewed regarding how the pandemic may affect the local real estate market, and specifically the apartment market. Some of the more consistent comments and direct quotes from market participants are summarized as follows:

Regarding transactions, buyers are being cautious. Most stated deals that were pending to close since March 2020 did close. Many deals currently pending are still on track to close, but deadlines have been extended in some cases. New deals in the works are minimal, as most buyers are in a wait and see pattern.

Thus far, the impact on vacancy in the Boise MSA market has been nominal. New lease signings initially slowed due to the “stay-at-home” order, but absorption has recently increased. Vacancy remains strong and rent levels have yet to be impacted. Tenants requesting rent abatements have not been prevalent, and landlords are not offering concessions.

According to the CEO of Home River, Andrew Propst, a national residential property management company, which manages over 6,000 residential units in southern Idaho, leasing and rent collection have remained strong in Idaho. Collections have been down in other states, but for the majority of markets, including Idaho, rent collections for April 2020 have been within 1% of March 2020. Mr. Propst reported that tenants are already paying rent in advance after receiving stimulus government checks.

Due to a lack of recent transactions, there is no concrete evidence in price declines. However, given the uncertainty associated with the end date of this period of volatility, it is reasonable that a likely buyer would factor the economic uncertainty in an acquisition decision.

Land development – most deals are being put on hold or due diligence periods are being extended.

Long-term effects on real estate will depend largely on how long the “shut down” lasts. A positive is that the economy and real estate markets were strong prior to the pandemic.

Market Conditions Conclusions

Prior to Covid-19, the economy was healthy; statistics indicated strong demand across all residential markets during the past several years. Conventionally rented apartments exhibited increasing rent levels and historically low vacancy, which has resulted in an increase in construction activity during the past several years. The single-family residential market exhibited strong absorption and appreciating pricing during the past several years. New single-family construction increased significantly, but supply remains limited. The pandemic has created near-term uncertainty, but any long-term impact the pandemic may have on the local economy and multi-family market is unclear at this time. Sufficient transactional or market data has yet to become available to adequately measure future real estate market behavior relative to the pandemic. However, market participants do expect real estate markets to be negatively impacted to some degree. The duration of the pandemic is the major factor influencing the degree to which real estate may be impacted.

Highest and Best Use

The Highest and Best Use of a property is the use that is legally permissible, physically possible, and financially feasible which results in the highest value. An opinion of the highest and best use results from consideration of the criteria noted above under the market conditions or likely conditions as of the effective date of value. Determination of highest and best use results from the judgment and analytical skills of the appraiser. It represents an opinion, not a fact. In appraisal practice, the concept of highest and best use represents the premise upon which value is based.

Analysis of Highest and Best Use As Vacant/As Though Vacant

The primary determinants of the highest and best use of the property as vacant/as though vacant are the issues of (1) Legal permissibility, (2) Physical possibility, (3) Financial feasibility, and (4) Maximum productivity.

Legally Permissible

The subject site is zoned R-3DD (Multi-Family Residential District) which allows for high density multi-family and single-family residential uses with densities of up to 43.5 dwelling units per acre and a maximum building height of 45 feet. Note, the subject reportedly has preliminary approval to be developed with 17 units (41.9 units per acre). We are not aware of any other land use regulations that would limit the use of the property. There are no known easements, encroachments, covenants or other use restrictions that would unduly limit or impede development of a probable nature.

Physically Possible

As evidenced by the physical characteristics of the property, including its size, configuration, accessibility and availability of public utilities, all of the legally permissible uses could be developed on the land. The site does not have any physical characteristics that would hinder development.

Financially Feasible

Prior to Covid-19, the economy was healthy; statistics indicated strong demand across all residential markets during the past several years. Conventionally rented apartments exhibited increasing rent levels and historically low vacancy, which has resulted in an increase in construction activity during the past several years. The single-family residential market exhibited strong absorption and appreciating pricing during the past several years. New single-family construction increased significantly, but supply remains limited. Both multi-family and single-family development has been financially feasible under these conditions during the past several years. We do acknowledge the recent coronavirus pandemic has created near-term uncertainty and it is unclear the impact the pandemic will have on the economy and real estate markets long-term.

Maximally Productive

Of the financially feasible uses, the maximally productive use is the use that produces the highest residual land value. Considering the aforementioned factors, the maximally productive, and therefore highest and best use, as vacant/as though vacant, is for the development of a high-density residential use as market conditions warrant.

Conclusion of Highest and Best Use As Vacant/As Though Vacant

Legal, physical, and market considerations have been analyzed to evaluate the highest and best use of the property. This analysis is presented to evaluate the type of use that will generate the greatest level of future benefits possible from the property. The highest and best use of the subject property, as vacant/as though vacant, is concluded to be some form of high-density residential development as market conditions warrant. Depending on approved density, the ideal improvement would be either a multi-family or high-density residential townhome/condominium project. A feasibility analysis would be required to determine the ideal improvement to be developed on the land.

Most Probable Buyer

The most probable buyer of the subject property is a developer proposing multi-family rentals or for sale townhomes or condominiums.

Valuation - Market Value: As Is

Sales Comparison Approach

Methodology

Land value is most often estimated using the sales comparison approach. This approach develops an indication of market value by analyzing closed sales, listings, or pending sales of properties similar to the subject, focusing on the difference between the subject and the comparables using all appropriate elements of comparison. This approach is based on the principles of supply and demand, balance, externalities, and substitution, or the premise that a buyer would pay no more for a specific property than the cost of obtaining a property with the same quality, utility, and perceived benefits of ownership. The process of developing the sales comparison approach consists of the following: (1) researching and verifying transactional data, (2) selecting relevant units of comparison, (3) analyzing and adjusting the comparable sales for differences in various elements of comparison, and (4) reconciling the adjusted sales into a value indication for the subject.

Comparable Sales Data

To obtain and verify comparable sales and listings of competing properties, we conducted a search of public records, field surveys, interviews with knowledgeable real estate professionals in the area, as well as a review of our internal database.

Six properties were selected for comparison to the subject, as these were judged to be the most comparable to develop an indication of market value for the subject site. Emphasis was placed on date of sale, location, size, and zoning/highest and best use in the selections. Comparables 2-6 are closed sales of competing sites occurring in the downtown Boise market from 2016-2020. Comparable 1 is the pending sale of the subject.

Unit of Comparison

The primary unit of comparison in the market for properties such as the subject is price per square foot.

Elements of Comparison

Elements of comparison are the characteristics or attributes of properties and transactions that cause the prices of real estate to vary. The primary elements of comparison considered in sales comparison analysis are as follows: (1) property rights conveyed, (2) financing terms, (3) conditions of sale, (4) expenditures made immediately after purchase, (5) market conditions, (6) location, and (7) physical characteristics such as size, configuration, availability of utilities, and other factors.

Sales Comparison Analysis

When necessary, adjustments were made for differences in various elements of comparison. If the element in comparison is considered superior to that of the subject, we applied a negative adjustment. Conversely, a positive adjustment to the comparable was applied if inferior.

The land adjustment analysis uses market-based data from paired-sales, construction costs for site improvements, or other market indicators. In instances where there is limited market data available, the adjustment is based on the appraiser's estimate of market reaction. The adjustment categories are discussed briefly as follows, and the adjustments are illustrated in the Land Sale Comparable Summation Table to follow.

Transaction Adjustments

Transaction adjustments include: (1) real property rights conveyed, (2) financing terms, (3) conditions of sale, and (4) expenditures made immediately after purchase. These items, which are applied prior to the market conditions and property adjustments, are discussed as follows:

Real Property Rights Conveyed

This adjustment considers real property rights relating to a property, such as a lease contract or deed restrictions

Similar to the subject, the sales are all fee simple sales. No adjustments were warranted.

Financing Terms

The transaction price of one property may differ from that of an identical property due to different financial arrangements. Sales involving financing terms that are not at or near market terms require adjustments for cash equivalency to reflect typical market terms. A cash equivalency procedure discounts the atypical mortgage terms to provide an indication of value at cash equivalent terms.

All of the comparables were cash equivalent sales with market terms. No adjustments were warranted.

Conditions of Sale

Atypical conditions of sale may result in a price that is higher or lower than a normal transaction. Such atypical conditions of sale often occur in conjunction with sales between related parties or those in which one of the parties is atypically motivated to complete the transaction. Additionally, a downward adjustment may be applied to a listing price, which usually reflects the upper limit of value.

Comparable 2 was purchased for assemblage. The buyer of Comparable 2 owns the 5.8-acre site adjacent west. Based on other sales in the immediate neighborhood, the buyer appears have paid a premium for the site as a result of assemblage motivations. We do acknowledge the possible atypical seller motivation price premium; however, no downward adjustment was applied to the comparable. Any motivation affecting the sale price was considered qualitatively in the final value reconciliation. The balance of the sales are typically motivated, arms-length sales. No adjustments were warranted.

Expenditures Made Immediately After Purchase

A knowledgeable buyer considers expenditures required upon purchase of a property, as these costs affect the price the buyer agrees to pay. Such expenditures may include: costs to demolish and remove any improvements, costs to petition for a zoning change, and costs to remediate environmental

contamination. The relevant figure is not the actual cost incurred, but the cost anticipated by both the buyer and seller.

Several of the sales were improved with older improvements that are to be razed at the cost of the buyers upon development. The estimated cost to raze the improvements was applied as the upward adjustments to the comparables.

Market Conditions Adjustment

Market conditions change over time because of inflation, deflation, fluctuations in supply and demand, or other factors. Changing market conditions may create a need for adjustment to comparable sale transactions completed during periods of dissimilar market conditions.

Multi-family land has exhibited strong appreciation during the past several years. The comparables are sales that have occurred from 2016 to-date. To account for appreciating land values, upward adjustments of 5% per year were applied from the dates of sale through February 2020. As a result of the recent uncertainty in the market due to the COVID-19 pandemic, no market appreciation is applied thereafter.

Property Adjustments

Property adjustments are usually expressed quantitatively as percentages or dollar amounts that reflect the differences in value attributable to the various characteristics of the property. In some instances, however, qualitative adjustments are used. These adjustments are based on locational and physical characteristics and are applied after the application of transaction and market conditions adjustments. Our reasoning for the property adjustments made to each sale comparable follows. The discussion will analyze each adjustment category deemed applicable to the subject property.

Location

This category considers value differences as a function of location qualities, desirability, and accessibility. This category also considers primary arterial frontage locations versus secondary arterial or second tier non-frontage locations, and anchored versus non-anchored locations. Other factors include freeway access, surrounding uses, access to markets, etc.

Comparables 2, 3, 4, and 6 are superior to the subject for location. Comparables 2, 3, and 6 are in the subject's immediate neighborhood, but have superior locations fronting a major arterial. Comparable 2 is further superior; it is located at the corner of a signalized arterial intersection. Comparable 4 is located closer to the downtown core along Myrtle Street, a major arterial extending south of the downtown core. Downward adjustments ranging from 15% to 25% were applied. The balance of the comparables have similar competing locations in peripheral areas outside the immediate downtown core.

Zoning/Use

This category considers value differences associated with variances in zoning designations or uses allowed.

The subject is zoned R-3DD which allows for high-density residential uses. The majority of the comparables are superior to the subject for zoning. They can be developed with a wider variety of

uses and/or could be developed with higher densities. Downward adjustments ranging from 5% to 10% were applied.

Size

This category considers value differences resulting from variances in property size. In general, smaller parcels have higher price per square foot (or per acre) sale prices versus larger parcels.

Several of the comparables are moderately larger than the subject. Upward adjustments ranging from 5% to 10% were applied.

Configuration

This category considers differences in land use or value associated with property configuration. Irregular parcels typically have lower price per square foot sales prices versus rectangular parcels do to less functional utility.

Comparables 3 and 5 have irregular configurations resulting in less functional utility versus the subject. Upward adjustments of 10% were applied.

Topography

This category considers differences in land use or value associated with property topography. Commercial parcels with uneven topographies typically have lower price per square foot sale prices because the cost to develop is greater versus a level parcel.

The comparables have generally level topographies similar to the subject. No adjustments were warranted.

Utilities

This category considers the availability of water and sewer services and other utilities to the property.

The comparables are similar to the subject for utilities. No adjustments were applied.

Site Improvements

This adjustment category considers value differences as a result of site improvements located on a property.

No adjustments were warranted.

Non-Realty Components of Value

Non-realty components of value include tangible items, equipment, and business concerns that do not constitute real property but are included in either the sale price of the comparable property or the ownership interest in the subject property. These components should be analyzed separately from the real property. In most cases, the economic lives, associated investment risks, rate of return criteria, and collateral security for such non-realty components differ from those of the real property.

None of the comparables had non-realty components included in the sale price. No adjustments were warranted.








Other

No further adjustments were warranted.

Presentation

Presented on the following pages are the Land Sale Comparable Summation Table, Sale Comparable Location Map, the discussion and analysis of the comparables, and conclusion(s) of market value for the subject.

Land Sale Comparable Summation Table

								
<u>Location</u>	Subject	Subject & 1	2	3	4	5	6	
Name	Idaho Street Residential Land		Former US Bank				New Path Community Housing Site	
Address	1715 W. Idaho Street	1715 W. Idaho St.	111 S. 27th St.	2223 W. Fairview Avenue	406-420 S. 4th St.;313-323 Broad St.	902 N. 8th Street	2200-2222 W. Fairview & 114 S. 23rd St.	
City & state	Boise, Ada County, Idaho 83702	Boise, Idaho	Boise, Idaho	Boise, Idaho	Boise, Idaho	Boise, Idaho	Boise, Idaho	
Parcel No.	R5538941262	R5538941262	R9323500891	R1431000020	8 parcels	R7294500010	R2734252281, R2734522250, R2734252265	
Location quality (Neighborhood)	Good	Similar	Superior	Superior	Superior	Similar	Superior	
<u>Property description</u>								
Gross land size (Acre)	0.41	0.41	1.11	0.85	0.84	0.65	1.15	
Gross land size (sf)	17,683	17,683	48,352	37,157	36,805	28,270	50,007	
Unusable or effective (sf)	0	0.00	0	0	0.00	0	0	
Usable land size (usf)	17,683	17,683	48,352	37,157	36,805	28,270	50,007	
Land type	High-density residential	High-density residential	Commercial	Commercial	Mixed-use	Commercial	Mixed-use	
Zoning	R-3DD	R-3DD	C-5DD	C-2D	R-ODD	ROHD/DA	C-2D	
Land use at sale	n/a	Vacant	Bank	Lucky Dog Tavern / former	Vacant + parking lot	Vacant retail building	Old commercial	
Buyer's intended use	n/a	Future development	Future development	Renovate/addition for Police	163 Apts/retail/parking garage	Build; Condominium	41 unit LIHTC apartment on 0.40 acres	
Configuration	Rectangular	Rectangular	Nearly rectangular	Irregular	Rectangular	Irregular	Rectangular	
Topography	Level	Level	Level	Level	Level	Level	Generally level	
Utilities	All available	All available	All available	All available	All available	All available	All available	
Site improvements	None	None	To be razed	To be razed	None	To be razed	To be razed	
<u>Sale description</u>								
Data source	n/a	JV: PSA	JV: PSA	DP: IBR Article/Records	MT: Buyer, Local Construct	PD: David Southers/Records	PSA	
Seller	n/a	Cinco Port LLC	MaryAnn & Bill Fivecoat	Sticknoth 160 LLC	N&T Holding LLC (ESI)	Elledge Family Limited Partnership	James A Kissler LLC	
Buyer	n/a	CCDC	Corner Gem LLC	City of Boise	Cartee Investors LLC	Buckeye Partners LLC	CS Campur 17 LLC	
Marketing time	6-12 months	1 month	Unknown	Approx. 1 month	Not marketed	Not marketed	Unk	
Sale date	Eff. date of appraisal (5/20)	Pending	1/20	1/19	5/18	11/17	9/16	
Price	n/a	\$605,000	\$2,600,000	\$1,150,000	\$2,000,000	\$715,000	\$1,475,000	
Financing terms	Cash	Cash	Cash	Cash	Cash	Cash	Cash	
Conditions of sale	Typical arms-length	Typical arms-length	Typical arms-length	Typical arms-length	Typical arms-length	Typical arms-length	Typical arms-length	
Non-realty components	None	None	None	None	None	None	None	
Comments		Listed for \$595,000; price was bid up due to multiple offers; has preliminarily approvals for 17 residential units (41.9 units/ac)	In P-3 Parking District; Property is improved with a 6,268 SF bank branch with 3 lane drive thru built in 1958. Buyer owns 5.8 acres adjacent west; purchased for assemblage and future redevelopment; cost to raze improvements est. buy seller at around \$70K	BPD will lease back for 9 months to allow seller time to find replacement property. Imp. built in 1978 and contains 2,900 SF; buyer to use building shell; Original closing date was Nov-18 & extended for additional environmental testing. Listed for sale on Sept-18 per Jay Story and contract approved by the city council on Oct-18	Was purchased in April 2016 for \$1,850,000 or \$50.26/sf	Improved with a dilapidated retail building and detached garage constructed in 1921. Demolition at buyers expense and reported at \$43K. Buyer to construct a 4 story condominium bldg to include 31 residential units and 1 ground floor commercial unit.	Rezoned to C-5DD after purchase	
<u>Financial indicators</u>								
Price/usf		\$34.21	\$53.77	\$30.95	\$54.34	\$25.29	\$29.50	
<u>Adjustments</u>								
<u>Adjustment notes</u>								
Real Property Rights Conveyed	Fee Simple	No adjustment	Fee Simple	0%	Fee Simple	0%	Fee Simple	0%
Adjusted sale price		\$34.21	\$53.77	\$30.95	\$54.34	\$25.29	\$29.50	
Financing terms	Cash	No adjustment	Cash	0%	Cash	0%	Cash	0%
Adjusted sale price		\$34.21	\$53.77	\$30.95	\$54.34	\$25.29	\$29.50	
Conditions of sale	Typical arms-length	No adjustment	Typical arms-length	0%	Typical arms-length	0%	Typical arms-length	0%
Adjusted sale price		\$34.21	\$53.77	\$30.95	\$54.34	\$25.29	\$29.50	
Expenditures After Purchase	None	See comments	None	0%	None	0%	Raze improvements est at \$40K	3%
Adjusted sale price		\$34.21	\$55.22	\$30.95	\$54.34	\$26.81	\$30.30	
Market conditions (time)	Eff. date of appraisal (5/20)	+5%/yr thru 2/20	Pending	0%	1/19	5%	11/17	17%
Adjusted sale price		\$34.21	\$55.22	\$32.63	\$59.10	\$29.83	\$35.47	
Location	Good	Adjustment	Similar	0%	Superior	-25%	Similar	0%
Zoning/Use	R-3DD	Adjustment	R-3DD	0%	C-5DD	-10%	ROHD/DA	0%
Usable land size	0.41	Adjustment	0.41	0%	1.1	10%	0.85	5%
Configuration	Rectangular	Adjustment	Rectangular	0%	Nearly rectangular	0%	Irregular	10%
Topography	Level	No adjustment	Level	0%	Level	0%	Level	0%
Utilities	All available	No adjustment	All available	0%	All available	0%	All available	0%
Site improvements	None	No adjustment	None	0%	None	0%	To be razed	0%
Non-realty components	None	No adjustment	0%	0%	0%	0%	0%	0%
Other		No adjustment	0%	0%	0%	0%	0%	0%
Net adjustment		0%	-25%	-5%	-25%	10%	-10%	
Indicated subject value (usf)		\$34.21	\$41.42	\$31.00	\$44.32	\$32.81	\$31.92	



Sales Comparison Approach Value Indication

From the market data available, six properties were utilized in the comparative analysis and adjustments were applied based on pertinent elements of comparison. The following table summarizes the unadjusted and adjusted comparable prices:

Metric	Unadjusted	Adjusted
Minimum Sale Price per Sq. Ft.	\$25.29	\$31.00
Maximum Sale Price per Sq. Ft.	\$54.34	\$44.32
Median Sale Price per Sq. Ft.	\$32.58	\$33.51
Mean Sale Price per Sq. Ft.	\$38.01	\$35.95

Prior to adjustment, the comparable prices range from \$25.29/SF to \$54.34/SF, with a median of \$32.58/SF and mean of \$38.01/SF. The price differences are primarily attributable to date of sale, location, zoning, and size. Comparable 4 represents the upper-tier of the range. It has superior location closer to the downtown core along a major arterial. Comparable 5 represents the lower-tier of the range. It is residential site located on the north fringe of downtown Boise. It has a less functional irregular configuration. After adjustment, the comparables bracket market value for the subject in a range of \$31.00/SF to \$44.32/SF, with a median of \$33.51/SF and mean of \$35.95/SF. Comparable 1 is the pending sale of the subject. At \$34.21/SF, the pending sale price is near the mid-tier of the adjusted range and is concluded to be representative of market value. With primary weight given to the pending subject sale, **market value for the subject is concluded to be \$34.25/SF**. The calculations to value are presented in the following table, resulting in Market Value: As Is for the subject.

Market Value: As Is

$$\begin{array}{rclcl} & \text{Size (usf)} & \times & \text{value/sf} & = \text{total value} \\ 17,683 & & \times & \$34.25 & \$605,650 \end{array}$$

**Sales Comparison Approach Conclusion,
Market Value: As Is, rounded**

\$605,000

Value Conclusion - Market Value: As Is

Approaches to Value

The sales comparison approach resulted in a reliable conclusion of market value due to an adequate number of recent sales of similar sites located in competing areas of the downtown Boise market. This approach directly considers the sale prices of alternative properties which have similar utility. This approach is an applicable approach for valuing land in this market and is an approach primarily relied upon by market participants.

The cost approach and income capitalization approach were not developed; they are not applicable for land valuation in this market. The exclusion of these approaches did not diminish the credibility of our value conclusion(s) presented herein.

Value Conclusion

Our conclusion of Market Value: As Is for the subject is presented in the following table.

Value Conclusions	
Component	As Is
Value Type	Market Value
Property Rights Appraised	Fee Simple
Effective Date of Value	May 8, 2020
Value Conclusion	\$605,000

Exposure and Marketing Times

Marketing time is the time frame subsequent to the effective date of appraisal necessary to affect a sale of the property at the estimate of value(s) detailed herein. The estimate of value in this appraisal assumes the subject would experience a marketing time typical of the current market. Exposure time is the length of time a property would have been offered on the market prior to consummation of sale at the estimate of market value on the effective date of the appraisal. Exposure time is a retrospective estimate based on the analysis of past events and market conditions.

Based on statistical information about days on market, escrow length, and marketing times gathered through national investor surveys, sales verification, and interviews of market participants, marketing and exposure time estimates of 6-12 months, respectively, are considered reasonable and appropriate for the subject property.

General Assumptions and Limiting Conditions

This appraisal is subject to the following general assumptions and limiting conditions:

1. The legal description – if furnished to us – is assumed to be correct.
2. No responsibility is assumed for legal matters, questions of survey or title, soil or subsoil conditions, engineering, availability or capacity of utilities, or other similar technical matters. The appraisal does not constitute a survey of the property appraised. All existing liens and encumbrances have been disregarded and the property is appraised as though free and clear, under responsible ownership and competent management unless otherwise noted.
3. Unless otherwise noted, the appraisal will value the property as though free of contamination. Valbridge Property Advisors | Mountain States will conduct no hazardous materials or contamination inspection of any kind. It is recommended that the client hire an expert if the presence of hazardous materials or contamination poses any concern.
4. Unless otherwise noted, it is assumed there are no encroachments, zoning violations or restrictions existing in the subject property.
5. The appraiser is not required to give testimony or attendance in court by reason of this appraisal, unless previous arrangements have been made.
6. Unless expressly specified in the engagement letter, the fee for this appraisal does not include the attendance or giving of testimony by Appraiser at any court, regulatory or other proceedings, or any conferences or other work in preparation for such proceeding. If any partner or employee of Valbridge Property Advisors | Mountain States is asked or required to appear and/or testify at any deposition, trial, or other proceeding about the preparation, conclusions or any other aspect of this assignment, client shall compensate Appraiser for the time spent by the partner or employee in appearing and/or testifying and in preparing to testify according to the Appraiser's then current hourly rate plus reimbursement of expenses.
7. The values for land and/or improvements, as contained in this report, are constituent parts of the total value reported and neither is (or are) to be used in making a summation appraisal of a combination of values created by another appraiser. Either is invalidated if so used.
8. The dates of value to which the opinions expressed in this report apply are set forth in this report. We assume no responsibility for economic or physical factors occurring at some point at a later date, which may affect the opinions stated herein. The forecasts, projections, or operating estimates contained herein are based on current market conditions and anticipated short-term supply and demand factors and are subject to change with future conditions. Appraiser is not responsible for determining whether the date of value requested by Client is appropriate for Client's intended use.
9. The sketches, maps, plats and exhibits in this report are included to assist the reader in visualizing the property. The appraiser has made no survey of the property and assumed no responsibility in connection with such matters.
10. The information, estimates and opinions, which were obtained from sources outside of this office, are considered reliable. However, no liability for them can be assumed by the appraiser.

11. Possession of this report, or a copy thereof, does not carry with it the right of publication. Neither all, nor any part of the content of the report, or copy thereof (including conclusions as to property value, the identity of the appraisers, professional designations, reference to any professional appraisal organization or the firm with which the appraisers are connected), shall be disseminated to the public through advertising, public relations, news, sales, or other media without prior written consent and approval.
12. No claim is intended to be expressed for matters of expertise that would require specialized investigation or knowledge beyond that ordinarily employed by real estate appraisers. We claim no expertise in areas such as, but not limited to, legal, survey, structural, environmental, pest control, mechanical, etc.
13. This appraisal was prepared for the sole and exclusive use of the client for the function outlined herein. Any party who is not the client or intended user identified in the appraisal or engagement letter is not entitled to rely upon the contents of the appraisal without express written consent of Valbridge Property Advisors | Mountain States and Client. The Client shall not include partners, affiliates, or relatives of the party addressed herein. The appraiser assumes no obligation, liability or accountability to any third party.
14. Distribution of this report is at the sole discretion of the client, but third-parties not listed as an intended user on the face of the appraisal or the engagement letter may not rely upon the contents of the appraisal. In no event shall client give a third-party a partial copy of the appraisal report. We will make no distribution of the report without the specific direction of the client.
15. This appraisal shall be used only for the function outlined herein, unless expressly authorized by Valbridge Property Advisors | Mountain States.
16. This appraisal shall be considered in its entirety. No part thereof shall be used separately or out of context.
17. Unless otherwise noted in the body of this report, this appraisal assumes that the subject property does not fall within the areas where mandatory flood insurance is effective. Unless otherwise noted, we have not completed, nor have we contracted to have completed an investigation to identify and/or quantify the presence of non-tidal wetland conditions on the subject property. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
18. The flood maps are not site specific. We are not qualified to confirm the location of the subject property in relation to flood hazard areas based on the FEMA Flood Insurance Rate Maps or other surveying techniques. It is recommended that the client obtain a confirmation of the subject property's flood zone classification from a licensed surveyor.
19. If the appraisal is for mortgage loan purposes 1) we assume satisfactory completion of improvements if construction is not complete, 2) no consideration has been given for rent loss during rent-up unless noted in the body of this report, and 3) occupancy at levels consistent with our "Income and Expense Projection" are anticipated.
20. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering which may be required to discover them.

21. Our inspection included an observation of the land and improvements thereon only. It was not possible to observe conditions beneath the soil or hidden structural components within the improvements. We inspected the buildings involved, and reported damage (if any) by termites, dry rot, wet rot, or other infestations as a matter of information, and no guarantee of the amount or degree of damage (if any) is implied. Condition of heating, cooling, ventilation, electrical and plumbing equipment is considered to be commensurate with the condition of the balance of the improvements unless otherwise stated. Should the client have concerns in these areas, it is the client's responsibility to order the appropriate inspections. The appraiser does not have the skill or expertise to make such inspections and assumes no responsibility for these items.
22. This appraisal does not guarantee compliance with building code and life safety code requirements of the local jurisdiction. It is assumed that all required licenses, consents, certificates of occupancy or other legislative or administrative authority from any local, state or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value conclusion contained in this report is based unless specifically stated to the contrary.
23. When possible, we have relied upon building measurements provided by the client, owner, or associated agents of these parties. In the absence of a detailed rent roll, reliable public records, or "as-built" plans provided to us, we have relied upon our own measurements of the subject improvements. We follow typical appraisal industry methods; however, we recognize that some factors may limit our ability to obtain accurate measurements including, but not limited to, property access on the day of inspection, basements, fenced/gated areas, grade elevations, greenery/shrubbery, uneven surfaces, multiple story structures, obtuse or acute wall angles, immobile obstructions, etc. Professional building area measurements of the quality, level of detail, or accuracy of professional measurement services are beyond the scope of this appraisal assignment.
24. We have attempted to reconcile sources of data discovered or provided during the appraisal process, including assessment department data. Ultimately, the measurements that are deemed by us to be the most accurate and/or reliable are used within this report. While the measurements and any accompanying sketches are considered to be reasonably accurate and reliable, we cannot guarantee their accuracy. Should the client desire more precise measurement, they are urged to retain the measurement services of a qualified professional (space planner, architect or building engineer) as an alternative source. If this alternative measurement source reflects or reveals substantial differences with the measurements used within the report, upon request of the client, the appraiser will submit a revised report for an additional fee.
25. In the absence of being provided with a detailed land survey, we have used assessment department data to ascertain the physical dimensions and acreage of the property. Should a survey prove this information to be inaccurate, upon request of the client, the appraiser will submit a revised report for an additional fee.
26. If only preliminary plans and specifications were available for use in the preparation of this appraisal, and a review of the final plans and specifications reveals substantial differences upon request of the client the appraiser will submit a revised report for an additional fee.

27. Unless otherwise stated in this report, the value conclusion is predicated on the assumption that the property is free of contamination, environmental impairment or hazardous materials. Unless otherwise stated, the existence of hazardous material was not observed by the appraiser and the appraiser has no knowledge of the existence of such materials on or in the property. The appraiser, however, is not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation or other potentially hazardous materials may affect the value of the property. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required for discovery. The client is urged to retain an expert in this field, if desired.
28. The Americans with Disabilities Act ("ADA") became effective January 26, 1992. We have not made a specific compliance survey of the property to determine if it is in conformity with the various requirements of the ADA. It is possible that a compliance survey of the property, together with an analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this could have a negative effect on the value of the property. Since we have no direct evidence relating to this issue, we did not consider possible noncompliance with the requirements of ADA in developing an opinion of value.
29. This appraisal applies to the land and building improvements only. The value of trade fixtures, furnishings, and other equipment, or subsurface rights (minerals, gas, and oil) were not considered in this appraisal unless specifically stated to the contrary.
30. No changes in any federal, state or local laws, regulations or codes (including, without limitation, the Internal Revenue Code) are anticipated, unless specifically stated to the contrary.
31. Any income and expense estimates contained in the appraisal report are used only for the purpose of estimating value and do not constitute prediction of future operating results. Furthermore, it is inevitable that some assumptions will not materialize and that unanticipated events may occur that will likely affect actual performance.
32. Any estimate of insurable value, if included within the scope of work and presented herein, is based upon figures developed consistent with industry practices. However, actual local and regional construction costs may vary significantly from our estimate and individual insurance policies and underwriters have varied specifications, exclusions, and non-insurable items. As such, we strongly recommend that the Client obtain estimates from professionals experienced in establishing insurance coverage. This analysis should not be relied upon to determine insurance coverage and we make no warranties regarding the accuracy of this estimate.
33. The data gathered in the course of this assignment (except data furnished by the Client) shall remain the property of the Appraiser. The appraiser will not violate the confidential nature of the appraiser-client relationship by improperly disclosing any confidential information furnished to the appraiser. Notwithstanding the foregoing, the Appraiser is authorized by the client to disclose all or any portion of the appraisal and related appraisal data to appropriate representatives of the Appraisal Institute if such disclosure is required to enable the appraiser to comply with the Bylaws and Regulations of such Institute now or hereafter in effect.

34. You and Valbridge Property Advisors | Mountain States both agree that any dispute over matters in excess of \$5,000 will be submitted for resolution by arbitration. This includes fee disputes and any claim of malpractice. The arbitrator shall be mutually selected. If Valbridge Property Advisors | Mountain States and the client cannot agree on the arbitrator, the presiding head of the Local County Mediation & Arbitration panel shall select the arbitrator. Such arbitration shall be binding and final. In agreeing to arbitration, we both acknowledge that, by agreeing to binding arbitration, each of us is giving up the right to have the dispute decided in a court of law before a judge or jury. In the event that the client, or any other party, makes a claim against Valbridge Property Advisors | Mountain States or any of its employees in connections with or in any way relating to this assignment, the maximum damages recoverable by such claimant shall be the amount actually received by Valbridge Property Advisors | Mountain States for this assignment, and under no circumstances shall any claim for consequential damages be made.
35. Valbridge Property Advisors | Mountain States shall have no obligation, liability, or accountability to any third party. Any party who is not the "client" or intended user identified on the face of the appraisal or in the engagement letter is not entitled to rely upon the contents of the appraisal without the express written consent of Valbridge Property Advisors | Mountain States. "Client" shall not include partners, affiliates, or relatives of the party named in the engagement letter. Client shall hold Valbridge Property Advisors | Mountain States and its employees harmless in the event of any lawsuit brought by any third party, lender, partner, or part-owner in any form of ownership or any other party as a result of this assignment. The client also agrees that in case of lawsuit arising from or in any way involving these appraisal services, client will hold Valbridge Property Advisors | Mountain States harmless from and against any liability, loss, cost, or expense incurred or suffered by Valbridge Property Advisors | Mountain States in such action, regardless of its outcome.
36. The Valbridge Property Advisors office responsible for the preparation of this report is independently owned and operated by Mountain States. Neither Valbridge Property Advisors, Inc., nor any of its affiliates has been engaged to provide this report. Valbridge Property Advisors, Inc. does not provide valuation services, and has taken no part in the preparation of this report.
37. If any claim is filed against any of Valbridge Property Advisors, Inc., a Florida Corporation, its affiliates, officers or employees, or the firm providing this report, in connection with, or in any way arising out of, or relating to, this report, or the engagement of the firm providing this report, then (1) under no circumstances shall such claimant be entitled to consequential, special or other damages, except only for direct compensatory damages, and (2) the maximum amount of such compensatory damages recoverable by such claimant shall be the amount actually received by the firm engaged to provide this report.
38. This report and any associated work files may be subject to evaluation by Valbridge Property Advisors, Inc., or its affiliates, for quality control purposes.
39. Acceptance and/or use of this appraisal report constitutes acceptance of the foregoing general assumptions and limiting conditions.

Certification – Jeff Vance

I certify that, to the best of my knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. I have made a current site inspection of the property that is the subject of this report.
10. No one other than Moe Therrien, MAI, provided significant real property appraisal assistance to the person signing this certification.
11. The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
13. As of the date of this report, the undersigned has completed the continuing education program for Designated Members of the Appraisal Institute.



Jeff Vance, MAI
Senior Appraiser
Idaho, Certification # CGA-2828

Certification – Moe Therrien

I certify that, to the best of my knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. I have made a current site inspection of the property that is the subject of this report.
10. No one other than Jeff Vance, MAI, provided significant real property appraisal assistance to the person signing this certification.
11. The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
13. As of the date of this report, the undersigned has completed the continuing education program for Designated Members of the Appraisal Institute.



Moe Therrien, MAI
Senior Managing Director
Idaho, Certification # CGA-8

Addenda

Engagement Letter

Subject Photos

Purchase and Sale Agreement

Opening Up Idaho Guidelines

Glossary

Qualifications

- Jeff Vance, MAI – Senior Appraiser
- Moe Therrien, MAI – Senior Managing Director

Information on Valbridge Property Advisors

Office Locations

Engagement Letter

**MOUNTAIN STATES APPRAISAL AND CONSULTING, INC.****d/b/a VALBRIDGE PROPERTY ADVISORS**

2020-2023 ON-CALL PROFESSIONAL SERVICES AGREEMENT

TASK ORDER 20-001*CONSULTANT: Use the Project Name and **PO# 200072** number on all project-related invoices.*

TO: Moe Therrien, MAI, Senior Managing Director
Mountain States Appraisal and Consulting, Inc.
1459 Tyrell Lane, Suite B
Boise, Idaho 83706
#208.336.1097
moe@appraisaidaho.com

FROM: John Brunelle, Executive Director
Capital City Development Corporation
121 N. 9th Street, Suite 501
Boise, Idaho 83702
#208-384-4264
jbrunelle@ccdcboise.com

ORIGINAL AGREEMENT: 2020-2023 On-Call Professional Services ("Agreement")**AGREEMENT DATE:** May 5, 2020**TASK ORDER DATE:** May 7, 2020**TASK ORDER AMOUNT:** \$2,900

1. **PROJECT NAME:** Appraisal of 1715 West Idaho Street, Boise, Idaho
2. **PROJECT DESCRIPTION**
CCDC desires to engage CONSULTANT to provide an opinion of market value for real property located at 1715 West Idaho Street in Boise, Idaho.
3. **SERVICES TO BE PERFORMED**
CONSULTANT shall perform the services described in CONSULTANT's proposal dated April 29, 2020 attached hereto as Exhibit A ("Scope of Services" or "Scope").

CONSULTANT shall not incur charges for the Scope of Services in excess of the not-to-exceed amount for this Task Order without prior written approval from CCDC. CCDC's signature on this Task Order serves as a Notice to Proceed.

4. SUBCONSULTANT(S) (n/a)

5. PAYMENT

- (a) Amount and Method of Payment. The total amount paid for this Task Order shall be an amount not to exceed **TWO THOUSAND NINE HUNDRED DOLLARS (\$2,900)**. CCDC shall pay CONSULTANT for the Scope of Services performed under this Task Order based on hours expended on the Scope at the agreed upon hourly rate(s).
- (b) Reimbursable Expenses. Payment for reimbursable expenses shall be included in the not-to-exceed limit of \$2,900.
- (c) Subconsultants. Payment to SUBCONSULTANT is included in the not-to-exceed amount of \$2,900 for this Task Order. CONSULTANT shall assume responsibility for the amount and schedule of payments to the SUBCONSULTANT
- (d) NOTICE REQUIRED PRIOR TO OVERAGES. CONSULTANT must notify CCDC if CONSULTANT anticipates that costs for the Scope of Services will exceed the not-to-exceed limit set for this Task Order.

6. SCHEDULE

CONSULTANT shall begin work upon execution of this Task Order and work diligently toward completion of the Scope of Services, with such completion no later than three weeks from Notice to Proceed.

7. DELIVERABLES / COPIES OF PRODUCTS

CONSULTANT shall provide CCDC with an opinion of Market Value: As Is for the property.

8. CONTRACT TERMS

Terms of the 2020-2023 On-Call Professional Services Agreement shall apply to the services performed and work products created under this Task Order.

End of Task Order | *Signatures appear on the following page.*

IN WITNESS WHEREOF, CCDC and CONSULTANT have executed this Task Order as of the date last written below.

CAPITAL CITY DEVELOPMENT CORP.

**CONSULTANT: MOUNTAIN STATES
APPRAISAL AND CONSULTING, INC.**


John Brunelle, Executive Director
Date: May 7, 2020


Moe Therrien, Senior Managing Director
Date: 5-7-20

EXHIBITS

A: Consultant's Proposal dated April 29, 2020

Budget Info / For Office Use	
Fund/District	303
Account	6400
Activity Code	n/a
PO #	200072
Completion Date	May 2020
Task Order Term	May 2020

MOUNTAIN STATES APPRAISAL
TO# 20-001 – APPRAISAL OF 1715 W IDAHO STREET

PAGE 3

EXHIBIT A



Joe Corlett, MAI, SRA
Moe Therrien, MAI
Kevin Ritter, MAI
Derek Newton, CGA
Jeff Vance, MAI
Dave Pascua, RT
Paul Dehlin, MAI

1459 Tyrell Lane
Suite B
Boise, ID 83706
208-336-1097 phone
208-345-1175 fax
valbridge.com

April 29, 2020

Mr. Brady Shinn
Capital City Development Corp
121 N. 9th Street, Suite 501
Boise, ID 83702

RE: Authorization & Engagement
Appraisal of Idaho Street Commercial Land
1715 W. Idaho Street, Boise, ID 83702

Dear Mr. Shinn:

This letter serves as our agreement for appraisal services relating to the above referenced property. The subject is 0.406 acres of vacant commercial land. The subject is further identified by Assessor Parcel Number R5538941262.

The purpose of this appraisal is to provide an opinion of Market Value: As Is. The Capital City Development Corp (CCDC) is the client in this assignment. The intended use is to document market value to assist in the potential purchase of the subject property. The intended users of this report include the client and any duly appointed representatives of the client, specifically authorized by the client to view or use this appraisal in accordance with the stated purpose or function.

We will develop our analyses, opinions, and conclusions and prepare this report in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP) of the Appraisal Foundation; the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute; and the requirements of our client as we understand them. The report will be presented in Appraisal Report format and comply with the requirements set forth under Standards Rule 2-2(a) of USPAP. It will present a narrative discussion of the pertinent data gathered, the techniques employed, and the reasoning leading to our value opinion(s).

The fee will be \$2,900. Delivery of the report will be no later than two to three weeks from the date we receive the signed engagement letter. The fee is due within 30 days of delivery. Jeff Vance, MAI, and Joe Corlett, MAI, SRA, will be co-signors of the report.

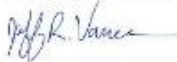
VALBRIDGE PROPERTY ADVISORS: AKRON • ATLANTA • BATON ROUGE • BOISE • BOSTON • BOULDER • CENTRAL VALLEY CA/CENTRAL COUNTIES • CHARLESTON • CHARLOTTE • CINCINNATI • COEUR D'ALENE • DALLAS-FORT WORTH • DAVENPORT • EAST LANSING • GREENVILLE • HARTFORD • HILTON HEAD • HOUSTON • INDIANAPOLIS • JACKSONVILLE • KANSAS CITY • KNOXVILLE • LAS VEGAS • LOS ANGELES • ORANGE COUNTY • LOUISVILLE • LUBBOCK • MEMPHIS • MILWAUKEE • MINNEAPOLIS • MONTEREY/CARMEL • MONTGOMERY • NAPLES • NASHVILLE • NEW ORLEANS • NORFOLK/VIRGINIA BEACH • NORWALK/STAMFORD • OLYMPIA • ORLANDO • PHILADELPHIA • PITTSBURGH • RALEIGH • RICHMOND • ROANOKE • SACRAMENTO • SALT LAKE CITY • SAN ANTONIO • SAN DIEGO • SAN FRANCISCO BAY AREA/EAST BAY • SAN FRANCISCO BAY AREA/SILICON VALLEY • SEATTLE • SHREVEPORT • SPOKANE • SOUTHERN UTAH • TAMPA/ST. PETERSBURG • TUCSON • TULSA • WASHINGTON DC/BALTIMORE



If you agree to these terms, please have the person(s) responsible for payment acknowledge the intent for payment by signing this engagement letter. Thank you for the opportunity to be of service.

Sincerely,

**Valbridge Property Advisors | Mountain States
Appraisal & Consulting, Inc.**



Jeff Vance, MAI

Idaho Certified General Appraiser

CGA-2828

Phone: 208-336-1097, ext. 22

E-mail: jvance@valbridge.com

I agree to these terms.

Signatures appear on Task Order 20-001

Client Signature

Date

Client Name

Business Name

Valbridge Property Advisors | Mountain States Appraisal and Consulting, Inc.

Subject Photographs



Subject site viewing south



Viewing east



Viewing north



Viewing west





W. Idaho St., viewing east, subject on right



Adjacent alleyway, viewing west, subject on right

Purchase and Sale Agreement

	ADDENDUM #1 (All addendums shall be numbered sequentially.) RE-11 ADDENDUM	<small>JULY 2019 EDITION</small> <small>Page 1 of 1</small> 
THIS IS A LEGALLY BINDING CONTRACT. READ THE ENTIRE DOCUMENT, INCLUDING ANY ATTACHMENTS. IF YOU HAVE ANY QUESTIONS, CONSULT YOUR ATTORNEY AND/OR ACCOUNTANT BEFORE SIGNING.		

1 Today's Date: May 5, 2020

2

3 This is an **ADDENDUM** to the ☒ Purchase and Sale Agreement ☐ Other

4 ("Addendum" means that the information below is added material for the agreement (such as lists or descriptions) and/or means the form is

5 being used to change, correct or revise the agreement (such as modification, addition or deletion of a term)).

6

7 **AGREEMENT DATED:** April 14, 2020 **ID #** 04142020

8

9 **ADDRESS:** 1715 West Idaho Street, Boise, ID

10

11 **BUYER(S):** The Urban Renewal Agency of the City of Boise, Idaho, doing business as Capital City Development Corporation

12

13 **SELLER(S):** Cinco Port, LLC

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15 The undersigned parties hereby agree as follows:

16 **1. Section 7. (B) of the Purchase and Sale Agreement shall be amended such that "...Buyer shall, within 53 calendar days from**

17 **acceptance, complete these inspections..."**

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48 To the extent the terms of this ADDENDUM modify or conflict with any provisions of the Purchase and Sale Agreement including all prior

49 Addendums or Counter Offers, these terms shall control. **All other terms of the Purchase and Sale Agreement including all prior**

50 **Addendums or Counter Offers not modified by this ADDENDUM shall remain the same.** Upon its execution by both parties, this agreement

51 is made an integral part of the aforementioned Agreement.

52

53 **BUYER:**  **Date:** May 7, 2020

54

55 **BUYER:** _____ **Date:** _____

56

57 **SELLER:**  **Date:** May 7, 2020

58

59 **SELLER:** _____ **Date:** _____

 RE-24 VACANT LAND REAL ESTATE PURCHASE AND SALE AGREEMENT		JULY 2019 EDITION  Page 1 of 7
<small>THIS IS A LEGALLY BINDING CONTRACT. READ THE ENTIRE DOCUMENT, INCLUDING ANY ATTACHMENTS. IF YOU HAVE ANY QUESTIONS, CONSULT YOUR ATTORNEY AND/OR ACCOUNTANT BEFORE SIGNING.</small> NO WARRANTIES, INCLUDING, WITHOUT LIMITATION, ANY WARRANTY OF HABITABILITY, AGREEMENTS OR REPRESENTATIONS NOT EXPRESSLY SET FORTH HEREIN SHALL BE BINDING UPON EITHER PARTY.		
ID# 04142020		DATE April 14, 2020
LISTING AGENCY <u>Mark Bottles Real Estate Services</u> Office Phone # 208.377.5700 Fax # NA Listing Agent <u>Riley Verner</u> E-Mail <u>riley@markbottles.com</u> Phone # 208.585.7721 SELLING AGENCY <u>Story Commercial, LLC</u> Office Phone # 208.841.8320 Fax # NA Selling Agent <u>Jay Story</u> E-Mail <u>story@storycommercial.com</u> Phone # 208.841.8320		
1. BUYER: <u>the Urban Renewal Agency of the City of Boise, Idaho, doing business as Capital City Development Corporation</u> (Hereinafter called "BUYER") agrees to purchase, and the undersigned SELLER agrees to sell the following described real estate hereinafter referred to as "PROPERTY" COMMONLY KNOWN AS 1715 West Idaho Street <u>Boise</u> City <u>Ada</u> County, ID, Zip <u>83702</u> legally described as:		
OR Legal Description Attached as exhibit <u>A</u> (Exhibit must accompany original offer and be signed or initialed by BUYER and SELLER.)		
2. \$605000 PURCHASE PRICE: <u>Six Hundred Five Thousand Dollars And Zero Cents</u> payable upon the following TERMS AND CONDITIONS (not including closing costs): This offer is contingent upon the sale, refinance, and/or closing of any other property <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (N/A if left blank)		
3. FINANCIAL TERMS: Note: A+D+E+F must add up to total purchase price. (A) <u>\$25000</u> EARNEST MONEY: <u>Twenty-five Thousand Dollars And Zero Cents</u> BUYER hereby offers the above stated amount as Earnest Money which shall be credited to BUYER upon closing. Earnest Money is/will be:		
Evidenced by: <input type="checkbox"/> Cash <input checked="" type="checkbox"/> Personal Check <input checked="" type="checkbox"/> Cashier's Check <input checked="" type="checkbox"/> Wire Transfer <input type="checkbox"/> Note <input type="checkbox"/> See Section 4	Held By: <input type="checkbox"/> Responsible Broker <input checked="" type="checkbox"/> Closing Company <input type="checkbox"/> See Section 4	Delivered: <input type="checkbox"/> With Offer <input checked="" type="checkbox"/> Within <u>5</u> business days (three [3] if left blank) of acceptance. <input type="checkbox"/> See Section 4
Deposited: <input checked="" type="checkbox"/> Upon Receipt and Acceptance <input type="checkbox"/> Upon Receipt Regardless of Acceptance <input type="checkbox"/> See Section 4		
20 THE RESPONSIBLE BROKER SHALL BE: <u>Mark Bottles</u>		
(B) ALL CASH OFFER: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES If this is an all cash offer do not complete Sections 3D and 3E, fill blanks with N/A (Not Applicable). IF CASH OFFER BUYER'S OBLIGATION TO CLOSE SHALL NOT BE SUBJECT TO ANY FINANCIAL CONTINGENCY. BUYER agrees to provide SELLER within <u>NA</u> business days (five [5] if left blank) from the date of acceptance of this agreement by all parties written confirmation of sufficient funds and/or proceeds necessary to close transaction. Acceptable documentation includes, but is not limited to a copy of a recent bank or financial statement.		
(C) Cash proceeds from another sale: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (N/A if left blank)		
(D) \$ <u>NEW LOAN PROCEEDS: If a number greater than zero appears on the preceding blank then this agreement is contingent upon BUYER obtaining the following financing: FIRST LOAN of \$ <u> </u> not including mortgage insurance, through <input type="checkbox"/> FHA, <input type="checkbox"/> VA, <input type="checkbox"/> CONVENTIONAL, <input type="checkbox"/> IHFA, <input type="checkbox"/> RURAL DEVELOPMENT, <input type="checkbox"/> OTHER <u> </u> with interest not to exceed <u> </u> % for a period of <u> </u> year(s) at: <input type="checkbox"/> Fixed Rate <input type="checkbox"/> Other <u> </u>. In the event BUYER is unable, after exercising good faith efforts, to obtain the indicated financing, BUYER's Earnest Money shall be returned to BUYER. SECOND LOAN of \$ <u> </u> through <input type="checkbox"/> FHA, <input type="checkbox"/> VA, <input type="checkbox"/> CONVENTIONAL, <input type="checkbox"/> IHFA, <input type="checkbox"/> RURAL DEVELOPMENT, <input type="checkbox"/> OTHER <u> </u> with interest not to exceed <u> </u> % for a period of <u> </u> year(s) at: <input type="checkbox"/> Fixed Rate <input type="checkbox"/> Other <u> </u>. LOAN APPLICATION: BUYER <input type="checkbox"/> has applied OR <input type="checkbox"/> shall apply for such loan(s). Within <u> </u> business days (ten [10] if left blank) of final acceptance of all parties, BUYER agrees to furnish SELLER with a written confirmation showing lender approval of credit report, income verification, debt ratios, and evidence of sufficient funds and/or proceeds necessary to close transaction in a manner acceptable to the SELLER(S) and subject only to satisfactory appraisal and final lender underwriting. If an appraisal is required by lender, the PROPERTY must appraise at not less than purchase price or BUYER'S Earnest Money shall be returned at BUYER'S request unless SELLER, at SELLER'S sole discretion, agrees to reduce the purchase price to meet the appraised value, in which case SELLER shall be entitled to a copy of the appraisal and shall have 24 hours from receipt thereof to notify BUYER of any price reduction. BUYER may also apply for a loan with different conditions and costs and close transaction provided all other terms and conditions of this Agreement are fulfilled, and the new loan does not increase the costs or requirements to the SELLER. FHA / VA: If applicable, it is expressly agreed that notwithstanding any other provisions of this contract, BUYER shall not be obligated to complete the purchase of the PROPERTY described herein or to incur any penalty or forfeiture of Earnest Money deposits or otherwise unless BUYER has been given in accordance with HUD/FHA or VA requirements a written statement by the Federal Housing Commissioner, Veterans Administration or a Direct Endorsement lender setting forth the appraised value of the PROPERTY of not less than the sales price as stated in the contract. </u>		
If such written confirmation required in 3(B) or 3(D) is not received by SELLER(S) within the strict time allotted, SELLER(S) may at their option cancel this agreement by notifying BUYER(S) in writing of such cancellation within <u> </u> business days (three [3] if left blank) after written confirmation was required. If SELLER does not cancel within the strict time period specified as set forth herein, SELLER shall be deemed to have accepted such written		
BUYER'S Initials <u>(Signature)</u> Date <u>April 17, 2020</u>		SELLER'S Initials <u>(Signature)</u> Date <u>4/17/20</u>
<small>This form is printed and distributed by the Idaho Association of REALTORS®, Inc. This form has been designed and is provided for use by the real estate professionals who are members of the Idaho Association of REALTORS®. USE BY ANY OTHER PERSON IS PROHIBITED. ©Copyright Idaho Association of REALTORS®, Inc. All rights reserved.</small>		
JULY 2019 EDITION RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT		Page 1 of 7 
<small>Serial# 034032-600158-7142056 Prepared by: Jay Story Story Commercial LLC story@storycommercial.com 2088418320</small>		



Page 2 of 7

ID#: 04142020

JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 3 of 7

PROPERTY ADDRESS: 1715 West Idaho Street, Boise, ID

ID#: 04142020

if left blank) from acceptance, complete these inspections and give to SELLER written notice of disapproved items/conditions or written notice of termination of this Agreement based on an unsatisfactory inspection. Once BUYER delivers written notice to SELLER it shall end BUYER's timeframe and is irrevocable regardless of if it was provided prior to the deadline stated above. BUYER is strongly advised to exercise these rights and to make BUYER'S own selection of professionals with appropriate qualifications to conduct inspections of the entire PROPERTY. SELLER shall make the PROPERTY available for all inspections. BUYER shall keep the PROPERTY free and clear of liens, indemnify and hold SELLER harmless from all liability, claims, demands, damages and costs; and repair any damages arising from the inspections. No inspections may be made by any governmental building or zoning inspector or government employee without the prior consent of SELLER unless required by local law. **No inspections may be made by any governmental building or zoning inspector or government employee without the prior consent of SELLER, unless required by local law.**

BUYER'S acceptance of the condition of the PROPERTY is a contingency of this Agreement.

(C) SATISFACTION/REMOVAL OF INSPECTION CONTINGENCIES:

1. If BUYER does not within the strict time period specified give to SELLER written notice of disapproved items/conditions or written notice of termination of this Agreement, BUYER shall conclusively be deemed to have: (a) completed all inspections, investigations, review of applicable documents and disclosures; (b) elected to proceed with the transaction and (c) assumed all liability, responsibility and expense for repairs or corrections.

2. If BUYER does within the strict time period specified give to SELLER written notice of termination of this Agreement based on an unsatisfactory inspection, the parties will have no obligation to continue with the transaction and the Earnest Money shall be returned to BUYER.

3. If BUYER does within the strict time period specified give to SELLER written notice of disapproved items, it shall end BUYER's timeframe for inspections and is irrevocable. BUYER shall provide to SELLER pertinent section(s) of written inspection reports upon request, if applicable. Upon receipt of written notice SELLER shall have 3 business days (three [3] if left blank) in which to respond in writing. SELLER, at SELLER's option, may agree to correct the items as requested by BUYER in the notice or may elect not to do so. If SELLER agrees in writing to correct items/conditions requested by BUYER, then both parties agree that they will continue with the transaction and proceed to closing. Otherwise, immediately upon a written response from SELLER that rejects BUYER's requests, in whole or in part, said response is irrevocable without consent of BUYER and BUYER may proceed under 7(C)(4) below.

4. If SELLER does not agree to correct BUYER'S disapproved items/conditions within the strict time period specified, or SELLER does not respond in writing within the strict time period specified above, then within 10 business days (three [3] if left blank) the BUYER has the option of 1) negotiating with SELLER to obtain a modification of SELLER'S response 2) proceeding with the transaction without the SELLER being responsible for correcting the disapproved items/conditions stated in that particular BUYER'S notice, or 3) giving the SELLER written notice of termination of this agreement in which case Earnest Money shall be returned to BUYER. If within the strict time period specified in this paragraph BUYER does not obtain a modification of SELLER'S response or give written notice of cancellation, BUYER shall conclusively be deemed to have elected to proceed with the transaction without the repairs or corrections to the disapproved items/conditions stated in that particular BUYER'S notice.

8. SELLER DISCLOSURES. Within 3 business days (two [2] if left blank) from acceptance SELLER shall disclose, and provide copies if available, to BUYER the following:

- (a) any studies and/or reports that have previously been performed in connection with or for the PROPERTY, including without limitation, environmental reports, soil studies, seismic studies, site plans and surveys;
- (b) any notices relating to a violation of applicable law including, without limitation, environmental law and laws relating to land use, zoning or compliance with building codes;
- (c) SELLER shall make available for inspection all documents in SELLER'S possession relating to ownership, operation, renovation or development of the PROPERTY including: statements for real estate tax assessments and utilities for the last year; property management agreements; leases or other occupancy agreements; maintenance records, accounting records and audit records for the past year; and installment purchase contracts or leases of personal property used in connection with the PROPERTY; and
- (d) all other documents described in any Addenda or Counteroffer to this Agreement.

9. TITLE CONVEYANCE: Title of SELLER is to be conveyed by warranty deed, unless otherwise provided, and is to be marketable and insurable except for rights reserved in federal patents, state or railroad deeds, building or use restrictions, building and zoning regulations and ordinances of any governmental unit, and rights of way and easements established or of record. Liens, encumbrances or defects to be discharged by SELLER may be paid out of purchase money at date of closing. No liens, encumbrances or defects, which are to be discharged or assumed by BUYER or to which title is taken subject to, exist unless otherwise specified in this Agreement.

10. TITLE INSURANCE: There may be types of title insurance coverages available other than those listed below and parties to this agreement are advised to talk to a title company about any other coverages available that will give the buyer additional coverage.

(A). PRELIMINARY TITLE COMMITMENT AND CC&Rs: Within 6 business days (six [6] if left blank) of final acceptance of all parties, ☒ SELLER or ☐ BUYER shall furnish to BUYER a preliminary commitment of a title insurance policy showing the condition of the title to said PROPERTY and a copy of any covenants, conditions and restrictions (CC&Rs) applicable to the PROPERTY. BUYER shall have 10 business days (two [2] if left blank) after receipt of the preliminary commitment and CC&Rs, within which to object in writing to the condition of the title or CC&Rs as set forth in the documentation provided. If BUYER does not so object, BUYER shall be deemed to have accepted the conditions of the title or CC&Rs. If the title of said PROPERTY is not marketable, and cannot be made so within 5 business days (two [2] if left blank) after SELLER'S receipt of a written objection and statement of defect from BUYER, or if BUYER objects to the CC&Rs, then BUYER'S Earnest Money deposit shall be returned to BUYER and SELLER shall pay for the cost of title insurance cancellation fee, escrow and legal fees, if any. Nothing contained herein shall constitute a waiver of BUYER to challenge CC&R terms directly with a homeowner's association after closing.

(B). TITLE COMPANY: The parties agree that TitleOne shall provide the title policy and preliminary report of commitment. Title Company located at 1101 West River Street, Boise, ID

BUYER'S Initials (JS) Date April 17, 2020 SELLER'S Initials (JS) Date 4/17/20

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JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 3 of 7

Serial# 034032-400150-7142056

Prepared by Jay Story | Story Commercial LLC | story@storycommercial.com | 2088418320



JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 4 of 7

PROPERTY ADDRESS: 1715 West Idaho Street, Boise, ID

ID#: 04142020

(C). **STANDARD COVERAGE OWNER'S POLICY:** SELLER shall within a reasonable time after closing furnish to BUYER a title insurance policy in the amount of the purchase price of the PROPERTY showing marketable and insurable title subject to the liens, encumbrances and defects elsewhere set out in this Agreement to be discharged or assumed by BUYER unless otherwise provided herein. **The risk assumed by the title company in the standard coverage policy is limited to matters of public record.** BUYER shall receive a ILTA/ALTA Owner's Policy of Title Insurance. A title company, at BUYER's request, can provide information about the availability, desirability, coverage and cost of various title insurance coverages and endorsements. If BUYER desires title coverage other than that required by this paragraph, BUYER shall instruct Closing company in writing and pay any increase in cost unless otherwise provided herein.

(D). **EXTENDED COVERAGE LENDER'S POLICY (Mortgagee policy):** The lender may require that BUYER (Borrower) furnish an Extended Coverage Lender's Policy. This extended coverage lender's policy considers matters of public record and additionally insures against certain matters not shown in the public record. This extended coverage lender's policy is solely for the benefit of the lender and only protects the lender.

11. SUBDIVISION HOMEOWNER'S ASSOCIATION: BUYER is aware that membership in a Home Owner's Association may be required and BUYER agrees to abide by the Articles of Incorporation, Bylaws and rules and regulations of the Association. BUYER is further aware that the PROPERTY may be subject to assessments levied by the Association described in full in the Declaration of Covenants, Conditions and Restrictions. BUYER has reviewed Homeowner's Association Documents: ☐ Yes ☒ No ☒ N/A. Association fees/dues are \$NA per NA at closing.

☐ BUYER ☐ SELLER ☐ Shared Equally ☒ N/A to pay Association SET UP FEE of \$NA at closing.

☐ BUYER ☐ SELLER ☐ Shared Equally ☒ N/A to pay Association PROPERTY TRANSFER FEES of \$NA at closing.

☐ BUYER ☐ SELLER ☐ Shared Equally ☒ N/A to pay Association STATEMENT OF ACCOUNT FEE of \$NA at closing. Association Fees are governed by Idaho Code 55-116 and 55-1507.

12. INTERSTATE LAND SALES FULL DISCLOSURE ACT: This Vacant Land Real Estate Purchase and Sale Agreement is NOT intended to be used for situations in which Seller owns and is selling one hundred (100) or more lots. Properties containing one hundred (100) or more lots for sale may be subject to the reporting and disclosure requirements of the Interstate Land Sales Full Disclosure Act ("Act"). 15 USC § 1701 et seq. If you have questions regarding this Act, contact your attorney before signing. Any contract or agreement for the sale or lease of a lot subject to the Act may be revoked at the option of the purchaser or lessee until midnight of the seventh day following the signing of such contract or agreement or until such later time as may be required pursuant to applicable law. Any contract or agreement for the sale or lease of a lot for which a property report is required by the Act and the property report has not been given to the purchaser or lessee in advance of his or her signing such contract or agreement, such contract or agreement may be revoked at the option of the purchaser or lessee within two (2) years from the date of such signing.

13. FARM/CROPS/TIMBER RIGHTS: SELLER, or any tenant of SELLER, shall be allowed to harvest, sell or assign any annual crops which have been planted on the PROPERTY prior to the date of this Contract, even though said harvest time may occur subsequent to the date of the settlement of this contract, unless otherwise agreed by attached addendum. If the crop consists of timber, then neither SELLER nor any tenant of SELLER shall have any right to harvest the timber unless the right to remove same shall be established by an attached addendum. Notwithstanding the provisions hereof, any tenant who shall be leasing the PROPERTY shall be allowed to complete the harvest of any annual crops that have been planted prior to the date of Contract Acceptance as previously agreed between SELLER and Tenant. **ANY AND ALL SUCH TENANT AGREEMENTS ARE TO BE ATTACHED.**

14. NOXIOUS WEEDS: BUYER of the PROPERTY in the State of Idaho should be aware that some properties contain noxious weeds. The laws of the State of Idaho require owners of property within this state to control, and to the extent possible, eradicate noxious weeds. For more information concerning noxious weeds and your obligations as an owner of property, contact your local county extension office.

15. MINERAL RIGHTS: Any and all mineral rights appurtenant to the PROPERTY, and owned by SELLER, are included in and are part of the sale of this PROPERTY, and are not leased or encumbered, unless otherwise agreed to by the parties in writing.

16. WATER RIGHTS: Any and all water rights including but not limited to water systems, wells, springs, lakes, streams, ponds, rivers, ditches, ditch rights, and the like, if any, appurtenant to the PROPERTY, and owned by SELLER, are included in and are a part of the sale of this PROPERTY, and are not leased or encumbered, unless otherwise agreed to by the parties in writing.



17. RISK OF LOSS OR NEGLECT: Prior to closing of this sale, all risk of loss shall remain with SELLER. In addition, should the PROPERTY be materially damaged by fire, neglect, or other destructive cause prior to closing, this agreement shall be voidable at the option of the BUYER.

18. BUSINESS DAYS: A business day is herein defined as Monday through Friday, 8:00 A.M. to 5:00 P.M. in the local time zone where the subject real PROPERTY is physically located. A business day shall not include any Saturday or Sunday, nor shall a business day include any legal holiday recognized by the state of Idaho as found in Idaho Code §73-108. If the time in which any act required under this agreement is to be performed is based upon a business day calculation, then it shall be computed by excluding the calendar day of execution and including the last business day. The first business day shall be the first business day after the date of execution. If the last day is a legal holiday, then the time for performance shall be the next subsequent business day.

19. CALENDAR DAYS: A calendar day is herein defined as Monday through Sunday, midnight to midnight, in the local time zone where the subject real PROPERTY is physically located. A calendar day shall include any legal holiday. The time in which any act required under this agreement is to be performed shall be computed by excluding the date of execution and including the last day, thus the first day shall be the day after the date of execution. Any reference to "day" or "days" in this agreement means the same as calendar day, unless specifically enumerated as a "business day."

20. SEVERABILITY: In the case that any one or more of the provisions contained in this Agreement or any application thereof, shall be invalid, illegal or unenforceable in any respect, the validity, legality or unenforceability of the remaining provisions shall not in any way be affected or impaired thereby.

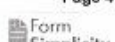
21. TRANSMISSION OF DOCUMENTS: Facsimile or electronic transmission of any signed original document, and retransmission of any signed facsimile or electronic transmission shall be the same as delivery of an original. At the request of either the BUYER or SELLER, or the LENDER, or the Closing company, the BUYER and SELLER will confirm facsimile or electronic transmitted signatures by signing an original document.

BUYER'S Initials () Date April 17, 2020 SELLER'S Initials () Date 4/17/20

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JULY 2019 EDITION **RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT** **Page 4 of 7**

Swire# 034032-000158-7142056
 Prepared by: Jay Story | Story Commercial LLC | story@storycommercial.com | 2088418320

 Form Simplicity

JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 5 of 7

PROPERTY ADDRESS: 1715 West Idaho Street, Boise, ID

ID#: 04142020

259 **22. WIRE TRANSFER WARNING:** Electronic means of transferring money (i.e. ETF, wire transfer, electronic check, direct deposit, etc...) are subject
 260 to sophisticated cyber fraud attacks. These attacks are even more prevalent in real estate transactions due to the large sums of money being exchanged.
 261 BUYER is advised that Brokerage will not provide electronic transfer instructions by e-mail. Following money transfer instructions contained in an email from
 262 any party is inherently dangerous and should be avoided. BUYER agrees that if BUYER use, or authorize the use of, electronic transfer of funds in a
 263 transaction they hereby hold the Brokerages, their agents, and the designated title and escrow company harmless from any and all claims arising out of
 264 inaccurate transfer instructions, fraudulent interception of said funds and/or any other damage relating to the conduct of third parties influencing the transfer
 265 process or stealing funds.

257 **23. COUNTERPARTS:** This Agreement may be executed in counterparts. Executing an agreement in counterparts shall mean the signature of two
 258 identical copies of the same agreement. Each identical copy of an agreement signed in counterparts is deemed to be an original, and all identical copies
 259 shall together constitute one and the same instrument.

271 **24. ENTIRE AGREEMENT:** This Agreement including any addendums or exhibits, constitutes the entire Agreement between the parties respecting the
 272 matters set forth and supersedes all prior Agreements between the parties respecting such matters. This Agreement may be modified only by a written
 273 agreement signed by each of the parties.

275 **25. SALES PRICE INFORMATION:** Pursuant to Idaho Code §54-2083(6)(d), a "sold" price of real property is not confidential client information.

277 **26. AUTHORITY OF SIGNATORY:** If BUYER or SELLER is a corporation, partnership, trust, estate, or other entity, the person executing this
 278 agreement on its behalf warrants his or her authority to do so and to bind BUYER or SELLER.

280 **27. ADDITIONAL CONTINGENCIES AND COSTS:** The closing of this transaction is contingent upon written satisfaction or waiver of the
 281 contingencies listed in the "contingencies" column below. In addition, the parties shall satisfy all contingencies set forth in this section by close of business
 282 (Date): **45 days from accept** unless otherwise agreed to by the parties in writing. The parties agree to pay the following costs **immediately when due and**
 283 **regardless of transaction closing, unless otherwise indicated.** These costs shall be paid by the indicated party regardless of whether or not the
 284 transaction closes; if the transaction fails to close due to breach of a party, any costs paid by the non-breaching party may be recovered as damages. None of the
 285 costs to be paid by the parties in this section creates an inspection or performance obligation other than strictly for the payment of costs unless otherwise
 286 stated below. There may be other costs incurred in addition to those set forth below. Such costs may be required by the lender, by law, or by other such
 287 circumstances. Requested tests/inspection reports as indicated below shall be provided to the other party within **10** business days (ten [10] if left blank)
 288 prior to closing.

COSTS	BUYER	SELLER	Shared Equally	N/A	CONTINGENCIES	BUYER	SELLER	Shared Equally	N/A
Appraisal Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Environmental Inspection (Phase 1)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Long Term Escrow Fees	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental Inspection (Phase 2)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Closing Escrow Fee	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Environmental Inspection (Phase 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Survey Shall be ordered by: <input checked="" type="checkbox"/> BUYER <input type="checkbox"/> SELLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PERC Test	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Flood Certification/Tracking Fee	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zoning Variance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Title Ins. Standard Coverage Owner's Policy	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soil(s) Test(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Title Ins. Extended Coverage Lender's Policy - Mortgagee Policy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous Waste Report(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional Title Coverage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Domestic Well Water Potability Test Shall be ordered by: <input type="checkbox"/> BUYER <input type="checkbox"/> SELLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Rights Transfer Fee	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Domestic Well Water Productivity Test Shall be ordered by: <input type="checkbox"/> BUYER <input type="checkbox"/> SELLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Attorney Contract Preparation or Review Fee	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Inspections Shall be ordered by: <input type="checkbox"/> BUYER <input type="checkbox"/> SELLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Septic Pumping Shall be ordered by: <input type="checkbox"/> BUYER <input type="checkbox"/> SELLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

289 Upon closing SELLER agrees to pay ☐ % of the purchase price OR ☒ \$0 (dollar amount) (N/A if left
 290 blank) as a SELLER concession. This can be used toward lender-approved BUYER'S closing costs, lender fees, and prepaid
 291 costs which include but are not limited to those items in BUYER columns marked above. This concession can also be used for
 292 any other expense not related to financing at the BUYER's discretion.

294 **28. DEFAULT:** If BUYER defaults in the performance of this Agreement, SELLER has the option of: (1) accepting the Earnest Money as liquidated
 295 damages or (2) pursuing any other lawful right or remedy to which SELLER may be entitled. If SELLER elects to proceed under (1), SELLER shall make
 296 demand upon the holder of the Earnest Money, upon which demand said holder shall pay from the Earnest Money the costs incurred by SELLER's Broker
 297 on behalf of SELLER and BUYER related to the transaction, including, without limitation, the costs of title insurance, escrow fees, credit report fees,
 298 inspection fees and attorney's fees; and said holder shall pay any balance of the Earnest Money, one-half to SELLER and one-half to SELLER's Broker,
 299 provided that the amount to be paid to SELLER's Broker shall not exceed the Broker's agreed-to commission. SELLER and BUYER specifically

BUYER'S Initials [Signature] Date April 17, 2020 SELLER'S Initials [Signature] Date 4/17/20

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JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 5 of 7

Serial#: 034032-600158-1142056

Prepared by: Jay Story | Story Commercial LLC | story@storycommercial.com | 2088418320



JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 6 of 7

PROPERTY ADDRESS: 1715 West Idaho Street, Boise, ID

ID#: 04142020

acknowledge and agree that if SELLER elects to accept the Earnest Money as liquidated damages, such shall be SELLER's sole and exclusive remedy, and such shall not be considered a penalty or forfeiture. However, in the event the parties mutually agree in writing that the Earnest Money shall become non-refundable, said agreement shall not be considered an election of remedies by SELLER and the non-refundable Earnest Money shall not constitute liquidated damages; nor shall it act as a waiver of other remedies, all of which shall be available to SELLER; it may however be used to offset SELLER'S damages. If SELLER elects to proceed under (2), the holder of the Earnest Money shall be entitled to pay the costs incurred by SELLER's Broker on behalf of SELLER and BUYER related to the transaction, including, without limitation, the costs of brokerage fee, title insurance, escrow fees, credit report fees, inspection fees and attorney's fees, with any balance of the Earnest Money to be held pending resolution of the matter. If SELLER defaults, having approved said sale and fails to consummate the same as herein agreed, BUYER's Earnest Money deposit shall be returned to him/her and SELLER shall pay for the costs of title insurance, escrow fees, credit report fees, inspection fees, brokerage fees and attorney's fees, if any. This shall not be considered as a waiver by BUYER of any other lawful right or remedy to which BUYER may be entitled.

29. EARNEST MONEY DISPUTE / INTERPLEADER: Notwithstanding any termination or breach of this Agreement, BUYER and SELLER agree that in the event of any controversy regarding the Earnest Money and things of value held by Broker or closing company, Broker may reasonably rely on the terms of this Agreement or other written documents signed by both parties to determine how to disburse the disputed money. However, Broker or closing company shall not be required to take any action but may await any proceeding, or at Broker's or closing company's option and sole discretion, may interplead all parties and deposit any moneys or things of value into a court of competent jurisdiction and shall recover all costs which were incurred as a result of the dispute including, but not limited to, reasonable attorney's fees. If either parties' Broker incurs attorney's fees as a result of any Earnest Money dispute, whether or not formal legal action is taken, said Broker is entitled to recover actual fees incurred from either BUYER or SELLER.

30. ATTORNEY'S FEES: If either party initiates or defends any arbitration or legal action or proceedings which are in any way connected with this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable costs and attorney's fees, including such costs and fees on appeal.

31. TIME IS OF THE ESSENCE IN THIS AGREEMENT.

32. CLOSING: On or before the closing date, BUYER and SELLER shall deposit with the closing company all funds and instruments necessary to complete this transaction. Closing means the date on which all documents are either recorded or accepted by an escrow agent and the sale proceeds are available to SELLER. The closing shall be no later than (Date) 75 days from acceptance of the Purchase and Sale Agreement.

The parties agree that the CLOSING COMPANY for this transaction shall be TitleOne Title Company located at 1101 West River Street, Boise, Idaho. If a long-term escrow /collection is involved, then the long-term escrow holder shall be NA.

33. POSSESSION: BUYER shall be entitled to possession ☒ upon closing or ☐ date _____ at _____ ☐ am ☐ pm

34. PRORATIONS: Property taxes and water assessments (using the last available assessment as a basis), rents collected, interest and reserves, liens, encumbrances or obligations assumed, and utilities shall be prorated ☒ upon closing or as of ☐ date _____. BUYER to reimburse SELLER for fuel in tank ☐ Yes ☐ No ☒ N/A. Dollar amount may be determined by SELLER's supplier.

35. SECTION 1031 TAX DEFERRED EXCHANGE: If applicable, each party shall cooperate with the other Party in effectuating an exchange under IRS Section 1031; provided however, that the other Party's cooperation shall be conditioned on the following: (a) the exchange shall be at no additional liability and/or cost to the other Party; (b) the exchange shall not delay Settlement or Closing; and (c) the other Party shall not be required to acquire title to any proposed exchange properties to accommodate an exchange. The exchanging party shall indemnify, defend and hold the other Party harmless from and against all claims, demands, costs and expenses which that Party may sustain as a result of the actual or attempted 1031 exchange.

36. REPRESENTATION CONFIRMATION: Check one (1) box in Section 1 and one (1) box in Section 2 below to confirm that in this transaction, the brokerage(s) involved had the following relationship(s) with the BUYER(S) and SELLER(S).

Section 1:
☒ A. The brokerage working with the BUYER(S) is acting as an AGENT for the BUYER(S).
☐ B. The brokerage working with the BUYER(S) is acting as a LIMITED DUAL AGENT for the BUYER(S), without an ASSIGNED AGENT.
☐ C. The brokerage working with the BUYER(S) is acting as a LIMITED DUAL AGENT for the BUYER(S) and has an ASSIGNED AGENT acting solely on behalf of the BUYER(S).
☐ D. The brokerage working with the BUYER(S) is acting as a NONAGENT for the BUYER(S).

Section 2:
☒ A. The brokerage working with the SELLER(S) is acting as an AGENT for the SELLER(S).
☐ B. The brokerage working with the SELLER(S) is acting as a LIMITED DUAL AGENT for the SELLER(S), without an ASSIGNED AGENT.
☐ C. The brokerage working with the SELLER(S) is acting as a LIMITED DUAL AGENT for the SELLER(S) and has an ASSIGNED AGENT acting solely on behalf of the SELLER(S).
☐ D. The brokerage working with the SELLER(S) is acting as a NONAGENT for the SELLER(S).

Each party signing this document confirms that he has received, read and understood the Agency Disclosure Brochure adopted or approved by the Idaho real estate commission and has consented to the relationship confirmed above. In addition, each party confirms that the brokerage's agency office policy was made available for inspection and review. EACH PARTY UNDERSTANDS THAT HE IS A "CUSTOMER" AND IS NOT REPRESENTED BY A BROKERAGE UNLESS THERE IS A SIGNED WRITTEN AGREEMENT FOR AGENCY REPRESENTATION.

37. ASSIGNMENT: This Agreement and any rights or interests created herein ☒ may ☐ may not be sold, transferred, or otherwise assigned.

38. ACCEPTANCE: This offer may be revoked at any time prior to acceptance and is made subject to acceptance on or before (Date) Apr 20, 2020 at (Local Time in which PROPERTY is located) 4:00 ☐ A.M. ☒ P.M.

 BUYER'S Initials ([Signature]) Date April 17, 2020

 SELLER'S Initials ([Signature]) Date 4/17/20

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JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 6 of 7

Serial#: 034032-600168-7142096

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JULY 2019 EDITION

RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 7 of 7

PROPERTY ADDRESS: 1715 West Idaho Street, Boise, ID

ID#: 04142020

39. BUYER'S SIGNATURES:
☐ SEE ATTACHED BUYER'S ADDENDUM(S): _____ (Specify number of BUYER addendum(s) attached.)
☒ SEE ATTACHED BUYER'S EXHIBIT(S): 1 _____ (Specify number of BUYER exhibit(s) attached.)

☐ BUYER does currently hold an active Idaho real estate license. ☐ BUYER is related to agent.

Urban Renewal Agency for the City of Boise, Idaho

BUYER (Print Name) John Brunelle, Executive Director for CCDC

BUYER Signature

 Date April 17, 2020 Time 12:45 ☐ A.M. ☒ P.M.

Phone # (208)384-4264 Cell #

Address 121 N. 9th Street, Suite 501

E-Mail jbrunelle@ccdcboise.com

City Boise State ID Zip 83702

Fax #

☐ BUYER does currently hold an active Idaho real estate license. ☐ BUYER is related to agent.

BUYER Signature

BUYER (Print Name)

 Date Time ☐ A.M. ☐ P.M.

Phone # Cell #

Address

E-Mail

City State Zip

Fax #

40. SELLER'S SIGNATURES: On this date, I/We hereby approve and accept the transaction set forth in the above Agreement and agree to carry out all the terms thereof on the part of the SELLER.

☐ SIGNATURE(S) SUBJECT TO ATTACHED COUNTER OFFER

☐ SIGNATURE(S) SUBJECT TO ATTACHED ADDENDUM(S) #

☐ SIGNATURE(S) SUBJECT TO ATTACHED EXHIBIT(S) #

☒ SELLER does currently hold an active Idaho real estate license. ☐ SELLER is related to agent.

SELLER Signature

SELLER (Print Name) Brian Tibbs

 Date 4/17/20 Time 7 ☐ A.M. ☒ P.M.

Phone # Cell # 208-286-4555

Address 500 Westover Dr. #10431

E-Mail BrianLeeTibbs@gmail.com

City Sanford State ND Zip 27330

Fax #

☐ SELLER does currently hold an active Idaho real estate license. ☐ SELLER is related to agent.

SELLER Signature

SELLER (Print Name)

 Date Time ☐ A.M. ☐ P.M.

Phone # Cell #

Address

E-Mail

City State Zip

Fax #

LATE ACCEPTANCE

If acceptance of this offer is received after the time specified, it shall not be binding on the BUYER unless BUYER approves of said acceptance within _____ calendar days (three [3] if left blank) by BUYER initialing HERE (_____) (_____) Date _____. If BUYER timely approves of SELLER's late acceptance, an initialed copy of this page shall be immediately delivered to SELLER.

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RE-24 VACANT LAND PURCHASE AND SALE AGREEMENT

Page 7 of 7



Serial# 034032-600158-7142056

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Exhibit A – Legal Description

Lots 8 and 9 in Block 11 and the Westerly 45 feet of Lot 10 in Block 11 of McCarty's Second Subdivision, according to the official plat thereof, filed in Book 2 of Plats at Page(s) 85, official records of Ada County, Idaho.

Buyer Initials: Seller Initials: 

Opening Up Idaho Guidelines



GUIDELINES FOR OPENING UP IDAHO

Governor Brad Little, with the help of the Department of Health and Welfare and guidance issued by President Donald Trump and the Centers for Disease Control and Prevention, has established a data-driven approach to opening up Idaho's economy. This approach reduces the risk of COVID-19 to Idaho's most vulnerable population and preserves capacity in our healthcare system, while opening up businesses safely. From an economic standpoint, Idaho's rebound from COVID-19 starts with employee and consumer confidence, which leads into business stability and growth and eventually promotion and attraction.

[REBOUND.IDAHO.GOV](https://rebound.idaho.gov)

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 2

MEETING IDAHO CRITERIA MEANS ADVANCING TO A STAGED APPROACH

All criteria below must be met before Idaho advances to the next stage of reopening. The Idaho Division of Public Health and the Governor's Coronavirus Working Group will review the criteria every two weeks to assess if criteria are met, or continue to be met, so Idaho can move to the next stage. **To advance to the next stage, all criteria must be met. If the criteria indicates trends are beginning to move the wrong direction, or there is evidence that a stage has adversely impacted rates, stages may have to be extended or reversed.** Dates shown in the document are estimated timelines only.

IDAHO CRITERIA

SYNDROMIC

Downward trend or low numbers of COVID-19-like illness patient visits as tracked by Emergency Departments within a 14-day period

MEASURED BY: NSSP (Idaho's syndromic tracking system). Displayed on website as "Number of Emergency Department Visits for COVID-Like Illness."

METRIC: Downward trend over most recent reported 14-day period, OR less than 20 visits/day on average over same 14-day period

AND

Downward trend or very low numbers of patients with COVID-19-like illness admitted from Emergency Departments within a 14-day period

MEASURED BY: NSSP (Idaho's syndromic tracking system). Displayed on website as "Number of emergency Department Patients with COVID-like Illness Symptoms Admitted to the Hospital."

METRIC: Downward trend over most recent reported 14-day period, OR less than 2 patients/day on average over same 14-day period

EPIDEMIOLOGIC

Downward trend or low levels of documented COVID-19 cases reported within a 14-day period

MEASURED BY: NBS (Idaho's integrated disease reporting system). Displayed on the website as "COVID-19 by Date Reported."

METRIC: Downward trend over most recent reported 14-day period, OR less than 20 patients per day on average reported statewide over the same 14-day period

OR

Downward trend of positive COVID-19 PCR tests as a percent of total tests within a 14-day period (including flat or increasing volume of tests)

MEASURED BY: NBS (Idaho's integrated disease reporting system). Will be displayed on the website

METRIC: Downward trend over most recent reported 14-day period, OR less than 5 percent laboratory PCR positivity on average over same 14-day period

HEALTHCARE

Treat all patients without needing to use crisis standards of care

MEASURED BY: Governor's Order for Crisis Standards of Care in place; reports from hospitals

AND

Available ventilators, intensive care unit beds, and personal protective equipment (PPE) to safely care for additional COVID-19 patients in hospitals

MEASURED BY: Idaho Resource Tracking System (IRTS) (through the Division of Public Health) and displayed on the website

METRIC: At least 50 available (unused) ventilators, 50 ICU beds, and available 10-day supply of N95 masks, surgical masks, face shields, gowns, and gloves

AND

Robust COVID-19 testing program in place for at-risk healthcare workers

MEASURED BY: NBS (Idaho's integrated disease reporting system). Numbers of reported cases among healthcare workers; will be displayed on the website

METRIC: Downward trend over most recent reported 14-day period, OR less than 2 healthcare workers reported/day on average over same 14-day period



STRATEGIES, RESPONSIBILITIES, AND CAPABILITIES NEEDED

The State of Idaho must remain focused on achieving the following core preparedness responsibilities.

TESTING AND CONTACT TRACING:

- Ability to quickly set up safe and efficient screening and testing sites for symptomatic individuals, including those with mild symptoms
- Contact tracing in place for all COVID-19 positive results
- Screening and testing locations in all regions of the state in place that serve older individuals, rural and lower income populations, and racial and ethnic minorities, such as Native Americans and Hispanics

PLANS AND STRATEGIES:

- State and local preparedness plans are in place including surge plans
- Crisis Standards of Care Plan established
- Long-Term Care Task Force operational to support long-term care facilities
- Testing strategy developed
- Contact tracing strategy developed

HEALTHCARE SYSTEM CAPACITY:

- Ability to quickly supply sufficient PPE, medications, and critical medical equipment to handle dramatic surge if needed
- Ability to quickly test symptomatic healthcare workers
- Ability to surge intensive care unit capacity

STAGED OPENING (AFTER IDAHO CRITERIA IS MET)

Until we have targeted, case-based interventions for each infectious person, an effective vaccine, or effective treatment, we must maintain some level of community interventions to slow the spread of COVID-19. This includes heightened protections for the health and safety of workers in critical industries, people living and working in high-risk facilities (e.g. senior care facilities), and all other employees.

All Idahoans have a responsibility to protect themselves and others. Each stage, while allowing for additional businesses and practices to open and loosen, is grounded in the following basic practices for individuals and businesses:

PROTOCOLS

ALL STAGES – INDIVIDUALS SHOULD CONTINUE TO:

- Engage in physical distancing of at least six feet
- Wear face coverings in public places
- Stay home if sick
- Practice good hand hygiene
- Cover coughs and sneezes
- Disinfect surfaces and objects regularly

ADDITIONAL PROTOCOLS WILL BE PROVIDED FOR EACH STAGE.

ALL STAGES – EMPLOYERS SHOULD CONTINUE TO:

- Maintain the six-foot physical distancing requirements for employees and patrons
- Provide adequate sanitation and personal hygiene for employees, vendors, and patrons
- Ensure frequent disinfection of the business as well as regular cleaning, especially of high-touch surfaces
- Identify how personal use items such as masks, face coverings, and gloves may be required by employees, vendors, and/or patrons
- Provide services while limiting close interactions with patrons
- Identify strategies for addressing ill employees, which should include requiring COVID-19 positive employees to stay at home while infectious, and may include keeping employees who were directly exposed to the COVID-19 positive employee away from the workplace, and the closure of the business until the location can be properly disinfected
- On a case-by-case basis, include other practices appropriate for specific types of businesses such as screening of employees for illness and exposures upon work entry, requiring non-cash transactions, etc.

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 5



CURRENT STAGE

existing Order through April 30

INDIVIDUAL

- **All Idahoans, including vulnerable Idahoans,** continue to self-quarantine, except for certain essential activities and work to provide essential business and government services or perform essential public infrastructure
- **Gatherings** of individuals outside the home are prohibited
- Prohibit non-essential **travel** and adhere to [CDC guidelines](#) regarding isolation following essential travel
- Unless on essential business, people entering Idaho are required to **self-quarantine for 14 days**. If a person is in Idaho for less than 14 days, they must self-quarantine for the duration of their visit

EMPLOYER

See "Specific Types of Employers" in the right column for places of worship, restaurants, bars, gyms, daycares, senior living facilities, and salons

- Continue to encourage **telework**, whenever possible and feasible with business operations
- **Employees** who are considered vulnerable individuals should continue to self-quarantine. Special accommodations for these employees should be made in the workplace if they are unable to work from home
- **Non-essential businesses**, other than those excluded in the amended order, develop plans for reopening and ability to meet business protocols
- Non-essential **travel** prohibited

SPECIFIC TYPES OF EMPLOYERS

- Visits to **senior living facilities and congregate facilities (e.g. jails and corrections)** are prohibited and those employees and providers who do interact with residents and patients must adhere to strict protocols regarding hygiene and infection prevention
- **Bars and nightclubs** are closed
- **Restaurants** continue with takeout and delivery.
- **Places of worship** develop plans for reopening and ability to meet protocols
- **Indoor gyms** and recreation facilities are closed
- **Hair salons** are closed
- **Large venues** (e.g. movie theaters and sporting venues) are closed
- **Daycare**, if closed, develop plans for reopening to meet business protocols and work with local public health districts and DHW

Every two weeks: re-evaluation against criteria to determine feasibility to advance from one stage to the next.
***ALL CRITERIA MUST BE MET TO MOVE TO THE NEXT STAGE AND DATES ARE ESTIMATED TARGETS

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 6



STAGE 1

After all criteria are met
May 1 – May 15***

INDIVIDUAL

- **All vulnerable Idahoans** should continue to self-quarantine. Members of households with vulnerable residents should be aware that by returning to work or other environments where distancing is not always possible, they could carry the virus back home. Precautions should be taken to isolate from vulnerable residents
- **Gatherings**, both public and private, should be avoided
- Minimize non-essential **travel** and adhere to [CDC guidelines](#) regarding isolation following travel
- Continue the **14-day self-quarantine** for people entering Idaho to prevent influx of out-of-state visitors

EMPLOYER

See “Specific Types of Employers” in the right column for places of worship, restaurants, bars, gyms, daycares, senior living facilities, and salons

- Continue to encourage **telework**, whenever possible and feasible with business operations
- Return employees to work in phases, if physical distancing, personal protections and sanitation are feasible
- **Employees** who are considered vulnerable individuals should continue to self-quarantine. Special accommodations for these employees should be made in the workplace if they are unable to work from home
- **Non-essential businesses**, other than those excluded in the amended order implement plans for reopening demonstrating ability to meet business protocols
- Minimize non-essential **travel** and adhere to [CDC guidelines](#) regarding isolation following travel

SPECIFIC TYPES OF EMPLOYERS

- Visits to **senior living facilities and congregate facilities (e.g. jails and corrections)** are prohibited and those employees and providers who do interact with residents and patients must adhere to strict protocols regarding hygiene and infection prevention
- **Bars and nightclubs** remain closed
- **Restaurants** dining rooms remain closed, develop plans for reopening and ability to meet business protocols in order to open in stage 2
- **Places of worship** can open if they adhere to strict physical distancing, sanitation protocol, and any CDC guidance
- **Indoor gyms** and recreation facilities remain closed, develop plans for reopening and ability to meet business protocols in order to open in stage 2
- **Hair salons** remain closed, develop plans for reopening and ability to meet business protocols in order to open in stage 2
- **Large venues** (e.g. movie theaters and sporting venues) are closed
- **Daycares** and organized youth activities and camps can reopen

Every two weeks: re-evaluation against criteria to determine feasibility to advance from one stage to the next.
***ALL CRITERIA MUST BE MET TO MOVE TO THE NEXT STAGE AND DATES ARE ESTIMATED TARGETS

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 7

**IDAHO
REBOUNDS**

STAGE 2

If no significant increase in cases and criteria remain met
May 16 – May 29***

INDIVIDUAL

- **All vulnerable Idahoans** should continue to self-quarantine. Members of households with vulnerable residents should be aware that by returning to work or other environments where distancing is not always possible, they could carry the virus back home. Precautions should be taken to isolate from vulnerable residents
- **Gatherings**, both public and private, of less than 10 people, where appropriate physical distancing and precautionary measures are observed can occur.
- Minimize non-essential **travel** and adhere to [CDC guidelines](#) regarding isolation following travel
- Continue the **14-day self-quarantine** for people entering Idaho to prevent influx of out-of-state visitors

EMPLOYER

See "Specific Types of Employers" in the right column for places of worship, restaurants, bars, gyms, daycares, senior living facilities, and salons

- Continue to encourage **telework**, whenever possible and feasible with business operations
- Return employees to work in phases, if physical distancing, personal protections and sanitation are feasible
- **Employees** who are considered vulnerable individuals should continue to self-quarantine. Special accommodations for these employees should be made in the workplace if they are unable to work from home
- All open **businesses** continue to follow plans.
- Minimize non-essential **travel** and adhere to [CDC guidelines](#) regarding isolation following travel

SPECIFIC TYPES OF EMPLOYERS

- Visits to **senior living facilities and congregate facilities (e.g. jails and corrections)** are prohibited and those employees and providers who do interact with residents and patients must adhere to strict protocols regarding hygiene and infection prevention
- **Bars and nightclubs** remain closed
- **Restaurant dining rooms** can open once their plans have been submitted for approval by local public health districts
- **Indoor gyms** and recreation facilities can open if ability to meet business protocols
- **Hair salons** can open if ability to meet business protocols
- **Large venues** (e.g. movie theaters and sporting venues) are closed

Every two weeks: re-evaluation against criteria to determine feasibility to advance from one stage to the next.
***ALL CRITERIA MUST BE MET TO MOVE TO THE NEXT STAGE AND DATES ARE ESTIMATED TARGETS

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 8



STAGE 3

If no significant increase in cases and criteria remain met
May 30 – June 12th***

INDIVIDUAL

- **Vulnerable Idahoans** can resume public interactions, but should practice physical distancing, minimizing exposure to social settings where distancing may not be practical, unless precautionary measures are observed
- **Gatherings**, both public and private, of 10-50 people, where appropriate physical distancing and precautionary measures are observed can occur
- Non-essential **travel** can resume to locations that allow it and do not have ongoing transmission (adhere to [CDC guidelines](#) regarding isolation following travel)
- Discontinue the **14-day self-quarantine** for people entering Idaho

SPECIFIC TYPES OF EMPLOYERS

- Visits to **senior living facilities and congregate facilities (e.g. jails and corrections)** are prohibited and those employees and providers who do interact with residents and patients must adhere to strict protocols regarding hygiene and infection prevention
- **Bars and nightclubs** remain closed, develop plans for operating with diminished standing room occupancy in order to open in stage 4
- **Large venues** (e.g. movie theaters and sporting venues) remain closed, develop plans for operating with limited physical distancing protocols in order to open in stage 4

EMPLOYER

See "Specific Types of Employers" in the right column for places of worship, restaurants, bars, gyms, daycares, senior living facilities, and salons

- Continue to encourage **telework**, whenever possible and feasible with business operations
- Return employees to work in phases, if physical distancing, personal protections and sanitation are feasible
- **Employees** who are considered vulnerable individuals should continue to self-quarantine. Special accommodations for these employees should be made in the workplace if they are unable to work from home
- All open **businesses** continue to follow plans
- Non-essential **travel** can resume to locations that allow it and do not have ongoing transmission (adhere to [CDC guidelines](#) regarding isolation following travel)

Every two weeks: re-evaluation against criteria to determine feasibility to advance from one stage to the next.
***ALL CRITERIA MUST BE MET TO MOVE TO THE NEXT STAGE AND DATES ARE ESTIMATED TARGETS

GUIDELINES FOR OPENING UP IDAHO

APRIL 23, 2020 | 9



STAGE 4

If no significant increase in cases and criteria remain met
June 13 – June 26***

INDIVIDUAL

- **Vulnerable Idahoans** can resume public interactions, but should practice physical distancing, minimizing exposure to social settings where distancing may not be practical, unless precautionary measures are observed
- **Gatherings**, both public and private, of more than 50 people, where appropriate physical distancing and precautionary measures are observed can occur
- Non-essential **travel** continues to locations that allow it and do not have ongoing transmission (adhere to [CDC guidelines](#) regarding isolation following travel)

SPECIFIC TYPES OF EMPLOYERS

- Visits to **senior living facilities and congregate facilities (e.g. jails and corrections)** can resume. Those who interact with residents and patients must be diligent regarding hygiene and physical distancing
- **Bars and nightclubs** may operate with diminished standing-room occupancy, where applicable and appropriate
- **Large venues** (e.g. movie theaters and sporting venues) can operate under limited physical distancing protocols

EMPLOYER

See "Specific Types of Employers" in the right column for places of worship, restaurants, bars, gyms, daycares, senior living facilities, and salons

- Resume unrestricted staffing of worksites, but continue to practice physical distancing, personal protections and sanitation for protection of workers
- Special accommodations for **employees** who are considered vulnerable should be made in the workplace
- All open **businesses** continue to follow plans
- Non-essential **travel** continues to locations that allow it and do not have ongoing transmission (adhere to [CDC guidelines](#) regarding isolation following travel)

Every two weeks: re-evaluation against criteria to determine feasibility to advance from one stage to the next.
***ALL CRITERIA MUST BE MET TO MOVE TO THE NEXT STAGE AND DATES ARE ESTIMATED TARGETS

Glossary

Definitions are taken from The Dictionary of Real Estate Appraisal, 6th Edition (Dictionary), the Uniform Standards of Professional Appraisal Practice (USPAP), and Building Owners and Managers Association International (BOMA).

Absolute Net Lease

A lease in which the tenant pays all expenses including structural maintenance, building reserves, and management; often a long-term lease to a credit tenant. (Dictionary)

Amortization

The process of retiring a debt or recovering a capital investment, typically through scheduled, systematic repayment of the principal; a program of periodic contributions to a sinking fund or debt retirement fund. (Dictionary)

As Is Market Value

The estimate of the market value of real property in its current physical condition, use, and zoning as of the appraisal date. (Dictionary)

Base Rent

The minimum rent stipulated in a lease. (Dictionary)

Base Year

The year on which escalation clauses in a lease are based. (Dictionary)

Building Common Area

In office buildings, the areas of the building that provide services to building tenants but which are not included in the office area or store area of any specific tenant. These areas may include, but shall not be limited to, main and auxiliary lobbies, atrium spaces at the level of the finished floor, concierge areas or security desks, conference rooms, lounges or vending areas, food service facilities, health or fitness centers, daycare facilities, locker or shower facilities, mail rooms, fire control rooms, fully enclosed courtyards outside the exterior walls, and building core and service areas such as fully enclosed mechanical or equipment rooms. Specifically excluded from building common area are floor common areas, parking space, portions of loading docks outside the building line, and major vertical penetrations. (BOMA)

Building Rentable Area

The sum of all floor rentable areas. Floor rentable area is the result of subtracting from the gross measured area of a floor the major vertical penetrations on that same floor. It is generally fixed for the life of the building and is rarely affected by changes in corridor size or configuration. (BOMA)

Certificate of Occupancy (COO)

A formal written acknowledgment by an appropriate unit of local government that a new construction or

renovation project is at the stage where it meets applicable health and safety codes and is ready for commercial or residential occupancy. (Dictionary)

Common Area Maintenance (CAM)

The expense of operating and maintaining common areas; may or may not include management charges and usually does not include capital expenditures on tenant improvements or other improvements to the property. (Dictionary)

The amount of money charged to tenants for their shares of maintaining a [shopping] center's common area. The charge that a tenant pays for shared services and facilities such as electricity, security, and maintenance of parking lots. Items charged to common area maintenance may include cleaning services, parking lot sweeping and maintenance, snow removal, security and upkeep. (ICSC – International Council of Shopping Centers, 4th Ed.)

Condominium

A multiunit structure, or a unit within such a structure, with a condominium form of ownership. (Dictionary)

Conservation Easement

An interest in real estate restricting future land use to preservation, conservation, wildlife habitat, or some combination of those uses. A conservation easement may permit farming, timber harvesting, or other uses of a rural nature as well as some types of conservation-oriented development to continue, subject to the easement. (Dictionary)

Contributory Value

A type of value that reflects the amount a property or component of a property contributes to the value of another asset or to the property as a whole.

The change in the value of a property as a whole, whether positive or negative, resulting from the addition or deletion of a property component. Also called deprival value in some countries. (Dictionary)

Debt Coverage Ratio (DCR)

The ratio of net operating income to annual debt service ($DCR = NOI/Im$), which measures the relative ability of a property to meet its debt service out of net operating income; also called *debt service coverage ratio (DSCR)*. A larger *DCR* typically indicates a greater ability for a property to withstand a reduction of income, providing an improved safety margin for a lender. (Dictionary)

Deed Restriction

A provision written into a deed that limits the use of land. Deed restrictions usually remain in effect when title passes to subsequent owners. (Dictionary)

Depreciation

- 1) In appraisal, a loss in property value from any cause; the difference between the cost of an improvement on the effective date of the appraisal and the market value of the improvement on the same date.
- 2) In accounting, an allocation of the original cost of an asset, amortizing the cost over the asset's life; calculated using a variety of standard techniques. (Dictionary)

Disposition Value

The most probable price that a specified interest in property should bring under the following conditions:

- Consummation of a sale within a specified time, which is shorter than the typical exposure time for such a property in that market.
- The property is subjected to market conditions prevailing as of the date of valuation;
- Both the buyer and seller are acting prudently and knowledgeably;
- The seller is under compulsion to sell;
- The buyer is typically motivated;
- Both parties are acting in what they consider to be their best interests;
- An adequate marketing effort will be made during the exposure time;
- Payment will be made in cash in U.S. dollars (or the local currency) or in terms of financial arrangements comparable thereto; and
- The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (Dictionary)

Easement

The right to use another's land for a stated purpose. (Dictionary)

EIFS

Exterior Insulation Finishing System. This is a type of exterior wall cladding system. Sometimes referred to as dry-vit.

Effective Date

- 1) The date on which the appraisal or review opinion applies. (SVP)
- 2) In a lease document, the date upon which the lease goes into effect. (Dictionary)

Effective Gross Income (EGI)

The anticipated income from all operations of the real estate after an allowance is made for vacancy and collection losses and an addition is made for any other income. (Dictionary)

Effective Rent

Total base rent, or minimum rent stipulated in a lease, over the specified lease term minus rent concessions; the rent that is effectively paid by a tenant net of financial concessions provided by a landlord. (TIs). (Dictionary)

EPDM

Ethylene Propylene Diene Monomer Rubber. A type of synthetic rubber typically used for roof coverings. (Dictionary)

Escalation Clause

A clause in an agreement that provides for the adjustment of a price or rent based on some event or index. e.g., a provision to increase rent if operating expenses increase; also called *escalator clause*, *expense recovery clause* or *stop clause*. (Dictionary)

Estoppel Certificate

A signed statement by a party (such as a tenant or a mortgagee) certifying, for another's benefit, that certain facts are correct, such as that a lease exists, that there are no defaults, and that rent is paid to a certain date. (Black's) In real estate, a buyer of rental property typically requests estoppel certificates from existing tenants. Sometimes referred to as an *estoppel letter*. (Dictionary)

Excess Land

Land that is not needed to serve or support the existing use. The highest and best use of the excess land may or may not be the same as the highest and best use of the improved parcel. Excess land has the potential to be sold separately and is valued separately. (Dictionary)

Excess Rent

The amount by which contract rent exceeds market rent at the time of the appraisal; created by a lease favorable to the landlord (lessor) and may reflect unusual management, unknowledgeable or unusually motivated parties, a lease execution in an earlier, stronger rental market, or an agreement of the parties. (Dictionary)

Expense Stop

A clause in a lease that limits the landlord's expense obligation, which results in the lessee paying operating expenses above a stated level or amount. (Dictionary)

Exposure Time

- 1) The time a property remains on the market.
- 2) The estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal; Comment: Exposure time is a retrospective opinion based on an analysis of past events assuming a competitive and open market. (Dictionary)

Extraordinary Assumption

An assumption, directly related to a specific assignment, as of the effective date of the assignment results, which, if found to be false, could alter the appraiser's opinions or conclusions. Comment: Extraordinary assumptions presume as fact otherwise uncertain information about physical, legal, or economic characteristics of the subject property; or about conditions external to the property such as market conditions or trends; or about the integrity of data used in an analysis. (USPAP, 2016-2017 ed.)

Fee Simple Estate

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat. (Dictionary)

Floor Common Area

In an office building, the areas on a floor such as washrooms, janitorial closets, electrical rooms, telephone rooms, mechanical rooms, elevator lobbies, and public corridors which are available primarily for the use of tenants on that floor. (BOMA)

Full Service (Gross) Lease

A lease in which the landlord receives stipulated rent and is obligated to pay all of the property's operating and fixed expenses; also called a *full service lease*. (Dictionary)

Furniture, Fixtures, and Equipment (FF&E)

Business trade fixtures and personal property, exclusive of inventory. (Dictionary)

Going-Concern Value

An outdated label for the market value of all the tangible and intangible assets of an established and operating business with an indefinite life, as if sold in aggregate; more accurately termed the *market value of the going concern* or *market value of the total assets of the business*. (Dictionary)

Gross Building Area (GBA)

- 1) Total floor area of a building, excluding unenclosed areas, measured from the exterior of the walls of the above-grade area. This includes mezzanines and

basements if and when typically included in the market area of the type of property involved.

- 2) Gross leasable area plus all common areas.
- 3) For residential space, the total area of all floor levels measured from the exterior of the walls and including the superstructure and substructure basement; typically does not include garage space. (Dictionary)

Gross Measured Area

The total area of a building enclosed by the dominant portion (the portion of the inside finished surface of the permanent outer building wall which is 50 percent or more of the vertical floor-to-ceiling dimension, at the given point being measured as one moves horizontally along the wall), excluding parking areas and loading docks (or portions of same) outside the building line. It is generally not used for leasing purposes and is calculated on a floor by floor basis. (BOMA)

Gross Up Method

A method of calculating variable operating expenses in income-producing properties when less than 100% occupancy is assumed. Expenses reimbursed based on the amount of occupied space, rather than on the total building area, are described as "grossed up." (Dictionary)

Gross Retail Sellout

The sum of the separate and distinct market value opinions for each of the units in a condominium, subdivision development, or portfolio of properties, as of the date of valuation. The aggregate of retail values does not represent the value of all the units as though sold together in a single transaction; it is simply the total of the individual market value conclusions. Also called the *aggregate of the retail values*, *aggregate retail selling price* or *sum of the retail values*. (Dictionary)

Ground Lease

A lease that grants the right to use and occupy land. Improvements made by the ground lessee typically revert to the ground lessor at the end of the lease term. (Dictionary)

Ground Rent

The rent paid for the right to use and occupy land according to the terms of a ground lease; the portion of the total rent allocated to the underlying land. (Dictionary)

HVAC

Heating, ventilation, air conditioning (HVAC) system. A unit that regulates the temperature and distribution of heat and fresh air throughout a building. (Dictionary)

Highest and Best Use

- 1) The reasonably probable use of property that results in the highest value. The four criteria that the highest

and best use must meet are legal permissibility, physical possibility, financial feasibility, and maximum productivity.

- 2) The use of an asset that maximizes its potential and that is possible, legally permissible, and financially feasible. The highest and best use may be for continuation of an asset's existing use or for some alternative use. This is determined by the use that a market participant would have in mind for the asset when formulating the price that it would be willing to bid. (IVS)
- 3) [The] highest and most profitable use for which the property is adaptable and needed or likely to be needed in the reasonably near future. (Uniform Appraisal Standards for Federal Land Acquisitions) (Dictionary)

Hypothetical Condition

- 1) A condition that is presumed to be true when it is known to be false. (SVP – Standards of Valuation Practice, effective January 1, 2015)
- 2) A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results, but is used for the purpose of analysis. Comment: Hypothetical conditions are contrary to known facts about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis. (USPAP, 2016-2017 ed.) (Dictionary)

Industrial Gross Lease

A type of modified gross lease of an industrial property in which the landlord and tenant share expenses. The landlord receives stipulated rent and is obligated to pay certain operating expenses, often structural maintenance, insurance and real property taxes, as specified in the lease. There are significant regional and local differences in the use of this term. (Dictionary)

Insurable Value

A type of value for insurance purposes. (Typically this includes replacement cost less basement excavation, foundation, underground piping and architect's fees). (Dictionary)

Investment Value

The value of a property to a particular investor or class of investors based on the investor's specific requirements. Investment value may be different from market value because it depends on a set of investment criteria that are not necessarily typical of the market. (Dictionary)

Just Compensation

In condemnation, the amount of loss for which a property owner is compensated when his or her property is taken. Just compensation should put the owner in as good a position pecuniarily as he or she would have been if the property had not been taken. (Dictionary)

Leased Fee Interest

The ownership interest held by the lessor, which includes the right to receive the contract rent specified in the lease plus the reversionary right when the lease expires. (Dictionary)

Leasehold Interest

The right held by the lessee to use and occupy real estate for a stated term and under the conditions specified in the lease. (Dictionary)

Lessee (Tenant)

One who has the right to occupancy and use of the property of another for a period of time according to a lease agreement. (Dictionary)

Lessor (Landlord)

One who conveys the rights of occupancy and use to others under a lease agreement. (Dictionary)

Liquidation Value

The most probable price that a specified interest in property should bring under the following conditions:

- Consummation of a sale within a short time period.
- The property is subjected to market conditions prevailing as of the date of valuation.
- Both the buyer and seller are acting prudently and knowledgeably.
- The seller is under extreme compulsion to sell.
- The buyer is typically motivated.
- Both parties are acting in what they consider to be their best interests.
- A normal marketing effort is not possible due to the brief exposure time.
- Payment will be made in cash in U.S. dollars (or the local currency) or in terms of financial arrangements comparable thereto.
- The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (Dictionary)

Loan to Value Ratio (LTV)

The ratio between a mortgage loan and the value of the property pledged as security, usually expressed as a percentage. (Dictionary)

Major Vertical Penetrations

Stairs, elevator shafts, flues, pipe shafts, vertical ducts, and the like, and their enclosing walls. Atria, lightwells and

similar penetrations above the finished floor are included in this definition. Not included, however, are vertical penetrations built for the private use of a tenant occupying office areas on more than one floor. Structural columns, openings for vertical electric cable or telephone distribution, and openings for plumbing lines are not considered to be major vertical penetrations. (BOMA)

Market Rent

The most probable rent that a property should bring in a competitive and open market reflecting the conditions and restrictions of a specified lease agreement, including the rental adjustment and revaluation, permitted uses, use restrictions, expense obligations; term, concessions, renewal and purchase options and tenant improvements (TIs). (Dictionary)

Market Value

The most probable price that a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- Buyer and seller are typically motivated;
- Both parties are well informed or well advised, and acting in what they consider their own best interests;
- A reasonable time is allowed for exposure in the open market;
- Payment is made in terms of cash in United States dollars or in terms of financial arrangements comparable thereto; and
- The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

(Dictionary)

Marketing Time

An opinion of the amount of time it might take to sell a real or personal property interest at the concluded market value level during the period immediately after the effective date of an appraisal. Marketing time differs from exposure time, which is always presumed to precede the effective date of an appraisal. (Advisory Opinion 7 of the Appraisal Standards Board of the Appraisal Foundation and Statement on Appraisal Standards No. 6, "Reasonable Exposure Time in Real Property and Personal Property Market Value Opinions" address the determination of reasonable exposure and marketing time.) (Dictionary)

Master Lease

A lease in which the fee owner leases a part or the entire property to a single entity (the master lease) in return for

a stipulated rent. The master lessee then leases the property to multiple tenants. (Dictionary)

Modified Gross Lease

A lease in which the landlord receives stipulated rent and is obligated to pay some, but not all, of the property's operating and fixed expenses. Since assignment of expenses varies among modified gross leases, expense responsibility must always be specified. In some markets, a modified gross lease may be called a *double net lease*, *net net lease*, *partial net lease*, or *semi-gross lease*. (Dictionary)

Operating Expense Ratio

The ratio of total operating expenses to effective gross income (TOE/EGI); the complement of the net income ratio, i.e., $OER = 1 - NIR$ (Dictionary)

Option

A legal contract, typically purchased for a stated consideration, that permits but does not require the holder of the option (known as the *optionee*) to buy, sell, or lease real estate for a stipulated period of time in accordance with specified terms; a unilateral right to exercise a privilege. (Dictionary)

Partial Interest

Divided or undivided rights in real estate that represent less than the whole, i.e., a fractional interest such as a tenancy in common, easement, or life interest. (Dictionary)

Pass Through

A tenant's portion of operating expenses that may be composed of common area maintenance (CAM), real property taxes, property insurance, and any other expenses determined in the lease agreement to be paid by the tenant. (Dictionary)

Potential Gross Income (PGI)

The total income attributable to property at full occupancy before vacancy and operating expenses are deducted. (Dictionary)

Prospective Future Value Upon Completion

A prospective market value may be appropriate for the valuation of a property interest related to a credit decision for a proposed development or renovation project. According to USPAP, an appraisal with a prospective market value reflects an effective date that is subsequent to the date of the appraisal report. ... The prospective market value –as completed- reflects the property's market value as of the time that development is expected to be complete. (Dictionary)

Prospective Future Value Upon Stabilization

A prospective market value may be appropriate for the valuation of a property interest related to a credit decision for a proposed development or renovation project. According to USPAP, an appraisal with a prospective market value reflects an effective date that is subsequent to the date of the appraisal report ...The prospective market value – as stabilized – reflects the property's market value as of the time the property is projected to achieve stabilized occupancy. For an income-producing property, stabilized occupancy is the occupancy level that a property is expected to achieve after the property is exposed to the market for lease over a reasonable period of time and at comparable terms and conditions to other similar properties. (Dictionary)

Replacement Cost

The estimated cost to construct, at current prices as of a specific date, a substitute for a building or other improvements, using modern materials and current standards, design, and layout. (Dictionary)

Reproduction Cost

The estimated cost to construct, at current prices as of the effective date of the appraisal, an exact duplicate or replica of the building being appraised, using the same materials, construction standards, design, layout, and quality of workmanship and embodying all of the deficiencies, superadequacies, and obsolescence of the subject building. (Dictionary)

Retrospective Value Opinion

A value opinion effective as of a specified historical date. The term *retrospective* does not define a type of value. Instead, it identifies a value opinion as being effective at some specific prior date. Value as of a historical date is frequently sought in connection with property tax appeals, damage models, lease renegotiation, deficiency judgments, estate tax, and condemnation. Inclusion of

the type of value with this term is appropriate, e.g., "retrospective market value opinion." (Dictionary)

Sandwich Leasehold Estate

The interest held by the sandwich leaseholder when the property is subleased to another party; a type of leasehold estate. (Dictionary)

Sublease

An agreement in which the lessee in a prior lease conveys the right of use and occupancy of a property to another, the sublessee, for a specific period of time, which may or may not be coterminous with the underlying lease term. (Dictionary)

Subordination

A contractual arrangement in which a party with a claim to certain assets agrees to make his or her claim junior, or subordinate, to the claims of another party. (Dictionary)

Surplus Land

Land that is not currently needed to support the existing use but cannot be separated from the property and sold off for another use. Surplus land does not have an independent highest and best use and may or may not contribute value to the improved parcel. (Dictionary)

Triple Net (Net Net Net) Lease

An alternative term for a type of net lease. In some markets, a net net net lease is defined as a lease in which the tenant assumes all expenses (fixed and variable) of operating a property except that the landlord is responsible for structural maintenance, building reserves, and management; also called *NNN lease*, *net net net lease*, or *fully net lease*. (Dictionary)

(The market definition of a triple net lease varies; in some cases tenants pay for items such as roof repairs, parking lot repairs, and other similar items.)

Usable Area

The measured area of an office area, store area, or building common area on a floor. The total of all the usable areas for a floor shall equal floor usable area of that same floor. (BOMA)

Value-in-Use

The value of a property assuming a specific use, which may or may not be the property's highest and best use on the effective date of the appraisal. Value in use may or may not be equal to market value but is different conceptually. (Dictionary)

Qualifications

Qualifications of Jeff R. Vance, MAI
Senior Appraiser
Valbridge Property Advisors | Mountain States

Independent Valuations for a Variable World

State Certifications

State of Idaho, CGA-2828

Education

Bachelor of Science
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Division of Occupational and Professional Licenses
Department of Self Governing Agencies
The person named has met the requirements for licensure and is entitled
under the laws and rules of the State of Idaho to operate as a(n)

CERTIFIED GENERAL APPRAISER

JEFFREY ROBERT VANCE
1459 TYRELL LANE SUITE B
BOISE ID 83706

Kelley Packer
Kelley Packer
Division Admin

CGA-2828
Number

04/18/2021
Expires

Membership/Affiliations:

Member: Appraisal Institute - MAI Designation

Appraisal Institute & Related Courses:

Year - Course

2006 to Present- USPAP; including updates every 2 years
2006- Appraisal Principles
2007- Real Estate Financing, Statistics, & Valuation Modeling
2007- General Appraiser Income Approach Part 1
2008- General Market Analysis & Highest and Best Use
2008- General Sales Comparison Approach
2008- General Site Valuation & Cost Approach
2008- General Report Writing & Case Studies
2009- General Appraiser Income Approach Part 2
2009- 2014- Business Practices & Ethics
2010- Foreclosure, Short Sale, Auction Price Seminar
2010- Subdivision Valuation
2011- Advanced Concepts & Case Studies
2012- Advanced Income Capitalization
2013- General Demonstration Report – Capstone Program
2016- Uniform Appraisal Standards for Federal Land Acquisitions
2016- Introduction to Legal Descriptions
2017- Disclosures and Disclaimers

Experience:

Senior Appraiser, MAI

ValbridgePropertyAdvisors|Mountain States Appraisal & Consulting Inc.
(2013-Present)

Appraiser, CGA

Mountain States Appraisal & Consulting Inc.(2010-2013)

Associate Appraiser, RT

Haxton & Company(2008-2010)

Mountain States Appraisal & Consulting Inc.(2007-2008)

Appraisal/valuation and consulting assignments include: apartments; condominiums; retail; restaurants; shopping centers; professional and medical office; industrial; religious and special purpose properties including schools, churches, and daycares; residential and commercial subdivisions; and vacant industrial, commercial, and residential land. Assignments have been concentrated in southwest Idaho.

Qualifications of Maurice J. (Moe) Therrien, MAI
Senior Managing Director
Valbridge Property Advisors | Mountain States Appraisal Inc.

Independent Valuations for a Variable World

State Certifications

State of Idaho

Education

Washington State University
Bachelor of Arts degree-
Business Administration
Summa Cum Laude (1977)

Contact Details

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208-859-7935 (c)
208-345-1175 (f)

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Membership/Affiliations:

Appraisal Institute - MAI Designation (since 1982)
President of Southern Idaho Chapter of Appraisal Institute (1987)
Idaho Real Estate Broker (since 1991)

Appraisal Institute & related Courses:

Uniform Standards of Professional Practice
Business Practices and Ethics
Advanced Sales Comparison & Cost Approaches
Income Capitalization
Report Writing/Valuation Analysis
Case Studies in Real Estate Valuation
Highest & Best Use/Market Analysis
Forecasting Revenue/Expenses
Intro to Valuing Green Buildings
Low Income Housing Tax Credits for Apartments
Easement Valuation
Litigation Valuation
Other (transcript available on request)

Experience:

Principle/Owner

ValbridgePropertyAdvisors|Mountain States Appraisal, Boise, ID (2013-Present)

Principle/Owner

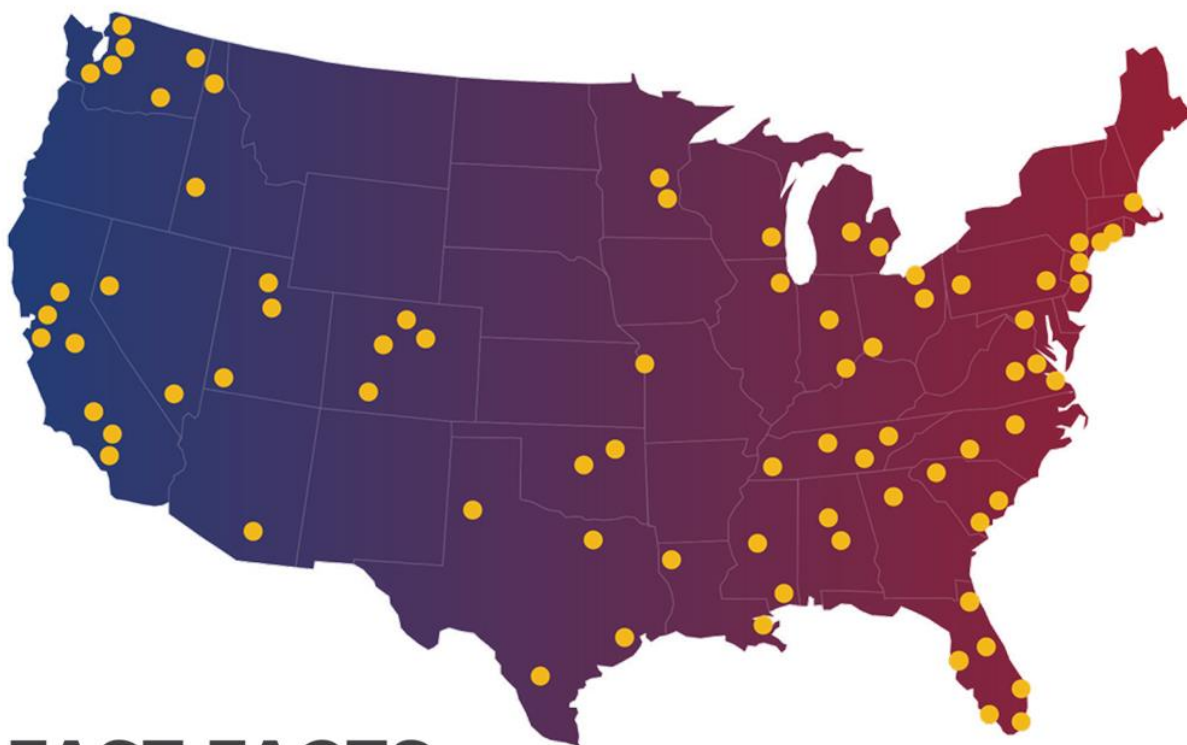
Mountain States Appraisal & Consulting Inc., Boise ID, (1982-2013)

Appraiser

Appraisal/valuation and consulting assignments include: office; light-industrial; retail, multi-family residential; service-commercial; special-purpose (restaurants, fitness facilities, childcare); Land (retail, office, light-industrial, multi-family, residential subdivision, etc.); Market Studies for LIHTC Projects; Ad-valorem Assessment Consulting



Valbridge
PROPERTY ADVISORS



FAST FACTS

COMPANY INFORMATION

- Valbridge is the largest independent national commercial real estate valuation and advisory services firm in North America.
 - Total number of MAI-designated appraisers: 200+ on staff
 - Total number of office locations: 70+ across U.S.
 - Total number of staff: 675+ strong
- Valbridge covers the entire U.S. from coast to coast.
- Valbridge services all property types, including special-purpose properties.
- Valbridge provides independent valuation services. We are not owned by a brokerage firm or investment company.
- Every Valbridge office is led by a senior managing director who holds the MAI designation of the Appraisal Institute.
- Valbridge is owned by our local office leaders.
- Valbridge welcomes single-property assignments as well as portfolio, multi-market and other bulk-property engagements.

Valbridge Property Advisors, Inc.

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Valbridge

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AGREEMENT TO NEGOTIATE EXCLUSIVELY

THIS AGREEMENT TO NEGOTIATE EXCLUSIVELY ("Agreement") is entered into by and between the Urban Renewal Agency of the City of Boise, also known as Capital City Development Corporation, an independent public body, corporate and politic ("Agency"), organized pursuant to the Idaho Urban Renewal Law, title 50, chapter 20, Idaho Code, as amended (the "Law"), and undertaking projects under the authority of the Local Economic Development Act of 1988, title 50, chapter 29, Idaho Code, as amended (the "Act"), and **<Name of Development Company>**, or its assigns as provided for herein ("Developer"), collectively referred to as the "Parties" and each individually as "Party," on the terms and provisions set forth below.

RECITALS

Agency, an independent public body, corporate and politic, is an urban renewal agency created by and existing under the authority of the Law and the Act; and

The City Council of the City of Boise City, Idaho ("City"), after notice duly published, conducted a public hearing on the Westside Downtown Urban Renewal Plan (the "Westside Plan"), and following said public hearing, the City adopted its Ordinance No. 6108 on December 4, 2001, approving the Westside Plan and making certain findings for the jurisdictional area of the Westside Plan, referred to herein as the "Project Area"; and,

In order to achieve the objectives of the Westside Plan, Agency is authorized to acquire real property for the revitalization of areas within Agency's boundaries; and

Agency owns certain real property addressed as 1715 W. Idaho Street, Boise, Idaho 83702 (the "Site") as described on Exhibit A; and

Agency seeks to initiate a redevelopment project to revitalize the Project Area in compliance with the Westside Plan through the redevelopment of the Site, which could also serve as a catalyst for redevelopment of other properties in the vicinity; and

Following the publication of an RFQ/P in the Idaho Statesman newspaper on **<insert publish date>**, Agency received **<XX>** proposals for development of the Site; and

At a public meeting on **<enter date of public meeting>**, the Agency Board selected Developer's proposal, attached hereto as Exhibit B; and

Agency and Developer intend to pursue the negotiations of a Disposition and Development Agreement (“DDA”) and, thus, comply with the required notice provisions concerning the disposition of property by Agency as set forth in the Law; and

Agency seeks to enter into an agreement with Developer for the purpose of analyzing and assessing a development opportunity for the Site as defined in this Agreement.

NOW, THEREFORE, Agency and Developer hereby agree as follows:

AGREEMENTS

Section 000 DEFINITIONS

“Agency” shall be the Capital City Development Corporation and includes both Agency Staff and the Agency Board.

“Agency Staff” shall be the staff of Agency, as opposed to the members of the Agency Board.

“Agency Board” shall be the members of the Agency’s Board of Commissioners, as duly and legally appointed.

“Developer” shall be <Name of Development Company>, or its assigns.

“Disposition and Development Agreement” or **“DDA”** shall mean the agreement the Parties hope to negotiate that will set forth the definitive terms of Agency’s disposition of the Site to Developer.

“Effective Date” shall be the date this Agreement is signed by both Parties (last date signed).

“Negotiation Period” shall begin on the Effective Date and end one hundred fifty (150) days after the Effective Date, unless extended by Agency.

“Schedule of Performance” shall mean the attached Exhibit C.

“Scope of Development” shall mean Developer’s concepts for development of the Site included in Developer’s proposal and attached as Exhibit B, and including any agreed upon changes negotiated by Developer and Agency during the course of this Agreement.

“Site” shall mean the real property owned by Agency and more particularly described in Exhibit A, attached hereto and incorporated herein by reference.

Section 100 NEGOTIATIONS

Section 101 Good-Faith Exclusive Negotiations

The Parties agree the foregoing recitals are not mere recitations but are covenants of the Parties, binding upon them as may be appropriate and a portion of the consideration for the agreements contained herein.

Agency and Developer agree for the Negotiation Period to negotiate diligently and in good faith to prepare a DDA to be considered for execution between Agency and Developer, in the manner set forth herein, with respect to the development of the Site. During the Negotiation Period (defined below) Agency shall not directly or indirectly negotiate with any person or entity other than Developer with respect to the disposition or development of the Site.

Section 102 Negotiation Period

The duration of this Agreement (the "Negotiation Period") shall commence on the Effective Date and shall terminate one hundred fifty (150) days thereafter (the "Termination Date"). Provided, Agency may in its discretion extend the Negotiation Period for an additional thirty (30) days beyond the Termination Date: if such extension is at the sole instigation of Agency, no extension fee shall be due. In the event that Developer requests such an extension and Agency grants such request, Agency may, in its sole discretion, require Developer to pay an extension fee of \$5,000.00. In the event an extension fee has been paid and a DDA has been executed by both Parties, such extension fee shall be credited towards the purchase price for the Site.

If upon expiration of the Negotiation Period Developer has not executed an Agency Staff approved DDA, then this Agreement shall terminate, unless extended in writing by Agency. Once a DDA is signed by both Developer and Agency, then the terms of the DDA shall prevail and this Agreement shall automatically terminate.

If the negotiations do not result in an executed DDA, Developer shall submit to Agency a summary of its findings and determinations regarding the proposed development, excluding any confidential or privileged information. If this Agreement is terminated per this Section 102, Developer shall not seek reimbursement for costs and expenses from Agency and Agency shall not seek reimbursement for costs and expenses from Developer, except that Agency shall retain any extension fee paid by Developer, and Agency shall be entitled to retain the Deposit (defined below) subject to Section 103.

Section 103 Deposit

Developer's Submission of Deposit:

Developer shall submit to Agency a deposit ("Deposit") in an amount of Fifteen Thousand Dollars (\$10,000) in the form of cash or cashier's check to ensure that Developer will proceed diligently and in good faith to negotiate and perform all of Developer's obligations under this Agreement. This Deposit shall be applied to the

Initial Purchase Price. Provided, if the Parties terminate this Agreement before Agency incurs any costs in preparing the Reuse Appraisal, defined below, the Deposit shall be refunded in its entirety to Developer. After Agency incurs any third-party costs in preparing the Reuse Appraisal, such costs shall be deducted from the amount of the Deposit refunded to Developer if such a refund occurs as otherwise provided herein.

Submission of the Deposit must occur within fifteen (15) days of the Effective Date. If Developer fails to submit said Deposit within the fifteen (15) day period, Agency may terminate this Agreement, with neither Party having any further rights against nor liability to the other under this Agreement, unless as agreed to in writing by Agency.

Agency shall be under no obligation to pay or earn interest on Developer's Deposit, but if interest shall accrue or be payable thereon, such interest (when received by Agency) shall become part of the Deposit.

Section 200 DEVELOPMENT CONCEPT

Section 201 Scope of Development

Agency and Developer acknowledge Developer's proposal, as submitted to Agency on <Enter date submitted> (the "Proposal"), is attached as Exhibit B.

Section 202.01 Design Development Plan

Developer shall refine and supplement their Proposal to produce a second submittal to Agency Staff under this Agreement (the "Design Development Plan"). Prior to the submittal of the Design Development Plan to Agency Staff, Developer, a principal representative or representatives from Developer's architectural design firm ("Principal Designer"), and Agency Staff shall engage in a design refinement process to address design-related issues identified by Agency. Following this design refinement and within sixty (60) days of the Effective Date, Developer shall submit the Design Development Plan to Agency Staff which shall include:

A clear chart showing changes from the Proposal including:

- square footage by type of uses
- number of parking spaces
- perspective renderings
- floor plans
- site plan
- elevations/sections listing exterior finishes

The Design Development Plan shall also include a brief project summary and a critical path analysis identifying key milestones in the planning and construction stages for the Project and an updated estimated project schedule. Developer shall submit the Design Development Plan to Agency Staff and Agency Staff shall review and consider the Design Development Plan as set forth in Section 202.02 of this Agreement and the Schedule of Performance.

Section 202.02 Approval of the Design Development Plan

Within fifteen (15) days of Agency Staff's receipt of the Design Development Plan, Agency shall either approve or disapprove the Design Development Plan in writing to Developer. In the event the Design Development Plan is initially disapproved by Agency Staff, within fifteen (15) days of Agency's receipt of the Design Development Plan Agency Staff shall set forth the reasons for disapproval and options that address Agency's reasons for disapproval. Developer shall then have ten (10) days to resubmit information to address the reasons for disapproval. Within five (5) days of Agency Staff's receipt of the resubmittal, Agency Staff shall meet with Developer to discuss the resubmittal (the "Resubmittal Meeting") and shall identify issues that have not been resolved to Agency Staff's satisfaction, if any, and shall provide an additional period of fifteen (15) days for Developer to resubmit information to address Agency Staff's issues. Agency and Developer agree that the purpose of this process is to reach a mutually satisfactory resolution of differences on project design with the understanding that Agency retains the right to approve the Design Development Plan. In the event the Design Development Plan, as applicable, is again disapproved based on issues identified by Agency Staff in its discussions with Developer, Agency may terminate this Agreement and the Deposit, less any costs incurred per Section 103, shall be refunded to Developer.

Section 203 Progress Reports

Developer agrees to make oral and written progress reports advising Agency on all matters and all studies being made by Developer on a monthly basis or at the request of Agency.

Section 204 Assessment of Project Feasibility; Notification

In the event at any time during the Negotiation Period Developer determines that it is not feasible to proceed with the Project, this Agreement shall be terminated upon ten (10) days' written notice to Agency. In the event of such termination, Agency shall refund the Deposit subject to Section 103 of this Agreement.

In the event of such termination neither Party shall have any further rights against or liability to the other under this Agreement. Developer acknowledges and consents that in the event this Agreement is terminated, Agency has the right and authority to enter into an exclusive right to negotiation agreement concerning the Site with any other interested developer.

Section 205 Environmental Condition

Developer acknowledges that in the development of the Project, it has previously received and reviewed certain environmental reports which have included an investigation of the Site. The environmental reports known to Agency include:

List environmental reports here (if applicable) Include name of report, who prepared the report and the date of the report.

Section 300 PURCHASE PRICE AND/OR OTHER CONSIDERATIONS

The Initial Purchase Price for the Site shall be <purchase price > Dollars (\$000,000).

During the Negotiation Period, Agency and Developer shall negotiate the schedule and conditions for transfer of the Site to Developer with respect to financing and a schedule for the development and disposition of the Site, which schedule and conditions will be included in the DDA. Provided, it will be a condition of the transfer of the Site that Developer pay the entire Initial Purchase Price (less the Deposit) to Agency before the title is transferred to Developer.

Under the Law, Agency may transfer real property for no less than the fair reuse value. Agency will prepare and provide Developer with a copy of the reuse appraisal ("Reuse Appraisal") based upon the information developed through the Design Development Plan as described in this Agreement. The Reuse Appraisal shall establish the fair reuse value of the Site as required under the Law (the "Residual Land Value").

If the Residual Land Value is equal to the Initial Purchase Price, then the Initial Purchase Price shall be the Final Purchase Price.

If the Residual Land Value is greater than the Initial Purchase Price, the Final Purchase Price shall be the Residual Land Value.

If the Residual Land Value is determined to be less than \$000,000 by the Reuse Appraisal, the Parties shall negotiate the Final Purchase Price for the Site based on the difference between the Initial Purchase Price and the Residual Land Value.

If the Parties have reached agreement on the Final Purchase Price and whether any portion of the Initial Purchase Price should be rebated, such rebate shall be disbursed to Developer upon the Project's receipt of a Final Certificate of Occupancy and upon Agency's acknowledgement and acceptance thereof. Additional details of the setting of the purchase price and the conditions precedent to rebate shall be included in the DDA. The Final Purchase Price shall be as established by the DDA and not by the terms of this Agreement.

Within sixty (60) days of the Effective Date, Developer shall submit to Agency Staff the data required by the appraiser ("Reuse Appraiser") who has been selected by Agency, which data ("Reuse Appraisal Data") is needed by the Reuse Appraiser to prepare the Reuse Appraisal for the Site, which data shall include data on the Project as described in this Section 300. Developer shall submit the Reuse Appraisal Data at the time the Design Development Plan is submitted to Agency Staff. Developer may be required to supplement the Reuse Appraisal Data during the course of the Reuse Appraisal and shall submit this supplementary data in a timely manner as required by the Reuse Appraiser and Agency. The Reuse Appraisal Data includes but may not be limited to:

- density of development,

- costs expected to be incurred and revenues expected to be realized in the course of developing and disposing of the Project,
- residential unit types,
- sizes and expected sales prices or rents,
- square footages of uses other than residential,
- leasing or sales prices for other uses and assets such as office space, retail space and parking spaces,
- assumptions regarding soft costs such as marketing and insurance, risks of Agency, risks of Developer,
- Developer participation in the funding of public facilities and amenities, and
- estimated or actual Developer return including assumptions regarding entrepreneurial incentive, overhead and administration as these factors apply to the Project.

The Parties anticipate completion of the Reuse Appraisal within one hundred twenty (120) days of the Effective Date. Developer acknowledges that Agency will be unable to commence the Reuse Appraisal process without Developer's submittal of the Reuse Appraisal Data, and Developer acknowledges that Agency will be unable to complete negotiation of the terms of the DDA without the results of the Reuse Appraisal.

Section 400 DEVELOPER AND DEVELOPER'S OBLIGATIONS

Section 401 Nature of Developer

Developer is **<Name of Development Company>**, or its assigns. Wherever the term "Developer" is used herein, such term shall include any permitted nominee or assignee as herein provided.

Section 402 Developer's Principal Office and Development Team

Developer's Principal Office is located at:

<Insert complete address of developer's office>

Agency and Developer acknowledge and agree that the Local Project Manager, as described in Section 906, shall also be a member of the Development Team. Any other consultants and professionals on the Development Team (such as special architectural consultants, leasing agents, engineer, and contractor) will be selected at a later date.

Section 403 Full Disclosure

Developer is required to make full disclosure to Agency of its officers, key managerial employees, and design professionals (collectively the "Development

Team") involved in this Project. Any significant change during the period of this Agreement of the Development Team or in the controlling interest of Developer of the Project covered by this Agreement is subject to the approval of Agency, such approval not to be unreasonably withheld or delayed.

This Agreement shall be assigned or otherwise transferred as provided herein.

Section 404 Compliance with Applicable Laws

Developer recognizes it will be required to comply with all applicable laws, including all applicable federal and state labor standards, antidiscrimination standards, affirmative action standards, and nondiscrimination and nonsegregation standards, laws, and regulations in development, rental, sale, or lease of the Site.

Section 500 AGENCY'S RESPONSIBILITIES

Section 501 Urban Renewal Plan

This Agreement and any DDA agreed to by the Parties are subject to the provisions of the Westside Plan.

Section 600 REAL ESTATE COMMISSIONS

Agency shall not be liable for any real estate commission or brokerage fees which may arise herefrom. Agency represents that it has engaged no broker, agency, or finder in connection with this transaction, and Developer agrees to hold Agency harmless from any claim by any broker, agent, or finder retained by Developer.

Section 700 EXECUTION OF THIS AGREEMENT NOT A DISPOSITION OF PROPERTY

By its execution of this Agreement, Agency is not committing itself to or agreeing to undertake: (a) disposition of land to Developer; or (b) any other acts or activities requiring the subsequent independent exercise of discretion by Agency, City, or any agency or department thereof; or (c) any other acts or activities requiring the subsequent independent exercise of discretion by any federal or state agency including, but not limited to, environmental clearance and historic preservation approval. Execution of this Agreement by Agency and Developer does not constitute a disposition of property by Agency.

Section 800 ISSUES OF NEGOTIATION

Developer recognizes that the following items are matters Agency desires be addressed during the Negotiation Period, but both Parties understand that there is no present agreement as to the manner or degree to which they or any particular one can or will be included in the DDA or Development Plan.

Section 801 Design Refinement

Prior to submission of the Design Development Plan, Agency, Developer, and the Principal Designer shall engage in design discussions to address design issues related to the Design Development Plan identified by Agency, which Agency desires to resolve prior to submittal of the Design Development Plan to Agency by Developer. Agency shall prepare a list of the issues to be addressed in the Design Development Plan, and the process shall be conducted as provided in the Schedule of Performance. Agency and Developer shall reach mutual agreement on how to proceed regarding the design issues.

Section 802 Demolition and Clearance

Developer's proposal does not include any buildings being retained on the Site. Cost estimates for demolition and clearance, and any environmental remediation, shall be included in the Reuse Appraisal as a development cost to be paid by Developer. The Parties agree to address as part of the negotiation of the DDA: 1) the timing and any phasing involving the demolition and clearance costs; 2) rights of the Parties to the structural components and materials comprising the buildings and any equipment or appurtenances on the Site; and 3) requirements, if any, for recycling of structural components and building materials as part of demolition and clearance.

Section 803 Agency Participation

Developer specifically acknowledges, recognizes, and consents that Agency participation in the Project may be limited to the inclusion of the Site for the Project at a yet to be determined value based on the Reuse Appraisal and Agency determinations.

Section 804 Impact Fees

Agency acknowledges that Developer likely will be assessed impact fees by City and the Ada County Highway District ("ACHD"). Such impact fees assessed represent a cost to the Project and may be included within the Reuse Appraisal analysis as described in Section 300 of this Agreement. Developer may seek an individual assessment from ACHD, if available. Agency agrees to cooperate with Developer in the preparation of the individual assessment for ACHD and to support presentation of the individual assessment by Developer to ACHD to the extent deemed appropriate by Agency. Provided, however, nothing contained herein obligates Agency to subsidize or pay for the individual assessment or any impact fees.

Section 900 GENERAL PROVISIONS

Section 901 Notices

Formal notices, demands, and communications between Agency and Developer shall be sufficiently given if sent by registered or certified mail, postage prepaid and return receipt requested, to the principal offices of Agency and

Developer as set forth below. Routine communication may be by first class mail, e-mail, facsimile, or telephone.

Agency

John Brunelle, Executive Director
Capital City Development Corporation
121 N. 9th Street, Suite 501
Boise, Idaho 83702
208-384-4264 (voice)
208-384-4267 (fax)
jbrunelle@ccdcboise.com

Developer

First Name, Initial, Last Name
Name of Development Company
Street Address
City, State, Zip
Phone Number
Fax Number
Email Address

With a copy to:

First Name, Initial, Last Name
Name of Developer Attorney
Street Address
City, State, Zip
Phone Number
Fax Number
Email Address

Section 902 Remedies and Damages

Notwithstanding anything to the contrary contained in this Agreement, Developer's obligations hereunder are nonrecourse. Agency's only recourse and security for Developer's obligations shall be retention of the Deposit and any extension fee. In the event of any legal proceeding described in this Section 902 between the Parties to this Agreement to enforce any provision of this Agreement or to protect or establish any right or remedy of either Party hereunder, the prevailing Party shall recover its reasonable attorney fees, at trial and upon appeal, in addition to all other costs and damages allowed, as determined by the Court.

Section 903 No Recordation

In no event shall any Party record this Agreement or any memorandum hereof or otherwise encumber the Site by reason of this Agreement or the negotiations contemplated hereby.

Section 904 Successors and Assigns

No Party may assign or delegate its obligations under this Agreement without the consent of each other Party hereto, which consent may not be unreasonably withheld or delayed. Agency shall not withhold consent to any assignment of this Agreement by Developer to an entity managed by Mike Brown and Casey Lynch, directly or indirectly. Except as otherwise set forth in this Agreement, the terms, covenants, conditions, and agreements contained herein shall be binding upon and inure to the benefit of the heirs, personal representatives, successors, and assigns of the Parties hereto.

Section 905 Counterparts

This Agreement may be executed in counterparts, and each counterpart shall then be deemed for all purposes to be an original, executed agreement with respect to the Parties whose signatures appear thereon.

Section 906 Local Project Management

<Enter complete name of Project Manager>, an employee of an affiliated entity of Developer, shall serve as Local Project Manager ("Project Manager") who will be available to Agency.

Section 1000 TERMINATION

Section 1001 Termination by Mutual Agreement

This Agreement may be terminated at any time by the written consent of either Party. In the event of such termination, Deposit shall be refundable as set forth in Section 103 and neither Party shall have any further rights against or liability to the other under this Agreement.

Section 1002 Termination Due to Inability to Agree on the DDA Terms

Upon termination of this Agreement at the expiration of the Negotiation Period, or such extension thereof, neither Party shall have any further rights against nor liability to the other under this Agreement. If this Agreement is terminated for the Parties' failure to negotiate a DDA acceptable to both Parties, Developer shall not seek reimbursement for costs and expenses from Agency, and Agency shall not seek reimbursement for costs and expenses from Developer, except to retain from Developer's Deposit and extension fee, if any, any third-party costs actually incurred by Agency in preparing the Reuse Appraisal, as provided in Section 103.

Exhibits

- Exhibit A Legal Description of the Site**
- Exhibit B Developer's Proposal**
- Exhibit C Schedule of Performance**

End of Agreement | *Signatures appear on the following page.*

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the dates set forth below.

_____, 2020

AGENCY

THE URBAN RENEWAL AGENCY OF
THE CITY OF BOISE, also known as
CAPITAL CITY DEVELOPMENT CORPORATION

John Brunelle, Executive Director

_____, 2020

DEVELOPER

<Name of Development Company>

By <Name/Title of Person Authorized to Bind
Company>

STATE OF _____)
ss:
County of _____)

On this _____ day of _____, 2020, before me, a notary public in and for said state, personally appeared John Brunelle, Executive Director of the Capital City Development Corporation, the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same on behalf of the Capital City Development Corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal, the day and year in this certificate first above written.

NOTARY PUBLIC for Idaho
Residing at: _____
Commission Expires: _____

STATE OF _____)
ss:
County of _____)

On this ____ day of _____, 2020, before me, a notary public in and for said state, personally appeared _____, known or identified to me to be the _____ of an Idaho Limited Liability Company known as _____, who executed the within instrument on behalf of said Limited Liability Company and acknowledged to me that said Limited Liability Company executed the same for the purposes herein contained. **<wording may change according to the company structure.>**

IN WITNESS WHEREOF, I have hereunto set my hand and seal, the day and year in this certificate first above written.

NOTARY PUBLIC for Idaho
Residing at: _____
Commission Expires: _____

Exhibit A
Legal Description of the Site

SAMPLE

Exhibit B
Developer's Proposal

SAMPLE

Exhibit C
Schedule of Performance

Task	Completion Date	Section Reference
Developer Submits Design Development Plan to Agency Staff	Sixty (60) days after the Effective Date	202.01
Developer Provides Reuse Appraisal Data to Reuse Appraiser	Sixty (60) days after the Effective Date	300
Agency Staff approves or disapproves of the Design Development Plan	Within ten (10) days of Agency's receipt of the Design Development Plan	202.02
Developer's response to Agency's disapproval of the Design Development Plan ("Developer's Resubmittal")	Within fifteen (15) days of Developer's receipt of Agency's disapproval of the Design Development Plan	202.02
Agency's Meeting with Developer to discuss Developer's Resubmittal (the "Resubmittal Meeting")	Within five (5) days of Agency's receipt of Developer's Resubmittal	202.02
Developer's submission in response to Agency's issues with Developer's Resubmittal	Within fifteen (15) days of the Resubmittal Meeting	202.02
Completion of Reuse Appraisal	One Hundred Twenty (120) days after the Effective Date	300
Finalize Disposition and Development Agreement agreeable to Agency Staff and Developer	One Hundred Fifty (150) days after the Effective Date	102

Summary of Disposition and Development Agreement

The following summary has been prepared to provide an overview of the contents of the Disposition and Development Agreement ("DDA") the Urban Renewal Agency of Boise, Idaho, also known as the Capital City Development Corporation ("Agency"), will prepare for execution with the selected developer for the property located at 1715 W. Idaho Street, Boise, Ada County, Idaho (the "Property").

The DDA will contain 13 sections. The sections will cover the following:

1. Section 1 will contain definitions of relevant terms contained in the DDA
2. Section 2 will identify the parties to the agreement and reference the Agency's urban renewal plan. This section will also cover the powers and limitations of an urban renewal agency when disposing of real property, which are contained in Idaho Code § 50-2011.
3. Section 3 will cover the pre-closing due diligence period, property investigation, and title issues that may arise.
4. Section 4 will deal with the selected developer's proposed financing for the project and the Agency's assessment of the financial viability of the proposed project, based on the firm commitments from lenders and financiers and when such commitments are required.
5. Section 5 covers the disposition and conveyance of the property to the developer and the property closing details.
6. Section 6 will detail the condition of the property and any representations made by the Agency concerning the same. The Agency anticipates disposing of the property in "as is" condition.
7. Section 7 will set forth the development of the project and memorialize the proposed project. The Agency anticipates providing some assistance to the developer for the project. The assistance will be based on the completion of the proposed project as detailed in Section 7.
8. Section 8 provides the Agency's requirements for insurance and indemnification of the Agency.
9. Section 9 sets forth the project completion, purchase price adjustment and the mechanism the Agency will use to determine the difference between the fair market value of the Property and the fair reuse value of the Property. By law, the Agency cannot dispose of real property for an amount less than the fair reuse value of the property. The fair reuse value of the Property will be calculated by assessing the design and construction costs of the proposed project to determine the minimum land acquisition cost that would enable the developer to construct the proposed project and earn a profit from the endeavor, as opposed to suffering a financial loss. The fair reuse value will be determined by an appraiser engaged by the Agency, who will consider the construction and design costs, financing costs, the marketability of the proposed project, and the developer's entrepreneurial incentive.

10. Section 10 will contain post-development and construction obligations concerning the continued use of the Property in compliance with the Plan and the obligation of the Property owner to pay real property taxes assessed by the County Assessor. The Agency does not assess property taxes.

11. Section 11 will cover the potential for developer or Agency defaults of the DDA and remedies for the parties.

12. Sections 12 and 13 will contain standard contract provisions concerning assignment rights, notices and demands, conflicts of interest, attorney fees, dispute resolution, and how the parties will coordinate with each other.

END OF SUMMARY



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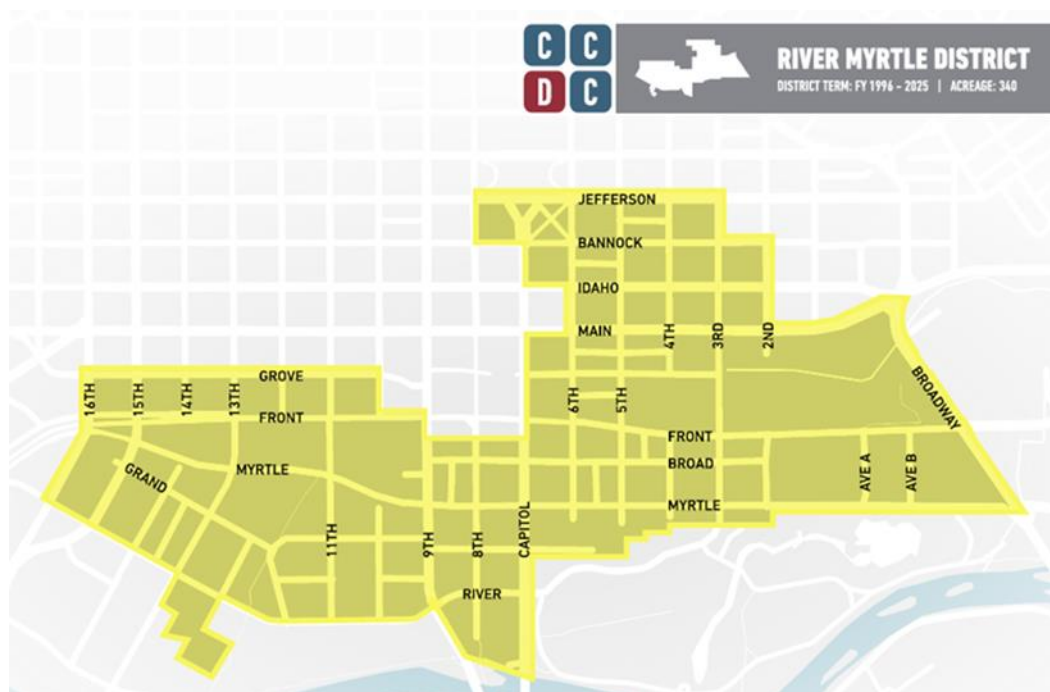


V. INFORMATION ITEMS



DATE: October 12, 2020
TO: Dana Zuckerman, Chair
Board of Commissioners
FM: John Brunelle, Executive Director
RE: CCDC Monthly Report

RIVER – MYRTLE / OLD BOISE DISTRICT



Economic Development

5th & Front Streets - Hotel and Parking Garage – Participation Program (PP) Type 3, 5: The parking garage portion of this project (540 total spaces) opened for customers in mid-March under a temporary certificate of occupancy. On May 1, CCDC began leasing 200 spaces for public use, specifically reserved monthly parkers. The developer is planning a public art element on the stairwell wall facing Front Street, and is working with the City of Boise Arts and History Department on the selection process. The CCDC Board approved an additional \$90,000 in eligible expenses for public art at its December 2019 meeting. Chair Zuckerman represents CCDC on the selection committee. Other members represent the development group, the City Arts & History

Commission, and local artists. The selection committee will review artist applications and is waiting for the developer's proposed art program. The developer is currently working with its artist and the relevant City bodies to finalize the proposed art program. Project Lead: Brady Shinn

200 W. Myrtle Street - Boise Caddis - PP Type 2: Construction continues on the Boise Caddis project with post-tensioned concrete work underway. Wood framing is underway. The project, scheduled to open in the summer of 2021, includes 160 rental units and 400 parking spaces. Ada County will purchase a number of the parking spaces for use by its nearby Courthouse complex workforce. The Type 2 Agreement includes approximately \$1.2 million in eligible expenses for public improvements on 2nd, 3rd, and Myrtle Streets and a small portion of Broad Street. Reimbursement will come from tax increment revenue generated by the project. Project Lead: Brady Shinn

204 E. Myrtle Street - CDG Boise - PP Type 2: The Board designated this project for Type 2 funding at its November 2019 meeting. CDG Boise is building a 249-unit apartment building with 353 parking spaces, and has requested reimbursement for approximately \$980,000 of public improvements including streetscapes and utility work. The Type 2 Agreement was approved at the December 2019 Board meeting. The project is finalizing permitting. Construction mobilization is expected in November 2020, with an anticipated Certificate of Occupancy by Winter 2022. Project Lead: Brady Shinn

406 W. Broad Street - Cartee Apartments - PP Type 2: This project includes 160 apartment units and 176 structured parking spaces. Construction and mobilization began in October 2019. Construction is now vertical. The concrete podium is complete. The agreement between CCDC and the developer contemplates approximately \$1.3 million in eligible expenses to be reimbursed from project-generated tax increment revenue. Project Lead: Brady Shinn

512 W. Grove Street - 5th & Grove Mixed Use Residential - PP Type 2: At its March 2020 meeting, the CCDC Board approved a Type 2 General Assistance Participation Agreement with 5th and Grove Investors, LLC. The project includes 114 for-rent apartments and 8,000 square feet of ground floor retail. Fifty of the apartment units will be dedicated to workforce housing, serving 120% AMI (area median income) and below. The project qualifies for Level A status and is eligible to receive 80% of the tax increment revenue it generates to reimburse Eligible Expenses. The project includes approximately \$1 million in Eligible Expenses for public improvements along 5th Street, Grove Street and alley. It is estimated that tax increment revenue can reimburse approximately \$700,000 of Eligible Expenses. CCDC will construct and pay for the already-planned Grove Street streetscape improvements currently in the Agency's 5-year Capital Improvement Plan, accounting for approximately \$347,000 in Eligible Expenses. If construction timelines do not align, CCDC will reimburse the developer for that work upon completion of the project and not through project-generated tax increment revenue. Those two sources will reimburse the developer for all of the project's Eligible Expenses. Site prep and mobilization has begun, Summer 2020. Project Lead: Brady Shinn

PARTICIPATION PROGRAM

Type 1: One-time assistance. Reimbursements up to \$200k for eligible expenses. Developer-matched.

Type 2: General assistance. Reimbursed by project-generated tax increment revenue. Scorecard dependent.

Type 3: Transformative Assistance. Large-scale or unproven projects. Often includes public parking. \$6 private to \$1 public minimum investment required.

Type 4: Capital Improvement Coordination. Most often used for public/public projects.

Type 5: Disposition of CCDC-owned property.

116 6th Street - 6th & Grove Mixed Used, Income Restricted Residential - PP Type 2: At its March 2020 meeting, the CCDC Board approved a Type 2 General Assistance Participation Agreement with the developers of the 6th & Grove project. This is a mixed-use residential and retail project being developed by Capital Partners, Galena Fund, and deChase Miksis. It will consist of 60 apartment units (income restricted and market rate), 5,000 square feet of retail and 9,000 square feet of office space. The project includes approximately \$600,000 of Eligible Expenses for public improvements in the alley and streetscapes along Grove and 6th streets. CCDC will construct and pay for the already-planned Grove Street streetscape improvements currently in the Agency's 5-year Capital Improvement Plan, accounting for approximately \$130,000 in Eligible Expenses. Sixth Street improvements are included in CCDC's current year CIP and will be reimbursed upon completion. The remainder of the Eligible Expenses will be reimbursed using tax increment revenue generated by the project between 2022 and 2025. These funding sources will reimburse the developer for all Eligible Expenses. Footings, foundations, sitework, site prep, and mobilization began summer 2020, construction proceeding apace. Update: an amendment to the Agreement is in-process (was not on last month's Board agenda as previously reported) to coordinate construction timing for overlapping, future CCDC Participation Program Streetscapes and CCDC Capital Improvement Plan projects. Project Lead: Brady Shinn

600 W. Front Street - The Vanguard - PP Type 2: Visium Development is constructing a 75-unit multi-family apartment building on the corner of 6th and Front streets (former Biz Print location). The CCDC Board designated this project for Type 2 funding at its November 2019 meeting. Visium has requested reimbursement for approximately \$400,000 of public improvements, including streetscapes and utility work. The Type 2 Agreement was approved at the December 2019 Board meeting. Construction is vertical; footings and the foundation complete. Project Lead: Brady Shinn

601 S. 8th Street – Mixed-Use with Public Parking – PP Type 3: Jordan-Wilcomb Construction is partnering with local developer Global Senior Housing on a mixed-use project that preliminarily includes office, retail, public parking and residential spaces. The residential portion will be Global Senior Housing's specialty, an "Active Adult Community Platform" for 55+ year-old adults. Current use at the property is a vacant, one story building that previously housed the Foothills School for Arts and Sciences. CCDC is interested in potentially purchasing a parking condominium and providing public parking at the location. The project anticipates over 160 residential spaces over 5 floors, 300 parking stalls, and over 20,000 sq ft of commercial and retail spaces. The project's total development cost is estimated to be \$53 million with construction expected to begin in 2021 and open by late 2022 or 2023. The project received Designation at the September 2020 Board Meeting. The next actions are to negotiate and execute a Letter of Interest with the Participant, as Participant continues its development process. Project Lead: Brady Shinn

Mobility

S. 5th St & Myrtle St - Signalized Crossing: This project seeks to install signal control on Myrtle Street at the 5th Street intersection to provide a safe crossing between Julia Davis Park and the Central Addition, and to extend the signal-coordinated calming of Myrtle Street. Kittelson & Associates has completed a preliminary traffic signal study and representatives of ACHD, City of Boise, CCDC, and ITD met in March 2020 to discuss next steps. CCDC and the City are working on a request to ITD outlining the rationale for a signal and how it will not set a precedent. Project Lead: Matt Edmond

ParkBOI - Capitol & Myrtle Parking Garage - Agency Owned Property: This project will apply repair patches of spray-on fire-proofing throughout this garage. The Agency has met with a



contractor, looked at the repairs, and is waiting for a detailed proposal. Spray-on Solutions is the contractor for this project. Project Lead: Aaron Nelson

505 W. Bannock St - 505 Bannock - T1 Designation: Local general contractor Visser Construction is building a three-story mixed-use property at the site of the former Wells Fargo bank branch. The project features over 11,000 sq ft of dining space between two restaurants, and 3,700 sq ft top floor office space. The project is an estimated \$5.5 million in total development costs. The project requests reimbursement to replace the public improvements in its narrow storefront, as well as install a transformer on-site that will replace existing pole-mounted transformers in the alley right-of-way. Total anticipated reimbursement is over \$80,000. Applicant is I M IRIE TWO LLC, the site owner's controlling entity. The project is under construction, with its exterior shell nearly complete. The project's Public Improvement plans are still pending final permitting approval. Final Public Improvement plans will be included in the executed Agreement Project Lead: Brady Shinn

ParkBOI - 11th & Front Parking Garage - Agency Owned Property: No significant maintenance performed in recent months. Project Lead: Aaron Nelson

Place Making

Grove Street - Multi-Block Improvement Project: The Old Boise Blocks on Grove Street, between 3rd and 5th Streets downtown, is ready for a catalytic transformation. With a few nearby projects already underway, CCDC is kicking off an inclusive community-driven visioning process to develop a place-making strategy for this site. The process began in June with a series of stakeholder visioning meetings to create a community-supported vision for the area. The public had several opportunities to engage in the visioning process through summer and fall 2020. Stakeholder visioning meetings were held on June 11 and July 9 with the final meetings scheduled for August 6 and September 17. Final draft of the visioning document is being prepared for review. Project Leads: Karl Woods, Jordyn Neerdaels

Linen Blocks - W. Grove Street Improvements: The Linen Blocks on Grove Street, between 10th and 16th Streets downtown, is being assessed for catalytic infrastructure improvements. CCDC kicked off an inclusive community-driven visioning process in September 2020 to develop a reinvestment strategy for the Linen Blocks on Grove Street. The process will include a series of stakeholder visioning meetings to create a community-supported vision for the area. The public will have several opportunities to engage in the visioning process between now and April 2021. Project Lead: Amy Fimbel

Special Projects

RMOB Public Art - City of Boise Broad Street Sculpture - PP Type 4: Arts and History is putting together a memo on the project to send to their commission and City Council. The new design concept is scheduled for approval the first week of October by the A&H Commission and should result in an installation of the sculpture in spring / early summer 2021. Project Lead: Karl Woods

WESTSIDE DISTRICT



Economic Development

11th Street Streetscape - Washington Street to Grove Street: These streetscape improvements are planned for construction in FY2022. To maximize public investment, the Agency is working closely with ACHD on its 11th Street bikeway facilities project. To ensure that cooperative and coordinated solutions are developed by ACHD and the Agency in their respective planning processes, CCDC is conducting planning and design on a similar schedule to ACHD. Project Lead: Amy Fimbel

1111 Idaho St - 11th & Idaho Building - PP Type 2: This nine-story, Class A office building is being developed by Rafanelli and Nahas using the internationally recognized architecture firm Perkins + Will. The site is adjacent to the future Westside Urban Park and is being designed to complement the existing Boise Plaza office building on the adjacent block to the north. The development was designated as a Type 2 Participation Project in July 2019. The final agreement was presented to the Board in August 2019. Construction is underway. CCDC will reimburse the developers for public improvements being completed along Idaho and 11th streets. The reimbursement will be based on actual expenses and will not exceed \$740,690. Project Lead: Brady Shinn

1015 W. Main Street - 11th and Main Apartments - PP Type 1: Seattle's Revolve Development purchased part of the former Safari Inn at 1015 W. Main Street. Revolve is redeveloping the 11th and Main building, transforming it from a 43-room hotel into 41 residential apartments, mostly studio units. Additionally, a teak-wood lattice façade will be added onto the existing stucco exterior walls. The developer was approved for a Type 1 Participation Project at the Board's July 2020 meeting to reimburse expenses to replace the 11th Street alley drive-ramp. The reimbursement will be based on actual expenses and will not exceed \$23,000 pending final confirmed work scope. Project Lead: Brady Shinn

1715 W. Idaho St - 17th and Idaho - Agency-Owned Property: 1715 W. Idaho was purchased by CCDC on July 1, 2020. On July 13, 2020, the CCDC Board of Commissioners authorized the Agency staff to work alongside a 'Core Values Working Group' to develop a RFQ-P for the site. On October 12, 2020, The RFQ-P was presented to CCDC's Board of Commissioners for approval to publish. Project Lead: Brady Shinn

1010 W. Jefferson St - 10Ten Building - Agency-Owned Property: No significant maintenance items to report. The Agency's CM/GC for the Westside Urban Park project will be using a portion of the adjacent parking lot for construction staging. Project Lead: Aaron Nelson

1322 W. Main Street - Fire Fusion Studio - PP Type 1: Local artist Delia Dante owns and operates Fire Fusion Studio, an art and metalworking gallery that has recently relocated to 1322 W. Main Street. Ms. Dante is renovating the existing, empty building to house Fire Fusion Studio's sales, art gallery and metalworking classes. The finished project will feature a completely re-built structure and roof, new interior finishes across the multiple spaces and new public improvements reimbursed by CCDC. The majority of public improvement costs relate to installing a new sidewalk on 14th Street and filling decommissioned vaults on both 14th and Main Streets. The project received Board Approval in September 2020. Construction and renovation is nearing completion. Project Lead: Brady Shinn

421 N. 10th St - ISG/BSN Building - Agency Owned Property: No significant maintenance items to report. The fence that encloses the adjacent parking lot had 4-5 poles that were bent and falling over. The Agency hired WashWorx to reset the poles and straighten the fence. Project Lead: Aaron Nelson.

Infrastructure

Bannock Street Streetscape - 8th to 9th Streets: The City of Boise conducted a public meeting and an online survey to gauge public support of the proposed design. Feedback was evaluated. The City presented the project to ACHD during a Commission work session in November 2019 and to the ACHD Commission in January 2020 after which ACHD approved the design. The project received Design Review approval from the City in February 2020. The CCDC Board approved the contract for construction documents and construction administration services with Jensen Belts Associates and the ranking for CM/GC services in March 2020. The CM/GC contract with Guho Corp was executed in April. Construction documents have been submitted to the City and ACHD for approval. At a Special Board Meeting on July 27, 2020 the CCDC Board approved GMP (guaranteed maximum price) #1 with Guho Corp. Project is under construction and currently on schedule. Project Lead: Karl Woods

10th & State Streets - Agency Owned Property: CCDC is working with nearby landowners around the Agency-owned sites to create transformative development in the Brady Block area. CCDC is working to incentivize the future redevelopment of underutilized sites adjacent to the Brady Block. Project Lead: John Brunelle

1010 W. Main St - Avery Building - PP Type: This vacant, privately-owned building is currently undergoing renovation. CCDC has remained engaged with the developer and owner who is working on overall project financing. The developer is interested in utilizing the Agency's Participation Program for historic preservation costs and anticipates submitting an application once the project completes its pre-development process. Project Lead: Brady Shinn

State Street Streetscape & Fiber-Optic Conduit: The Agency is negotiating a cost share agreement with ACHD to include improvements on State Street as part of a road project tentatively scheduled for 2022. Agency-funded improvements would include installation of a fiber-optic conduit bank on State between 8th and 14th, and construction of streetscape improvements

to include street trees, Silva cells, and historic street lights from east of 12th to 14th streets. The Silva cells would serve a dual purpose of accommodating healthy street trees and managing stormwater from State Street. ACHD will credit CCDC for stormwater costs. Project Lead: Matt Edmond

Westside URD – Boundary Adjustment: The Agency is working to adjust the Westside URD boundary to add an additional 14 acres that includes the Boise High School campus, the downtown YMCA property, as well as right of way on Franklin Street and 8th Street. The City Council accepted an eligibility report in June 2019 and directed CCDC to move forward with amending the plan. The Plan Amendment must be reviewed by CCDC and the City Council as well as Planning and Zoning prior to adoption. The proposed plan amendment was approved by the Board on September 14 and was transmitted to the City thereafter for review by the Planning Commission on October 5 to verify its compliance with the Boise City Comprehensive Plan. Project Lead: Doug Woodruff

Mobility

ParkBOI - 10th & Front Garage - Agency Owned Property: The Agency hired DESMAN to perform design services for structural damage prevention. Due to the complexity of the project and proximity to Hotel 43, the Agency has chosen to prequalify general contractors. Prequalification proposals were due September 9, 2020 and the contractors qualified to bid will be presented at the October 12, 2020 Board Meeting for approval. The bid process will follow in November with an anticipated contract award at the December Board meeting and Spring 2021 construction start. Project Lead: Aaron Nelson

North 8th Street - City/ACHD Traffic Configuration: A traffic and bike lane analysis performed by Kittleson & Associates and a design package by Jensen Belts Associates were presented to the City Council in January 2019. The City Council requested public outreach on the project. The City conducted a public meeting and an online survey to gauge public support of the proposed design. Feedback was evaluated. The City presented the project to ACHD's Commission during a November 2019 work session. The Commission was receptive and asked for an interagency agreement for paving and for the project to be brought back for formal presentation. That presentation occurred in January 2020 after which ACHD approved the design. The project received Design Review approval from the City in February 2020. The CCDC Board approved the contract for construction documents and construction administration services with Jensen Belts Associates in March 2020. The Agency has been working to accelerate the project timeline to complete construction in 2020. Construction documents have been submitted to the City and ACHD for permit review. At a Special Board meeting on July 27, 2020 the GMP (guaranteed maximum price) #1 with Guho Corp. Construction was approved. Project is under construction and is currently on schedule. Project Lead: Karl Woods

Place Making

11th Street & Bannock Street - Westside Urban Park: 11th Street & Bannock Street - Westside Urban Park: The City Council approved the Westside Urban Park Master Development Agreement and associated land agreement in June 2019. The completion of these agreements formalizes a public-private partnership that will result in the creation of a new downtown neighborhood urban park. This public investment complements construction of the adjacent 11th and Idaho development, a nine-story, Class A office building with retail/restaurant space fronting the park. Construction on the office tower began in August 2019 and is expected to be complete in November 2020. CCDC Board, Boise Arts & History Commission, and Boise City Council have approved artist Matthew Mazzotta's "Gentle Breeze" design and the public artwork will be installed

in conjunction with the park. CCDC Board approved the GMP (guaranteed maximum price) at the September 14 CCDC Board meeting and construction of the park began October 8, 2020 with ribbon cutting estimated in June 2021. Project Lead: Amy Fimbel

30TH STREET DISTRICT



Economic Development

2403 W. Fairview Ave - Adare Manor - PP Type 2, 4: Northwest Integrity Housing Company's affordable housing development, consisting of 134 apartments, is complete and actively leasing units. The combined participation agreement is for approximately \$730,000 for public improvements adjacent to the development including streetscapes and utility work. This development is on ground leased from the City of Boise for forty years and was awarded to the developer through a competitive process. The majority of the apartments will be for families earning less than 60% AMI (area median income) – about \$44,000 per year for a family of four – with approximately 10% of the units offered at market rate. Reimbursement is complete. The First Amendment to both Agreements were approved by the Board in the September meeting. CCDC's Reimbursement process is complete for both Agreements and payment for the Type 4 is imminent. Project Lead: Brady Shinn

Mobility

Main and Fairview Transit Stations and Platforms: CCDC, in cooperation with the City of Boise and Valley Regional Transit, is redesigning and constructing improvements at seven bus stops along Main St. and Fairview Ave between Whitewater Park Blvd and N 16th St. CCDC is contracting with HDR Engineering to provide design services which will be completed in spring

2021 with construction to follow in summer 2021. Schematic designs will be shared with adjacent property owners in October 2020. Project Lead: Amy Fimbel

SHORELINE



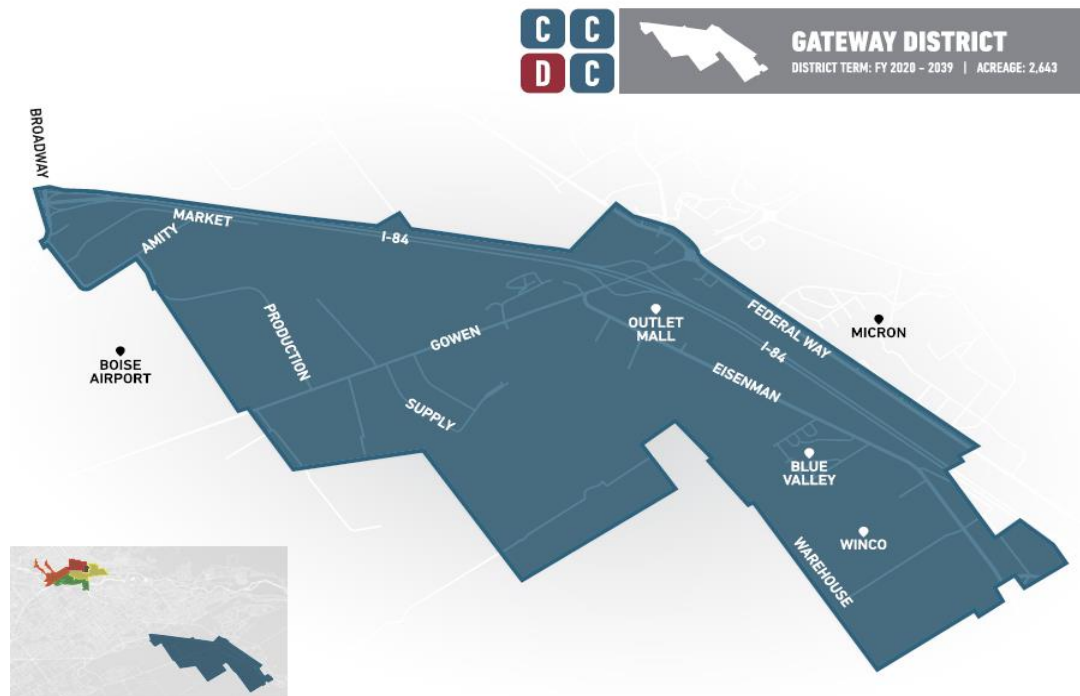
Economic Development

Shoreline District - Downtown Boise Streetscape Standards Update: CCDC, in collaboration with the City, is preparing to update the Downtown Boise Streetscape Standards Manual. These standards provide guidance to private development and Agency's Capital Improvement Plan projects for streetscape improvements in the public rights-of-way within the downtown Urban Renewal Districts.

The standards currently in effect were adopted by the City in 2015 and do not include the Shoreline District project area. This update will incorporate that project area as well as the innovative stormwater management strategies outlined in the City's Lusk Street Neighborhood Master Plan and River Street Neighborhood Master Plan.

The update will be reviewed by neighborhood stakeholders, the City, and ACHD before being considered for formal approval. Once approved by the CCDC Board, the updated standards will be forwarded to the City Council and recommended for final approval and adoption into Blueprint Boise. Preliminary meetings with property owners and area stakeholders have begun to help define the scope of this project. The project will include an emphasis on the 17th Street sub area of the Shoreline District. Project Lead: Doug Woodruff

GATEWAY EAST



Economic Development

9100 S. Eisenman Road – PP Type 2: R.L.R. Investments, LLC, 9100 S. Eisenman will host a new regional industrial mixed-use facility and be a regional hub for R.L.R. Investments' national operations. The project will consist of three structures: a 5,000 SF office joined to a 60,000 SF freight terminal, and a 9,000 SF maintenance shop. The project will also renovate the existing, dilapidated fueling canopy. Seventy parking spaces and a private green space constitute the rest of the property's development. Estimate total cost is \$9.8 million. The project anticipates \$385,000 of Eligible Expenses to be paid over the standard Gateway District six-year term. Estimated completion is summer 2021 and then fully on the tax roll by calendar year 2022. The project will generate roughly \$80,000 in added tax increment per year. The project received approval at the June 2020 Board meeting. Construction is underway with preliminary earthwork and site work complete. Project Lead: Brady Shinn

9025 S. Federal Way – PP Type 2: 9025 S. Federal Way is an 11,000 square foot mixed-use office and industrial project consisting of three office suites and two warehouse bays on a 1.4-acre lot located on the west side of Federal Way across from the Micron campus. The Board approved a Type 2 participation agreement for approximately \$94,000 of Eligible Expenses on the \$2.1 million project at its January 2020 meeting. The Applicant would like to start the reimbursement process. CCDC awaits cost justification materials. Project Lead: Matt Edmond

9605 S. Eisenman Road – Boise Gateway 1 – PP Type 2: Boise Gateway 1 is a 168,000 square foot industrial building project with related site improvements located at the southwest corner of Eisenman Road and Freight Street. This is the first project / phase of the 140-acre Boise Gateway Industrial Park, on land owned by the City of Boise and ground-leased to the Boyer Company for

development. The project was completed this summer and the primary tenant, Verde Fulfillment, has occupied the building and is operational. Total project value is estimated to be \$13 million, with an estimated \$425,000 of Eligible Expenses. The project was designated for Type 2 assistance at the November 2019 Board meeting. The Board approved a Type 2 participation agreement for approximately \$426,000 of Eligible Expenses on the \$12.7 million project at its April 2020 meeting. Project Lead: Matt Edmond

Mobility

Gowen Road - ACHD Cost Share - PP Type 4: ACHD will replace the Gowen Road bridge over the railroad right-of-way including widening the bridge to accommodate bike lanes and sidewalks. ACHD and the Agency executed the pathway cost share/participation agreement in May 2019. Since then, ACHD has advanced construction from 2022 to 2021. The City has requested that gravel shoulders on the bridge approaches be replaced with wider sidewalk; necessitating amendment of the original agreement. The Agency, City and ACHD have also agreed to terms for a proposed Interagency Agreement to install fiber-optic conduit along Gowen Road as part of the project. The total of both cost share agreements is estimated to be approximately \$360,000 per the engineer's estimate based on the 99% plans. The CCDC Board approved the amended cost share agreement and the interagency agreement at its May 18, 2020 meeting. Project Lead: Matt Edmond.

Gateway East Transportation Study: The Agency contracted HDR to perform a transportation study of the Gateway East District to determine the necessary number of lanes on major roads, optimal secondary access points, and recommended traffic control. HDR has completed the technical report with significant input from the project team, which included representatives from the Agency, City and ACHD. Agency staff presented the findings to the CCDC Board at its July 13, 2020 meeting then transmitted those findings to ACHD for consideration in the upcoming ACHD Master Street Map and Capital Improvement Plan updates. Project Lead: Matt Edmond

Infrastructure

Production Street and Gowen Road Utilities: This project will install new fiber optic conduit banks and associated vaults along Production Street and Gowen Road for the City to enhance data connectivity within city limits. Civil Survey Consultants completed the design of the project and CCDC plans to bid the work January 2021 with construction to follow in spring 2021. Project Lead: Amy Fimbel

AGENCY WIDE – ALL DISTRICTS

Economic Development

ParkBOI - All Garages - Cleaning: During the months of April and May, while the citizens were complying with the Governor's and Mayor's COVID-19 pandemic-caused shelter-in-place orders and only essential businesses were allowed to be open, a concerted effort was made to enhance the appearance of all ParkBOI garages. This included scrubbing the walking surfaces of all stairwells and elevator lobbies, repainting handrails and step edges, washing windows inside and out and touch up painting wherever needed. The last major undertaking was cleaning and painting the elevator lobbies and stairwells of the Capitol & Main Garage, which occurred when



the elevator refurbishment project was completed. Improvements continue as warranted. Project Lead: Max Clark

ParkBOI - New Product - Nighttime Monthly: As part of the parking rate discussion at the March 2020 meeting, the Agency recommended that the 10th & Front parking garage be designated to accommodate proposed nighttime-monthly parking pass-holders, making it available to these parkers as early as 3 pm – an attractive alternative to a regular monthly pass. The Agency will examine implementing this product as the economy recovers from the COVID-19 pandemic. Project Lead: Max Clark

ParkBOI - New Product - Carpool Priority: A soft opening for this new product commenced July 1, 2020 via the City Go program. Despite promotions there have been no takers as of now, mostly due to the fact that most businesses are still working remotely. Project Lead: Matt Edmond

CityGO: Formerly known as the Downtown Mobility Collaborative, the downtown's Transportation Management Association is up and running. This partnership of VRT, City of Boise, ACHD Commuteride, BSU, St Luke's, Downtown Boise Association (DBA), and CCDC involves marketing its transportation products and services to the downtown community. The October Agency Board agenda includes approval of the MOU for these efforts. An overview can be found at citygoboise.com. Project Lead: Matt Edmond

ParkBOI - 9th & Main Parking Garage - Elevators: The project was delayed about 4 weeks. The elevator modernization for the Idaho street side elevator will start October 12 and end November 6. The main street side elevator will start November 16th and end December 11th. Project Lead: Aaron Nelson

ParkBOI - Capitol & Main Parking Garage - Elevators: This project modernized the existing elevators in the Capitol & Main Garage with new finishes and amenities, improved efficiency, reliability and brought the elevators up to current code. Schindler Elevator reached substantial completion in late August 2020, but still has to replace undersized components in one car and complete contract paperwork prior to release of the final payment/retainage. The remaining work is estimated to be completed end of October to early November. Project Lead: Aaron Nelson

ParkBOI - 9th & Front Parking Garage - Agency Owned Property: Over the years, the stair towers on the 9th & Front Garage have experienced damage due to water infiltration. In March 2020 the Agency contracted with Slichter Ugrin Architects to provide design services for the repairs. Due to the complexity of the project on the exterior stair towers, the Agency has chosen to prequalify general contractors. Prequalification proposals were due September 9, 2020 and the contractors qualified to bid will be presented at the October 12, 2020 Board Meeting for approval. The bid process will follow in November with an anticipated contract award at the December Board meeting and Spring 2021 construction start. Project Lead: Aaron Nelson

ParkBOI - Door Hardware & ADA Upgrades: Slichter Ugrin Architects have been hired as the design professional to develop plans and specifications for this project. Hellman Construction Company, Inc., was the responsive low bidder and is under contract. A Notice to Proceed has been issued and construction is underway. Construction is scheduled to be substantially complete in mid-October 2020. Project Lead: Karl Woods

Mobility

11th Street Bikeway - ACHD Collaboration - River Street to Washington Street: 11th Street has been identified in plans by the City and ACHD as an important corridor for the west side of downtown Boise. It prioritizes cyclists, pedestrians, retail business, and residents while accommodating existing vehicular use. ACHD is advancing with the design of bikeway facility improvements for 11th Street from Heron Street to Washington Street in preparation for



installation in FY2022. CCDC is leading a public engagement process to produce a concept design for 11th Street from River Street to Washington Street. This downtown segment of the 11th Street Bikeway spans two URD's (RMOB and Westside) both of which have funding programmed in FY2022 to build the infrastructure associated with this bikeway. At its April 2020 Board meeting, the Board approved a contract with Kittelson & Associates to assist the Agency with the concept design and public engagement process. Initial interviews with property owners and businesses along 11th Street are complete and results from the online survey and comment map have been shared with the public and project stakeholders. Public and stakeholder feedback on the two bikeway concept designs began September 24 and will run through October 9, 2020. Project Lead: Amy Fimbel

State Street Study Area: The Agency's primary consultant for the State Street Study Area, MIG, is wrapping up phase 1 of its Scope, Planning Context and Assessment, as well as preparation for public outreach in collaboration with Agency and City of Boise staff. A virtual public engagement exercise and agency stakeholder outreach will begin in October. Agency staff plans to present initial findings at the Board's November 2020 meeting. Project Lead: Matt Edmond

Condominium Associations

Building Eight Condominiums Association CCDC Contact: Aaron Nelson		
Member	Unit	Percent Interest
CCDC	Capitol & Myrtle Parking Garage (Unit 2)	35%
Raymond Management	Hampton Inn & Suites (Unit 1)	62.5%
Hendricks	Retail Units (Units 3 & 4)	2.5%
Condo Board Meetings		
Last Meeting	Next Meeting	Next Report Due
December 2019	TBD, October 2020	December 31, 2019
Issues/Comments:	To discuss breaking out business income insurance from association policy and next meeting.	

Front Street Condominium Association CCDC Contact: Aaron Nelson		
Member	Unit	Percent Interest
CCDC	9 th & Front Parking Garage	25.76%
GBAD		2.00%
Aspen Condominiums	Aspen Lofts	52.17%
Hendricks	BoDo Retail Units	20.07%

Condo Board Meetings		
Last Meeting/Report	Next Meeting	Next Report Due
November 7, 2019	TBD, November 2020	November 30, 2020
Issues/Comments:		

Block 22 Condominium Association CCDC Contact: Aaron Nelson		
Member	Unit	Percent Interest
CCDC	Capitol & Front Parking Garage	13.30%
Block 22	The Grove Hotel, CenturyLink Arena	86.70%
Condo Board Meetings		
Last Meeting/Report	Next Meeting	Next Report Due
July 21, 2020	TBD	March 31, 2021
Issues/Comments:		

Capitol Terrace Condominium Association CCDC Contact: Aaron Nelson		
Member	Unit	Percent Interest
CCDC	Capitol & Main Parking Garage	50%
Hawkins Companies	Main + Marketplace	50%
Condo Board Meetings		
Last Meeting/Report	Next Meeting	Next Report Due
February 12, 2020	TBD	February 28, 2021
Issues/Comments:		

Downtown Parking Condominiums Association CCDC Contact: Aaron Nelson		
Member	Unit	Percent Interest



CCDC	9 th & Main Parking Garage	93.51%
Les Bois Holdings, LLC	Commercial, Main Street side	2.03%
Eastman Building, LLC	Commercial, Idaho Street side	4.46%
Condo Board Meetings		
Last Meeting/Report	Next Meeting	Next Report Due
September 11, 2020	TBD	September 30, 2021
Issues/Comments:		

ACME Fast Freight Condominium Association CCDC Contact: Matt Edmond		
Member	Unit	Percent Interest
CCDC	11th & Front Parking Garage, 30.1% (Units 402, 403, 501, 502)	28.485%
Ball Ventures Ahlquist	11th & Front Parking Garage, 69.9% (Units 104, 015, 201, 202, 301, 302, 401)	66.490%
Boise Metro Chamber	Boise Chamber Offices (Units 101, 102, 203)	5.025%
Condo Board Meetings		
Last Meeting/Report	Next Meeting	Next Report Due
September 9, 2020	TBD	September 30, 2021
Issues/Comments:		

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VI. ADJOURN



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