

BOARD OF COMMISSIONERS MEETING June 12, 2023

BOISE, ID 83702

CAPITAL CITY DEVELOPMENT CORPORATION

Board of Commissioners Meeting Board Room, Fifth Floor, 121 N. 9th Street June 12, 2023, 12 p.m.

Virtual attendance via live stream available at https://ccdcboise.com/board-of-commissioners/

AGENDA

| | OALL TO ORDER | 01 : 11 |
|------|---|-------------------|
| ۱. | CALL TO ORDER | Chair Haney Keith |
| II. | ACTION ITEM: AGENDA CHANGES/ADDITIONS | Chair Haney Keith |
| | ACTION ITEM CONCENT ACENDA | |
| III. | ACTION ITEM: CONSENT AGENDA | |
| | A. Expenses 1. Approve Paid Invoice for Report May 2023 | |
| | B. Minutes and Reports1. Approve Meeting Minutes for May 8, 2023 | |
| | C. Other | |

IV. ACTION ITEM

1. FY2023 Q2 Financial Report (Unaudited)

V. ADJOURN

This meeting will be conducted in compliance with the Idaho Open Meetings Law and will allow both in-person and virtual attendance. In addition, consistent with the Center for Disease Control COVID-19 guidelines, people with symptoms, a positive test, or exposure to someone with COVID-19 should stay home or wear a mask. This meeting is being conducted in a location accessible to those with physical disabilities. Participants may request reasonable accommodations, including but not limited to a language interpreter, from CCDC to facilitate their participation in the meeting. For assistance with accommodation, contact CCDC at 121 N 9th St, Suite 501 or (208) 384-4264 (TTY Relay 1-800-377-3529).



III. CONSENT AGENDA



Paid Invoice Report
For the Period: 5/1/2023 through 5/31/2023

| Payee | Description | Payment Date | Amount |
|----------------------------|---|---------------------------|-----------------|
| Debt Service: | - | _ | |
| | | | |
| Payroll: | | Total Debt Payments: | |
| | | | |
| EFTPS - IRS | Federal Payroll Taxes | 5/3/2023 | 16,493.08 |
| Idaho State Tax Commission | State Payroll Taxes | 5/3/2023 | 2,353.00 |
| PERSI | Retirement Payment | 5/3/2023 | 22,424.41 |
| 457(b) | Retirement Payment | 5/3/2023 | 2,330.04 |
| CCDC Employees | Direct Deposits Net Pay | 5/3/2023 | 39,635.34 |
| EFTPS - IRS | Federal Payroll Taxes | 5/17/2023 | 16,358.06 |
| Idaho State Tax Commission | State Payroll Taxes | 5/17/2023 | 2,333.00 |
| CCDC Employees | Direct Deposits Net Pay | 5/17/2023 | 39,757.87 |
| PERSI | Retirement Payment | 5/17/2023 | 22,424.41 |
| 457(b) | Retirement Payment | 5/17/2023 | 2,330.04 |
| EFTPS - IRS | Federal Payroll Taxes | 5/31/2023 | 16,538.04 |
| Idaho State Tax Commission | State Payroll Taxes | 5/31/2023 | 2,333.00 |
| CCDC Employees | Direct Deposits Net Pay | 5/31/2023 | 39,757.85 |
| PERSI | Retirement Payment | 5/31/2023 | 22,424.40 |
| 457(b) | Retirement Payment | 5/31/2023 | 2,330.04 |
| | 11 | otal Payroll Payments: | 249,822.58 |
| Checks and ACH | | | |
| Various Vendors | Check and ACH Payments (See Attached) | May 2023 | 2,206,021.16 |
| | | | |
| | Total C | Cash Disbursements: | \$ 2,455,843.74 |
| | | | |
| I have reviewed | <mark>l and approved all cash disbursements in the</mark> | month listed above. | |
| | | | |
| . 01 | | | |
| Joey Chen | | John Brunell | e |
| Finance Director | <u> </u> | Executive Director | • |
| June 6, 2023 | | 6/5/23 | |
| Date | <u></u> | Date | |

Report Criteria:

Detail report type printed

| Vendor Number | Name | Invoice Number | Description | Invoice Date | Amount | Check Number | Check Issue Date |
|------------------|----------------------------|-------------------|-------------------------------|-----------------|--------------|-----------------|---------------------|
| 4218 | 1744-1746 W Main Street | FY23 T1 PO | 1744 W Main St - W End F | 05/18/2023 | 36,413.00 | 64369 | 05/26/2023 |
| Tota | al 4218: | | | | 36,413.00 | | |
| 4223 | 17th and Idaho Investment, | FY23 T5 PO | 1721 W Idaho St - The Mar | 05/17/2023 | 1,152,180.33 | 12925 | 05/31/2023 |
| Tota | al 4223: | | | | 1,152,180.33 | | |
| 4136 | Abbey Louie LLC | 331 | Management Training FY2 | 04/24/2023 | 5,000.00 | 12926 | 05/31/2023 |
| Tota | al 4136: | | | | 5,000.00 | | |
| 3659 | Ada County | APR 2023 #1 | Apr 2023 Master Ground | 04/01/2023 | 13,133.50 | 64370 | 05/26/2023 |
| | | APR 2023 #1 | • | 04/01/2023 | 14,669.50 | 64370 | 05/26/2023 |
| | | APR 2023 #2 | Apr 2023 Master Ground | 04/01/2023 | 32,600.00 | 64370 | 05/26/2023 |
| | | APR 2023 #2 | Apr 2023 Surplus Ground | 04/01/2023 | 13,515.00 | 64370 | 05/26/2023 |
| Tota | al 3659: | | | | 73,918.00 | | |
| 1139 | American Cleaning Service | 1071 | Hampton Inn - Garage Win | 04/18/2023 | 440.00 | 12907 | 05/30/2023 |
| Tota | al 1139: | | | | 440.00 | | |
| 3838 | American Fire Protection L | 14680 #2 | City Parking Fee | 04/01/2023 | 20.00 | 64371 | 05/26/2023 |
| | | 14865 | Monthly pump inspection & | 04/26/2023 | 200.00 | 64371 | 05/26/2023 |
| | | 14906 | WO #8025 Relocation of s | 04/28/2023 | 3,250.00 | 64371 | 05/26/2023 |
| | | 14913 | Pin hole leak on 3rd floor of | 05/02/2023 | 962.50 | 64371 | 05/26/2023 |
| Tota | al 3838: | | | | 4,432.50 | | |
| 1316 | Blue Cross of Idaho | 2310150007 | Health Insurance - May 20 | 05/01/2023 | 30,483.00 | 64354 | 05/01/2023 |
| Tota | al 1316: | | | | 30,483.00 | | |
| 4224 | Blueprint Specialties | 2023-5324 | URD District Maps | 05/03/2023 | 8,592.00 | 12927 | 05/31/2023 |
| 4224 | ычерин орестаниея | | · | | | | |
| | | ∠∪∠3-5855 | Foam Core Prints | 05/15/2023 | 699.00 | 12927 | 05/31/2023 |
| Tota | al 4224: | | | | 9,291.00 | | |
| 1385 | Boise City Utility Billing | X1177MAY23 | 848 Main St # 0447416001 | 05/01/2023 | 9.32 | 12943 | 05/26/2023 |
| Tota | al 1385: | | | | 9.32 | | |
| 1418 | Boise Metro Chamber of C | 5820183 | Leadership Boise Program | 05/01/2023 | 2,500.00 | 12908 | 05/30/2023 |
| Tota | al 1418: | | | | 2,500.00 | | |
| 2016 | Capitol Landscape Inc. | 0//102023 | 9th & Main repair pavers | 04/10/2023 | 490.00 | 12909 | 05/30/2023 |
| 5010 | ouplior Europoupe IIIo. | | Capitol Landscape Sidewal | 04/10/2023 | 440.00 | 12909 | 05/30/2023 |
| Tota | al 3816: | | | | 930.00 | | |
| 3710 | Car Park | MADOO | 10th & Front - Grove | 03/31/2023 | 25,573.84 | 12928 | 05/31/2023 |
| 37 12 | Jul 1 air | | 9th & Front - City Centre | 03/31/2023 | 41,010.73 | 12928 | 05/31/2023 |
| | | | | | | | |

| endor umber | Name | Invoice Number | Description | Invoice Date | Amount | Check Number | Check Issue Date |
|----------------|-----------------------------|-------------------|-----------------------------|-----------------|------------|-----------------|---------------------|
| | | MAR23 | 9th & Main - Eastman | 03/31/2023 | 30,857.61 | 12928 | 05/31/2023 |
| | | MAR23 | Cap & Main - Cap Terrace | 03/31/2023 | 45,036.98 | 12928 | 05/31/2023 |
| | | MAR23 | Cap & Myrtle - Myrtle | 03/31/2023 | 20,815.75 | 12928 | 05/31/2023 |
| Tota | al 3712: | | | | 163,294.91 | | |
| 1556 | Caselle Inc. | 123861 | Contract support - May 202 | 05/01/2023 | 748.00 | 64355 | 05/01/2023 |
| Tota | al 1556: | | | | 748.00 | | |
| 1595 | City of Boise | IL2070 | Trash - WS | 03/31/2023 | 195.13 | 64372 | 05/26/2023 |
| | | IL2070 | Trash - RMOB | 03/31/2023 | 396.17 | 64372 | 05/26/2023 |
| | | IL2092 | Trash - RMOB | 04/30/2023 | 371.58 | 64372 | 05/26/2023 |
| | | IL2092 | Trash - WS | 04/30/2023 | 183.01 | 64372 | 05/26/2023 |
| Tota | al 1595: | | | | 1,145.89 | | |
| 4116 | Civil Survey Consultants In | 22018-10 | Eisenman Rd. Pedestrian | 04/30/2023 | 8,843.00 | 12929 | 05/31/2023 |
| Tota | al 4116: | | | | 8,843.00 | | |
| 4213 | Clapier Construction Comp | 10880 | 11th Street Zayo Vault Adju | 05/09/2023 | 2,900.00 | 64373 | 05/26/2023 |
| Tota | al 4213: | | | | 2,900.00 | | |
| 1703 | CSHQA | 38917 | Bannock Street Streetscap | 04/15/2023 | 3,792.00 | 12910 | 05/30/2023 |
| Tota | al 1703: | | | | 3,792.00 | | |
| 1754 | Deluxe For Business | 2053498477 | Business Laser Checks | 05/08/2023 | 564.38 | 12944 | 05/08/2023 |
| Tota | al 1754: | | | | 564.38 | | |
| 1838 | Elam & Burke P.A. | 201559 | Block 68 | 03/31/2023 | 7,320.10 | 12930 | 05/31/2023 |
| | | 201560 | 101-0 General | 03/31/2023 | 676.95 | 12930 | 05/31/2023 |
| | | 201561 | 101-0 Legislative | 03/31/2023 | 325.00 | 12930 | 05/31/2023 |
| | | 202011. | State Street Plan | 04/30/2023 | 175.00 | 12930 | 05/31/2023 |
| | | 202012 | River Myrtle Termination | 04/30/2023 | 1,225.00 | 12930 | 05/31/2023 |
| | | 202013 | Block 68 | 04/30/2023 | 5,036.85 | 12930 | 05/31/2023 |
| | | 202014 | 101-0 General | 04/30/2023 | 775.00 | 12930 | 05/31/2023 |
| | | 202015 | 101-0 Legislative | 04/30/2023 | 51.65 | 12930 | 05/31/2023 |
| | | 202016 | WS District | 04/30/2023 | 100.00 | 12930 | 05/31/2023 |
| Tota | al 1838: | | | | 15,685.55 | | |
| 1982 | GGLO LLC | #20 2021031 | Linen Blocks on Grove St - | 04/30/2023 | 11,001.25 | 12931 | 05/31/2023 |
| Tota | al 1982: | | | | 11,001.25 | | |
| 4222 | Gilao Consulting, LLC | 4-APR23 | On-call professional servic | 04/30/2023 | 1,000.00 | 12911 | 05/30/2023 |
| Tota | al 4222: | | | | 1,000.00 | | |
| | | | | | | | |
| 2165 | Idaho Power | X6607 APR2 | 9th St outlets #220040660 | 04/30/2023 | 3.51 | 123938 | 05/23/2023 |

Vendor Invoice Amount Check Check Invoice Issue Date Number Name Number Description Date Number Total 2165: 7.02 3965 In The Bag Promotions Inc. 20492. CCDC Safety gear for site 04/01/2023 1,352.00 64374 05/26/2023 Total 3965: 1 352 00 2252 International Downtown As 283820 Member dues 7/1/23-6/30/ 05/08/2023 1,205.00 64375 05/26/2023 Total 2252: 1,205.00 3808 Jed Split Creative 2636. **Business Cards** 04/19/2023 164.20 64376 05/26/2023 Anniversary Gift 04/19/2023 64376 05/26/2023 2636. 239.40 Organization Chart 04/19/2023 207.10 64376 05/26/2023 2636. 2636. **ULI** Display 04/19/2023 167.20 64376 05/26/2023 2636. Print ads. ULI Article, Map 04/19/2023 64376 05/26/2023 114.15 2636. Shipping Fees 04/19/2023 37.45 64376 05/26/2023 2639 2023 - 2027 CIP Update & 03/31/2023 05/26/2023 962.35 64376 2641 2023 - 2027 CIP Update & 04/19/2023 64376 564.50 05/26/2023 Total 3808: 2,456.35 2288 Jensen Belts Associates 2105 CD-8 Old Boise Blocks on Grove 04/30/2023 23,867.50 12932 05/31/2023 2114 CA-9 11th Street Bikeway & Stre 04/30/2023 1,540.00 12932 05/31/2023 2114 CA-9 11th Street Bikeway & Stre 04/30/2023 1,540.00 12932 05/31/2023 11th Street Bikeway & Stre 04/30/2023 05/31/2023 2114 CA-9 4,895.00 12932 2114 CA-9 11th Street Bikeway & Stre 04/30/2023 3,225.00 12932 05/31/2023 60,816.59 2244-7 521 W Grove Public Space 04/30/2023 12932 05/31/2023 Total 2288: 95,884.09 3940 John Brunelle APR 26 2023 SV conference 2023 expen 04/26/2023 54.15 12906 05/10/2023 Total 3940: 54.15 05/30/2023 3913 Kimley-Horn and Associate 24443975 Block 68 Parking Consultin 12912 03/31/2023 1,690.00 24900623 Block 68 Parking Consultin 04/30/2023 2,340.00 12912 05/30/2023 Total 3913: 4,030.00 2360 Kittelson & Associates Inc. 0135129 5th/6th Two-Way Conversi 03/31/2023 4,962.98 12913 05/30/2023 Total 2360: 4.962.98 3950 McAlvain Construction Inc. 12101020-1 11th Street Bikeway & Stre 04/30/2023 278,454.14 12933 05/31/2023 12101020-2 11th Street Bikeway & Stre 04/30/2023 208,169.70 12933 05/31/2023 12101020-2 11th Street Bikeway & Stre 04/30/2023 3,747.00 12933 05/31/2023 Total 3950: 490,370.84 2186 McClatchy Company LLC 04/30/2023 05/30/2023 187597 Legal Notices 67 02 12914 Total 2186: 67.02 2774 Pro Care Landscape Mana 48639 Landscape Maintenance -04/30/2023 348.00 12915 05/30/2023 48640 Landscape Maintenance -04/30/2023 533.08 12915 05/30/2023 48641 Landscape Maintenance -04/30/2023 12915 05/30/2023 58.00

| Vendor Number | Name | Invoice Number | Description | Invoice Date | Amount | Check Number | Check Issue Date |
|------------------|----------------------------|----------------------------------|---|--|---|---|--|
| | | 48642 | Landscape Maintenance - | 04/30/2023 | 58.00 | 12915 | 05/30/2023 |
| Tota | al 2774: | | | | 997.08 | | |
| 2801 | Quality Electric Inc. | 23260.1 | 9th & Main Garage Stairwe | 05/05/2023 | 7,460.00 | 12934 | 05/31/2023 |
| Tota | al 2801: | | | | 7,460.00 | | |
| 3896 | Rim View LLC | MAY23 | Monthly Rent - Trailhead M | 05/01/2023 | 16,178.73 | 64356 | 05/01/2023 |
| Tota | al 3896: | | | | 16,178.73 | | |
| 3796 | Scheidt & Bachmann USA I | 50832 | Mar 2023 Merchant Fees | 03/31/2023 | 1,101.06 | 12916 | 05/30/2023 |
| Tota | al 3796: | | | | 1,101.06 | | |
| 3542 | Security LLC - Plaza 121 | 050123 MAR23 CAM MAY23 | CAM CY23 - May CAM CY22 & CY23 - Jan t Office rent | 05/01/2023 03/31/2023 05/01/2023 | 375.17 2,946.23 14,145.00 | 64377 64357 64357 | 05/26/2023 05/01/2023 05/01/2023 |
| Tota | al 3542: | | | | 17,466.40 | | |
| 3974 | Stability Networks Inc. | 44656 44679 44737 44737 | IT Services - FY23 Cisco Phone & Switch- Har SonicWall TZ300 Service R Azure Active Directory Pre Cisco Subscription Exchange Online M365 Apps for Business | 05/01/2023 04/27/2023 04/27/2023 04/30/2023 04/30/2023 04/30/2023 04/30/2023 | 3,471.50 1,309.35 954.18 6.00 5.84 40.00 446.30 | 12935 12935 12935 12935 12935 12935 12935 | 05/31/2023 05/31/2023 05/31/2023 05/31/2023 05/31/2023 05/31/2023 05/31/2023 |
| Tota | al 3974: | | | | 6,233.17 | | |
| 4109 | Syringa Networks LLC | 020339-MAY | internet & data | 05/01/2023 | 649.78 | 12917 | 05/30/2023 |
| Tota | al 4109: | | | | 649.78 | | |
| 4045 | Terracon Consultants Inc | TJ26195 | Block 68 Catalytic Redevel | 04/21/2023 | 3,950.00 | 12918 | 05/30/2023 |
| Tota | al 4045: | | | | 3,950.00 | | |
| 3831 | The Land Group Inc. | | Fulton Street Improvement Boise Canal Multi-Use Pat | 04/30/2023 04/30/2023 | 5,799.75 3,374.50 | 12936 12936 | 05/31/2023 05/31/2023 |
| Tota | al 3831: | | | | 9,174.25 | | |
| 4074 | The Potting Shed | | Interior Plant Maint. Interior Plant Maint. | 03/31/2023 04/30/2023 | 65.00 65.00 | 64378 64378 | 05/26/2023 05/26/2023 |
| Tota | al 4074: | | | | 130.00 | | |
| 3170 | Treasure Valley Coffee Inc | 2160-091853 | Water & Cooler Rental | 05/09/2023 | 106.00 | 12919 | 05/30/2023 |
| Tota | al 3170: | | | | 106.00 | | |
| 3233 | United Heritage | 02014-001 M | Disability insurance | 05/01/2023 | 1,781.78 | 64379 | 05/26/2023 |

| Vendor Number | Name | Invoice Number | Description | Invoice Date | Amount | Check Number | Check Issue Date |
|------------------|-----------------------------|-------------------|-----------------------------|-----------------|--------------|-----------------|---------------------|
| Tota | ıl 3233: | | | | 1,781.78 | | |
| | | | | | | | |
| 3835 | US Bank - Credit Cards | 04.25.2023 | Recruitment | 04/25/2023 | 2,543.19 | 12905 | 05/08/2023 |
| | | 04.25.2023 | office supplies | 04/25/2023 | 1,287.43 | 12905 | 05/08/2023 |
| | | 04.25.2023 | computer & software suppli | 04/25/2023 | 636.78 | 12905 | 05/08/2023 |
| | | 04.25.2023 | dues & subscriptions | 04/25/2023 | 455.00 | 12905 | 05/08/2023 |
| | | 04.25.2023 | Travel & meeting (non-local | 04/25/2023 | 237.44 | 12905 | 05/08/2023 |
| | | 04.25.2023 | Personnel Training (Local) | 04/25/2023 | 255.00 | 12905 | 05/08/2023 |
| | | 04.25.2023 | Local meetings | 04/25/2023 | 318.09 | 12905 | 05/08/2023 |
| | | 04.25.2023 | Professional Services Gen | 04/25/2023 | 269.44 | 12905 | 05/08/2023 |
| | | 04.25.2023 | 11th Street Rebuild | 04/25/2023 | 684.98 | 12905 | 05/08/2023 |
| | | 04.25.2023 | 521 Grove St. Downtown U | 04/25/2023 | 1,489.45 | 12905 | 05/08/2023 |
| | | 04.25.2023 | Banking & Merchant Fees | 04/25/2023 | 87.50 | 12905 | 05/08/2023 |
| | | 04.25.2023 | 10th & Front Garage Struct | 04/25/2023 | 3,032.49 | 12905 | 05/08/2023 |
| Tota | ıl 3835: | | | | 11,296.79 | | |
| 3242 | Veolia (Suez Water Idaho) | 0025APR23 | 437 S 9th St irri #06006688 | 04/30/2023 | 34.33 | 12939 | 05/30/2023 |
| | | 2853APR23 | Eastman #0600033719285 | 04/30/2023 | 81.99 | 12940 | 05/30/2023 |
| | | 4259 APR23 | 516 S 9th St irri #06006391 | 04/30/2023 | 39.59 | 12942 | 05/30/2023 |
| | | 8504APR23 | Grove & 10th #060035756 | 04/30/2023 | 78.51 | 12941 | 05/30/2023 |
| Tota | ป 3242: | | | | 234.42 | | |
| | | | | | | | |
| 4068 | Veritas Material Consulting | 2070 | 10th & Front Structural Da | 04/30/2023 | 520.00 | 12920 | 05/30/2023 |
| Tota | al 4068: | | | | 520.00 | | |
| 3841 | VoiceText Communications | CCDEVC-22 | Conference call on 2/13/20 | 04/01/2023 | 10.27 | 12921 | 05/30/2023 |
| | | CCDEVC-31 | 2022 Conference calls on 4 | 04/11/2023 | 40.88 | 12921 | 05/30/2023 |
| Tota | ıl 3841: | | | | 51.15 | | |
| 3997 | Wash Worx | INV-001189 | Bench Repair RMOB: 6th | 05/11/2023 | 700.00 | 12922 | 05/30/2023 |
| Tota | al 3997: | | | | 700.00 | | |
| 3365 | Westerberg & Associates | 269 | Legislative Advisement Ser | 04/30/2023 | 2,000.00 | 12923 | 05/30/2023 |
| Tota | al 3365: | | | | 2,000.00 | | |
| 3374 | Western States Equipment | IN002379496 | Bldg 8 generator inspection | 05/01/2023 | 762.84 | 64380 | 05/26/2023 |
| Tota | al 3374: | | | | 762.84 | | |
| 3990 | Xerox Corporation | 018875928 | Copier Lease | 04/30/2023 | 266.13 | 12924 | 05/30/2023 |
| Tota | ıl 3990: | | | | 266.13 | | |
| Gra | nd Totals: | | | | 2,206,021.16 | | |

MINUTES OF MEETING BOARD OF COMMISSIONERS CAPITAL CITY DEVELOPMENT CORPORATION

Board Room, Fifth Floor, 121 N. 9th Street Boise, ID 83702 May 8, 2023

I. CALL TO ORDER:

Chair Haney Keith convened the meeting with a quorum at 12:00 p.m.

Roll Call attendance taken:

Present: Commissioner John Stevens, Commissioner Ryan Erstad, Commissioner Todd Cooper, Commissioner Alexis Townsend, Commissioner Danielle Hurd, Commissioner Rob Perez, Commissioner Holli Woodings, and Commissioner Haney Keith.

Absent: Commissioner Lauren McClean.

Agency staff members present: John Brunelle, Executive Director; Doug Woodruff, Development Director; Joey Chen, Finance & Administration Director; Kevin Holmes, Project Manager – Property Development; Alexandra Monjar, Project Manager - Property Development; Karl Woods, Senior Project Manager – Capital Improvements; Jordyn Neerdaels, Communications Manager; Mary Watson, General Counsel; Sandy Lawrence, Executive Assistant; and Agency legal counsel, Meghan Sullivan Conrad.

Shawn Wilson, Public Works Deputy Director – City of Boise, attended the meeting.

II. ACTION ITEM: EXECUTIVE SESSION

A motion was made by Commissioner Stevens to move into Executive Session at 12:01 p.m. to deliberate regarding acquisition of an interest in real property which is not owned by a public agency; and to consider records that are exempt from disclosure as provided in chapter 1, title 74, Idaho Code pursuant to Idaho Code Section 74-206(1) (c) and (d).

Commissioner Woodings seconded the motion.

Roll Call:

Commissioner Hurd - Ave

Commissioner Townsend - Aye

Commissioner Stevens - Aye

Commissioner Perez - Aye

Commissioner Erstad - Ave

Commissioner Cooper - Ave

Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 8 - 0.

Discussion on Real Property Acquisition and Records Exempt from Disclosure occurred from 12:01 p.m. to 1:04 p.m.

A motion was made by Commissioner Haney Keith to adjourn the Executive Session at 1:04 p.m. and return to the public meeting.

Commissioner Stevens seconded the motion.

Roll Call:

Commissioner Hurd - Aye

Commissioner Townsend - Aye

Commissioner Stevens - Aye

Commissioner Perez - Aye

Commissioner Erstad - Aye

Commissioner Cooper - Aye

Commissioner Woodings - Ave

Commissioner Haney Keith - Aye

The motion carried 8 - 0.

IV. WORK SESSION:

A. Block 68 Catalytic Redevelopment Project Update

Alexandra Monjar, Project Manager - Property Development, gave a report.

III. ACTION ITEM: AGENDA CHANGES/ADDITIONS (was taken up out-of-order):

Commissioner Haney Keith noted an Amended Agenda was posted adding Action Item VI.C Considering the Designation of 212 S. 16th Street, Fire Station #5. Staff confirmed the Amended Agenda was posted more than forty-eight (48) hours prior to the start of the meeting.

Commissioner Stevens made a motion to approve the Amended Agenda.

Commissioner Perez seconded the motion.

Roll Call:

Commissioner Hurd - Aye

Commissioner Townsend - Aye

Commissioner Stevens - Aye

Commissioner Perez - Aye

Commissioner Erstad - Aye

Commissioner Cooper - Ave

Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 8 - 0.

V. ACTION ITEM: CONSENT AGENDA

A. Expenses

1. Approve Paid Invoice Report for April 2023

B. Minutes and Reports

1. Approve Meeting Minutes for April 10, 2023

C. Other

1. Approve Resolution 1821: 617 Ash St. Hayman House Public Improvements, Type 4 Participation Agreement with Boise City Department of Arts & History

Commissioner Stevens made a motion to approve the consent agenda.

Commissioner Perez seconded the motion.

Roll Call:

Commissioner Hurd - Aye
Commissioner Townsend - Aye
Commissioner Stevens - Aye
Commissioner Perez - Aye
Commissioner Erstad - Aye
Commissioner Cooper - Aye
Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 8 - 0.

VI. ACTION ITEM

A. CONSIDER: Appoint Block 68 Catalytic Redevelopment Project Review Committee

Commissioner Haney Keith addressed the establishment of a Block 68 Catalytic Redevelopment Project Review Committee and its charge. Commissioner Haney Keith nominated the following commissioners to the Block 68 Catalytic Redevelopment Project Review Committee, Commissioner Stevens, Commissioner Perez and Commissioner Haney Keith. The Agency Executive Director will also determine which Agency staff will be on the review committee.

Commissioner Erstad indicated he would like to nominate Commissioner Townsend to be one of the committee members given her vast architectural expertise and the work that she and her company have done within the public realm.

A discussion was held on the number of Commissioners assigned to the committee and the make-up of the committee.

Following discussion, Commissioner Haney Keith stated that on the advice of counsel, the review committee would include three commissioners and that based on an evaluation of the needed expertise on this review committee, she would like to retain her motion to nominate the following commissioners to serve on the review committee: Commissioner Stevens, Commissioner Perez and Commissioner Haney Keith.

Commissioner Perez seconded the motion.

Roll Call:

Commissioner Hurd - Aye
Commissioner Townsend - Aye
Commissioner Stevens - Aye
Commissioner Perez - Aye
Commissioner Erstad - Aye
Commissioner Cooper - Aye
Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 8 - 0.

B. CONSIDER: Designation: 114 N. 23rd St., New Path 2 Apartments. Type 3 Transformative Assistance with Pacific West Communities, Inc

Commissioner Erstad recused himself from discussion and the vote on this agenda item due to being on the architectural project team.

Kevin Holmes, Project Manager – Property Development, gave a report.

Commissioner Woodings moved to designate New Path 2 as eligible for Type 3 Transformative Assistance and directed the Agency to negotiate a final Agreement with Pacific West Communities, Inc. for future board approval.

Commissioner Perez seconded the motion.

Roll Call:

Commissioner Hurd - Aye

Commissioner Townsend - Aye

Commissioner Stevens - Aye

Commissioner Perez - Aye

Commissioner Erstad - Abstain

Commissioner Cooper - Aye

Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 7 - 0 - 1.

C. CONSIDER: Designation: 212 S. 15th St., Fire Station #5. Type 4 Capital Project Coordination with City of Boise Public Works.

Commissioner Erstad recused himself from discussion and the vote as he has an interest in real property that adjoins the alley.

Karl Woods, Senior Project Manager – Capital Improvements and Shawn Wilson, Public Works Deputy Director – City of Boise, gave a report.

Commissioner Perez moved to designate 212 S. 16th St., Fire Station #5 as a project eligible to utilize the Type 4 assistance and directed the Agency to negotiate a final agreement with City of Boise Public Works for future Board Approval.

Commissioner Hurd seconded the motion.

Roll Call:

Commissioner Hurd - Aye

Commissioner Townsend - Aye

Commissioner Stevens - Aye

Commissioner Perez - Ave

Commissioner Erstad - Abstain

Commissioner Cooper - Ave

Commissioner Woodings - Aye

Commissioner Haney Keith - Aye

The motion carried 7 - 0-1.

VII. MEETING ADJOURNMENT

There being no further business to come before the Board, a motion was made by Commissioner Perez to adjourn the meeting. Commissioner Erstad seconded the motion.

The meeting was adjourned at 1:54 p.m.

| ADOPTED BY THE BOARD OF DIRECTORS OF THE CAPITAL CITY DEVELOPMENT CORPORATION ON THE 12th DAY OF JUNE 2023. |
|---|
| CONTOUNT OF THE TEAT BATT OF CONTENTS. |
| Latonia Haney Keith, Chair |
| John Stevens, Vice Presiden |



FY2023 Year-To-Date Financial Report (Unaudited) Through SECOND QUARTER

October 1, 2022 - March 31, 2023



FY2023 Q2 Financial Report (Unaudited)

October 1, 2022 - March 31, 2023

REVENUES:

Actual tax increment revenue for the first two quarters totaled \$13.9 million or 53% of the annual budgeted tax increment revenue for FY2023. On the consolidated level (totaling all six districts), this is 12% less than originally budgeted for by this point in the fiscal year. This variation from budget is the result of final levy rates coming in at approximately a 20% decrease from the previous year, instead of the 10% decrease assumption used in the development of the FY2023 budget. FY2023 revenue will be formally amended during the upcoming budget season.

Total parking revenues were approximately \$4.5 million or 53% of the total annual budget amount at the end of the second quarter. Overall, parking revenues continue to track very closely with what was budgeted for FY2023.

Miscellaneous revenues totaled \$534k as of the end of the second quarter. This revenue line item is higher than originally budgeted for due to higher interest earned on investments held in the Local Government Investment Pool (LGIP).

EXPENSES:

At the end of the second quarter, total expenses for the Agency were 23% of the annual budget amount.

- Capital Outlay: Expenditures through the second quarter were 21% of the annual budget. Most of the expenses for capital projects hit during the construction season, which corresponds with the Agency's third and fourth quarters. Significant projects to note include Rebuild 11th Street Blocks, Rebuild Linen Blocks on Grove Street, and Old Boise Blocks on Grove Street.
- Contractual Obligations: Per contract terms, most Type 2 and Type 3 Participation Program payments occur during the fourth guarter of the fiscal year.

ABOUT THIS REPORT. This report includes all budgeted Agency funds. **Revenues**

- Ada County distributes property tax revenue to local governments monthly as received; however, almost 99% of the total budgeted amount is distributed twice a year in January (about 60%) and in July (about 40%) after property tax due dates (December and June).
- Parking garage revenue is generated and received daily throughout the year.
- Fund Balance: Transfer-in if revenues exceed expenses, transfer-out if expenses exceed revenues.

Expenses

- Capital projects are typically designed and planned during the first half of a fiscal year with construction and most expenses occurring in the second half.
- Revenues received from sub-lessee Civic Plaza are equal to the expenses distributed to Ada County for the Ada County Courthouse Master/Surplus Ground Lease. They are passed through only.

| FY2023 ORIGINAL BUDGET REVENUE SUMMARY | | FY2023 Total (Original) Budget | | FY2023 Q2 Actual | % Actual to Total Budget |
|--|---------|-----------------------------------|----|---------------------|-----------------------------|
| Revenue from Operations | | | | | |
| Revenue Allocation (Tax Increment) | | 26,080,000 | | 13,899,864 | 53% |
| Parking Revenue | | 8,478,132 | | 4,529,365 | 53% |
| Other Revenues (Various Reimbursements) | | 5,671,341 | | 3,005,655 | 53% |
| Subtotal | \$ | 40,229,473 | \$ | 21,434,884 | 53% |
| Other Sources | | | | | |
| Misc. Revenues (Grants/Leases/Property Transactions) | | 184,086 | | 533,718 | 290% |
| Use of (Transfer to) Working Capital Fund | | 19,161,223 | | (8,509,164) | -44% |
| Subtotal | \$ | 19,345,309 | \$ | (7,975,446) | -41% |
| Subtotal - Revenue from Operations | \$ | 59,574,783 | \$ | 13,459,438 | 23% |
| Pass-Through Revenue | | | | | |
| Ada County Courthouse Corridor Leases | | 428,212 | | 55,606 | 13% |
| Subtotal | \$ | 428,212 | \$ | 55,606 | 13% |
| TOTAL REVENUE | \$ | 60,002,995 | \$ | 13,515,044 | 23% |
| EXPENSE SUMMARY | | Y2023 Total iginal) Budget | | FY2023 Q2 Actual | % Actual to Total Budget |
| | (0.1 | .ga., Daagot | | 7101001 | rotar Zaagot |
| Operating Expense | | | | | / |
| Services & Operations | | 2,965,569 | | 1,495,609 | 50% |
| Personnel Costs | | 2,998,000 | | 1,348,491 | 45% |
| Facilities Management | | 977,354 | | 423,298 | 43% |
| Professional Services | | 1,357,210 | | 262,526 | 19% |
| Subtotal | \$ | 8,298,133 | \$ | 3,529,924 | 43% |
| Debt Service & Contractual Obligations | | | | | |
| Debt Service | | 170,000 | | 85,000 | 50% |
| Contractual Obligations (part of CIP) | | 5,709,031 | | 157,500 | 3% |
| Subtotal | \$ | 5,879,031 | \$ | 242,500 | 4% |
| Capital Outlay | | | | | |
| Office Furniture/Computer Equipment | | 45,000 | | 20,053 | 45% |
| Capital Improvement Projects (part of CIP) | | 42,593,119 | | 9,357,421 | 22% |
| Parking Reinvestment Plan (PRP) | | 2,520,000 | | 211,744 | 8% |
| Mobility Projects | <u></u> | 239,500 | | 97,796 | 41% |
| Subtotal | \$ | 45,397,619 | \$ | 9,687,014 | 21% |
| Subtotal - Expenses for Operations | \$ | 59,574,783 | \$ | 13,459,438 | 23% |
| Pass-Through Expense | | | | | |
| Ada County Courthouse Corridor Leases | | 428,212 | | 55,606 | 13% |
| Subtotal | \$ | 428,212 | \$ | 55,606 | 13% |
| TOTAL EXPENSE | \$ | 60,002,995 | \$ | 13,515,044 | 23% |
| | | | • | · · · | |

FY2023 Q2 OPERATING REVENUES

QUARTERLY REVENUE REPORT PROPERTY TAX REVENUE ALLOCATION DISTRICT (RAD) & PARKING SYSTEM SUMMARY October 2022 - March 2023

| | FY 2022 | FY 2023 | FY 2023 | | | | |
|-------------------------------------|------------|------------|------------|------------|-------------|------------|--|
| | Total | Total | YTD | YTD | YTD | YTD | |
| Activity | Actual | Budget | Budget | Actual | Variance \$ | Variance % | |
| TIF BY DISTRICT | | | | | | | |
| River-Myrtle / Old Boise | 10,879,908 | 12,880,000 | 7,575,713 | 6,917,887 | (657,826) | -9% | |
| Westside | 4,295,431 | 4,810,000 | 2,805,004 | 2,483,389 | (321,616) | -11% | |
| 30th Street | 1,050,607 | 1,450,000 | 852,157 | 770,167 | (81,990) | -10% | |
| Shoreline | 483,242 | 620,000 | 343,203 | 324,136 | (19,066) | -6% | |
| Gateway East | 2,425,378 | 5,210,000 | 3,602,410 | 2,866,071 | (736, 338) | -20% | |
| State Street | 0 | 1,110,000 | 666,000 | 538,214 | (127,786) | -19% | |
| | | | | | | | |
| TOTAL RAD | 19,134,567 | 26,080,000 | 15,844,487 | 13,899,864 | (1,944,623) | -12% | |
| PARKING BY GARAGE | | | | | | | |
| 9th & Main (Eastman) | 1,562,609 | 1,649,994 | 873,886 | 850,731 | (23, 155) | -3% | |
| Capitol & Main (Cap Terrace) | 2,215,614 | 2,098,617 | 1,066,432 | 1,136,195 | 69,763 | 7% | |
| 9th & Front (City Centre) | 1,615,914 | 1,819,529 | 929,163 | 992,110 | 62,947 | 7% | |
| 10th & Front (Grove St.) | 1,173,178 | 1,280,855 | 637,507 | 744,324 | 106,817 | 17% | |
| Capitol & Myrtle (Myrtle St.) | 939,262 | 1,047,265 | 520,136 | 500,524 | (19,612) | -4% | |
| 11th & Front (CCDC's portion 30.1%) | 373,351 | 421,923 | 206,659 | 221,254 | 14,595 | 7% | |
| Misc. Parking | 407,881 | 159,950 | 79,975 | 84,227 | 4,252 | 5% | |
| | | | | | | | |
| TOTAL PARKING | 8,287,809 | 8,478,132 | 4,313,758 | 4,529,365 | 215,607 | 5% | |
| Other | 1,877,505 | 5,671,341 | 2,835,671 | 3,005,655 | 169,985 | 6% | |
| TOTAL | 29,299,881 | 40,229,473 | 22,993,915 | 21,434,884 | (1,559,031) | -7% | |

RECONCILIATION TO FY2023 BUDGETED OPERATING REVENUES

| RECONCILIATION TO THE TELEGRAPHIC REVENUES | |
|--|--------------|
| Total Revenues Approved Budget | \$60,002,995 |
| Ada County Courthouse Master/Surplus Ground Lease (passed-through) | (428,212) |
| Use of Fund Balance | (19,161,223) |
| Bond Financing Proceeds | 0 |
| Miscellaneous Revenue (Lease, Property Transactions) | (184,086) |
| Operating Revenues | \$40,229,473 |
| | |

| | General Fund | River Myrtle District RA Fund | Westside District RA Fund | 30th Street District RA Fund | Shoreline District RA Fund | Gateway East District RA Fund | State Street District RA Fund | Parking Fund | Total Governmental Funds |
|---|-------------------|----------------------------------|------------------------------|---------------------------------|-------------------------------|----------------------------------|----------------------------------|--------------|--------------------------------|
| ASSETS | | | | | | | | | |
| Cash and investments | 1,300,000 | 28,808,880 | 9,641,703 | 2,535,528 | 1,017,366 | 5,276,958 | 437,916 | 14,381,968 | 63,400,319 |
| Accounts receivable | 5,483 | 211,431 | 1,120,336 | - | - | - | - | 15,043 | 1,352,293 |
| Interest receivable | 77,914 | - | - | - | - | - | - | - | 77,914 |
| Taxes receivable | - | 4,064,694 | 1,632,320 | 409,744 | 208,489 | 1,596,049 | 315,450 | - | 8,226,746 |
| Leases receivable | - | - | 49,123 | - | - | - | - | 707,113 | 756,236 |
| Prepaids | - | 15,250 | - | - | - | - | - | - | 15,250 |
| Restricted cash | | - | - | | | | | 506,805 | 506,805 |
| Property held for resale or development | | 1,803,331 | 7,152,327 | | | | | | 8,955,658 |
| Total assets | 1,383,397 | 34,903,586 | 19,595,809 | 2,945,272 | 1,225,855 | 6,873,007 | 753,366 | 15,610,929 | 83,291,221 |
| LIABILITIES, DEFERRED INFLOW OF RESOURC | ES AND FUND BALAI | NCES | | | | | | | |
| Accounts payable | 43,347 | 672,152 | 733,797 | 1 | 2,773 | 4,980 | _ | 323,540 | 1,780,590 |
| Accrued liabilities | 220,443 | - | - | _ | _, | - | _ | - | 220,443 |
| Advanced revenues | - | - | _ | _ | _ | _ | _ | _ | - |
| Refundable deposits | | | 51,272 | | | | | | 51,272 |
| Total liabilities | 263,790 | 672,152 | 785,069 | 1 | 2,773 | 4,980 | - | 323,540 | 2,052,305 |
| DEFERRED INFLOWS OF RESOURCES | | | | | | | | | |
| Unavailable property tax | - | 4,064,694 | 1,632,320 | 409,744 | 208,489 | 1,596,049 | 315,450 | | 8,226,746 |
| Lease related | | | 49,076 | | | | | 694,622 | 743,698 |
| Total deferred inflows of resources | - | 4,064,694 | 1,681,396 | 409,744 | 208,489 | 1,596,049 | 315,450 | 694,622 | 8,970,444 |
| FUND BALANCES | | | | | | | | | |
| Nonspendable | - | 1,818,581 | 7,152,327 | - | - | - | - | - | 8,970,908 |
| Restricted | - | 28,348,159 | 9,977,017 | 2,535,527 | 1,014,593 | 5,271,978 | 437,916 | 6,763 | 47,591,953 |
| Committed | - | - | - | - | - | - | - | 500,000 | 500,000 |
| Assigned | - | - | - | - | - | - | - | 14,086,004 | 14,086,004 |
| Unassigned | 1,119,607 | | | | | | | | 1,119,607 |
| Total fund balances | 1,119,607 | 30,166,740 | 17,129,344 | 2,535,527 | 1,014,593 | 5,271,978 | 437,916 | 14,592,767 | 72,268,472 |
| TOTAL LIABILITIES DEFERRED INFLOWS OF RESOURCES AND FUND BALANCES | 1,383,397 | 34,903,586 | 19,595,809 | 2,945,272 | 1,225,855 | 6,873,007 | 753,366 | 15,610,929 | 83,291,221 |

FUND BALANCE DEFINITIONS

Nonspendable: cannot be spent because they are not in spendable form or are legally or contractually required to remain intact.

Restricted: can be spent for only stipulated purposes as determined by law or external resource providers.

Committed: can be spent for only specific purposes as determined by formal CCDC Board action.

Assigned: intended for specific purposes but not committed or restricted.

Unassigned: all other funds; typically the General Fund.



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IV. ACTION ITEMS



AGENDA BILL

| Agenda Subject: | Dat | te: |
|-----------------|-----|-----|
| Agenda Subject: | Dat | |

CONSIDER: Approve Block 69 North Workforce Housing Development June 12, 2023 Project Unit Documentation and Schematic Design Documentation

Alexandra Monjar, 1) Agency Findings and Recommendation 2) Developer Submission, dated April 28, 2023 Project Manager

Action:

Approve the Unit Documentation and Schematic Design Documentation required by the Block 69 North Disposition and Development Agreement with Block 69 North Development LLC, and direct Agency staff to set forth the Agency Board's position in writing.

Background:

In May 2021 CCDC published the Block 68 Catalytic Redevelopment Project Request for Proposals (RFP) with the intent to catalyze the development of housing, improve and utilize downtown mobility infrastructure, and spur economic development in the Westside District. The RFP offered two properties (421 N. 10th St. and 1010 W. Jefferson St.) and participation in public infrastructure and purchase of a Mobility Hub. The Agency expected proposals to deliver a minimum of 225 units of housing with 155 rent restricted units (25 and 130 units at rates affordable to households earning 80% or 120% Area Median Income, respectively), integrate and enhance mobility plans and infrastructure, improve the urban environment, and catalyze further private investment in the area.

In December 2021 the CCDC Board selected the proposal from a development team led by Edlen & Co. and deChase Miksis (Developer), referred to herein as the Joint Proposal, and entered into an Agreement to Negotiate Exclusively with the team on March 14, 2022. The Parties executed a Disposition and Development Agreement (DDA) for the proposed Workforce Housing Project on Block 69 North facilitated by a land exchange with the YMCA on October 10, 2022.

Developer Submission:

Pursuant to sections 4.5 and 8.5 of the DDA, the Developer submitted Unit Documentation and Schematic Design Documentation to the Agency on April 28, 2023. The attached submission includes: written narrative and updates, drawings, unit mix details, and an updated development schedule.

The submission cover letter requests the Agency consider additional support via adjusted participation terms. Although mentioned in the submission cover letter, the adjusted participation request is separate from this Unit Mix and Schematic Design review process.

Unit Documentation and Schematic Design Documentation:

A preliminary presentation of these submissions was shared with the Board at its meeting on May 8, 2023, and the Developer and Agency met on May 10th within the time required by the DDA to

discuss Agency staff comments to the Schematic Design Drawings before Agency staff requested Board consideration of the Schematic Design Documents.

The DDA stipulates that Agency Board approval, following receipt of a complete submission, will not be unreasonably withheld, conditioned, or delayed so long as the submission material is consistent with the intent of the Joint Proposal, RFP and DDA goals to provide housing attainable to Boise's workforce, and the overall success of the Project as contemplated by such documents. Board approved Unit Documentation and Schematic Design Documentation will become the standard of design to which future Developer submissions required by the DDA including the Design Development Drawings and Final Construction Documents will be compared and evaluated for approval by the Executive Director. The DDA stipulates that if the Developer makes any substantial changes to the design, as defined in Section 8.11, these may require additional Agency Board approval.

The DDA allows the Developer to continually revise the design of the Workforce Housing Project as the Developer seeks design review approval from the City of Boise. The Developer will share any revised drawings and plans with the Agency at the time of their submission to the City and will submit any changes that may subsequently be required. If there is any "substantial change", as defined in Section 8.11 of the DDA, to the Unit Documentation, Schematic Design Documentation or drawings following CCDC Board approval, such changes may require additional Agency Board approval. Otherwise, revisions required by the City will be presumed to have Agency approval.

As more fully described in the enclosed report, Agency staff recommends approval of the Unit Documentation and the Schematic Design Documentation subject to the conditions set forth in the attached report.

Next Steps:

Developer will proceed with submitting the design review application to the City of Boise.

Upon Board approval of the Schematic Design Documentation, the Developer will submit to the Agency any additional information needed to perform a Reuse Appraisal of the Block 69 North Workforce Housing Project pursuant to Section 5 of the DDA to determine its Residual Land Value and the adjusted Purchase Price.

As discussed at the CCDC Board Meeting in May 2023, the Developer's Schematic Design Documentation included a request for revised timelines. The Agency and Developer are negotiating a revised schedule of performance for the project and anticipate requesting Board approval of a new schedule via an amendment to the DDA at a future Board Meeting.

Pursuant to Section 11 of the DDA, Agency staff also plan to bring a Type 4 Agreement for the Block 69 North Workforce Housing Project to the Board for approval at its July meeting. Agency staff and the Developer are finalizing the draft agreement and estimate of eligible expenses which will establish the not-to-exceed amount for reimbursement.

Fiscal Notes:

Approval of the Unit Documentation or Schematic Design Documentation has no impact on the Agency's planned participation in this project.

Suggested Motion:

I move to approve the Block 69 North Workforce Housing Development Unit Documentation and Schematic Design Documentation, subject to certain conditions and exceptions, as described in the Agency Findings and Recommendation and direct Agency staff to set forth the Agency Board's position in writing.

Agency Findings and Recommendation

Block 69 North Workforce Housing Development, Unit Documentation and Schematic Design Documentation

EXECUTIVE SUMMARY:

The Block 69 North Disposition and Development Agreement (DDA) between CCDC and Block 69 North Development LLC (Developer) and executed on October 10, 2022, requires Board approval of Unit Documentation as defined in Section 4.5 and Schematic Design Documentation as defined in Section 8.5. The submission and subsequent Agency Board approval, conditional approval, or disapproval of these packages are required to ensure that the Workforce Housing Project design is progressing in alignment with the intent of the Joint Proposal and RFP goals to provide Workforce Housing and the overall success of the Project as contemplated by the RFP and the Joint Proposal, as well as compliance with the terms and conditions established in the DDA.

This report summarizes and assesses differences between the design included in the Developer's Joint Proposal or the design as revised at the time of DDA execution (DDA Revision), and the design included in the Unit Documentation and Schematic Design Documentation as submitted by the Developer to the Agency on April 28, 2023.

As described more fully in this report, the Agency recommends approval of the Unit Documentation and Schematic Design Documentation with the following conditions:

- Ground floor heights of 12 feet, six inches on the east side and 13 feet, six inches on the
 west side of project site are acceptable exceptions to the 14 feet requirement stated in the
 RFP and DDA.
- The cover letter request for additional support via adjusted participation terms is not part
 of the Unit Documentation or Schematic Design Documentation review, findings, or
 recommendations and is not deemed addressed in anyway by the recommended action
 stated herein.
- The provided project schedule adjusted intermediate milestones while maintaining the original completion date. Agency acknowledges receipt of the schedule and requests the Developer work in good faith with Agency to amend the DDA performance schedule to accommodate the submitted schedule and other milestones related to the associated land exchange agreement.

UNIT DOCUMENTATION:

The Block 69 North Unit Documentation includes the proposed final unit mix and affordability matrix, representative unit layouts and minimum square feet of each unit type, and general representations of interior finishes. It is intended to ensure that the design of the Workforce Housing Project continues to meet goals and requirements related to the RFP priority to Grow Our Housing. The RFP called for a minimum of 225 housing units including 155 with restricted rents and thoughtful project and unit design that improves resident quality of life.

Unit Mix and Affordability Matrix:

The following chart from the Developer's submission shows the proposed final unit mix and affordability matrix included in the Unit Documentation (or Schematic Design) alongside the unit mix submitted in the Joint Proposal (Proposal Submission) and DDA Revision. Note the unit mix in the Schematic Design has been simplified and no longer includes the "Micro Studio" or "One Bedroom + Den" layouts from the DDA Revision and in this report, "Open 1 Bedroom" layouts are considered to be studio units.

| 80% AMI Comparison | Proposal Submission | DDA Revision | Schematic Design |
|------------------------|----------------------------|--------------|------------------|
| Micro Studio | n/a | 3 | n/a |
| Studio | 12 | 3 | 5 |
| Open 1 Bedroom | n/a | 3 | 7 |
| One Bedroom | 10 | 8 | 8 |
| One Bedroom + Den | n/a | 2 | n/a |
| Two Bedroom | 3 | 6 | 5 |
| Total | 25 | 25 | 25 |
| 120% AMI Comparison | Proposal Submission | DDA Revision | Schematic Design |
| Micro Studio | n/a | 17 | n/a |
| Studio | 63 | 15 | 24 |
| Open 1 Bedroom | n/a | 15 | 38 |
| One Bedroom | 53 | 41 | 42 |
| One Bedroom + Den | n/a | 12 | n/a |
| Two Bedroom | 14 | 30 | 26 |
| Total | 130 | 130 | 130 |
| Market Rate Comparison | Proposal Submission | DDA Revision | Schematic Design |
| Micro Studio | n/a | 8 | n/a |
| Studio | 32 | 7 | 19 |
| Open 1 Bedroom | n/a | 7 | 31 |
| One Bedroom | 26 | 20 | 34 |
| One Bedroom + Den | n/a | 6 | n/a |
| Two Bedroom | 7 | 14 | 21 |
| Total | 65 | 62 | 105 |

Summarized Findings:

- The total unit count in the Schematic Design increased from 217 units included in the DDA revised design to 260 units, with the number of rent restricted units unchanged.¹
- The majority of the 43 additional market rate units are studios which shifted the overall unit mix, i.e., the unit mix by percentage in the Unit Documentation is 48% studios, 32% one-bedrooms, and 20% two-bedrooms, whereas the DDA Revision mix was 36% studios, 41% one-bedrooms, and 23% two-bedrooms.
- The Developer has proportionally distributed unit types in each rent category since the Joint Proposal, so this has resulted in an increased number of rent restricted studios and reduced number of rent restricted one- and two-bedrooms in the Schematic Design.

- Despite this adjustment of the unit mix and affordability matrix, the number of rentrestricted, two-bedroom units in the Schematic Design continues to be nearly double the number included in the Joint Proposal.

¹Rent restricted units include 25 and 130 units with rents respectively restricted to 30% of 80% and 120% of Area Median Income (AMI) or less.

Unit Layouts, Interior Finishes, and Minimum Unit Square Feet:

To evaluate the quality of design requested by the RFP, developers were asked to include precedent unit layouts and finishes in their proposals and to meet certain quantitative design criteria including minimum square feet by unit type and nine-foot ceilings.

Unit layouts in the Schematic Design have been simplified from the variety of types anticipated in the DDA Revision. There are now a proposed total of nine different unit layouts including four studio types-two of which the Developer describes as "urban one-bedroom" units, three one-bedroom types, and two two-bedroom types. Layout drawings and precedent images of interior finishes are included in the enclosed Schematic Design Drawings and project plans.

The following chart from the Unit Documentation shows the minimum square footage of each unit type in the various design packages. The RFP requested studios be 550 square feet, one-bedrooms 650 square feet, and two-bedrooms 850 square feet in support of the goal to facilitate a high quality of life for future tenants.

| | Proposal Submission | DDA Revision | Schematic Design |
|-------------------|---------------------|--------------|------------------|
| By Type: (SF) | | | |
| Micro Studio | n/a | 371 | n/a |
| Studio | 550 | 474 | 455 |
| Open 1 Bedroom | n/a | 550 | 541 |
| One Bedroom | 650 | 630 | 636 |
| One Bedroom + Den | n/a | 675 | n/a |
| Two Bedroom | 850 | 950 | 850 |
| Average Unit Size | 623 | 647 | 617 |

Summarized Findings:

- Unit layouts and precedent interior design images representing the general quality of interior finishes which are consistent with those included in the Joint Proposal and shared by the Developer with the Agency as part of the DDA Revision.
- As design has progressed and the project's floor plans and unit layouts have been refined, the average unit size has decreased slightly, but Agency staff find that unit sizes remain substantially aligned with the goals of the RFP with average studios being 508 square feet, one-bedrooms 636 square feet, and two-bedrooms 850 square feet.
- The design provides the required nine-foot residential ceiling height.
- Members of the development and design teams have delivered other projects in downtown Boise which are part of the submitted precedents and demonstrate the team's ability to successfully create projects with livable and attractive units with comfortable layouts. These projects include The Gibson, The Lucy, Thomas Logan, and The Martha.

Conclusion and Recommendation:

Agency staff finds the Unit Documentation is consistent with the intent of the Joint Proposal, RFP, and DDA goals to provide housing offering a high quality of life to Boise's workforce and their families and contributes to the overall success of the Project. Agency staff therefore recommend the Board approve the Unit Documentation as submitted by the Developer.

SCHEMATIC DESIGN DOCUMENTATION:

The DDA requires Developer to include itemized design changes in the Schematic Design Documentation as compared to the Joint Proposal or DDA Revision; site or landscaping plans showing integration of Rebuild 11th Street Blocks and planned public improvements; updated floor plans, renderings, and development schedule; and written summaries of progress on mobility and sustainability initiatives identified in the RFP or Joint Proposal.

These submissions were requested to demonstrate the designs continued alignment with the goals of the RFP and intentions of the Joint Proposal, including: contributing to an exceptional built environment, providing for activity conducive to compact downtown living, activating streets, prioritizing pedestrian, cyclist, and transit mobility, and mitigating climate impact and designing for resilience.

Design Summary:

As shown in the following chart from the Developer's submission, the Schematic Design includes 9,368 square feet of additional total building area, 43 additional units, a new corner retail space on 11th and State streets, and 229 additional bike parking spaces. The total square footage and number of vehicle parking spaces have been reduced slightly.

As seen in the updated renderings and floor plans included in the enclosed Schematic Design Drawings, the project has a "S" like shape with two courtyards and expanded amenity spaces on the ground floor and in upper levels.

| Description | Proposal Submission | DDA Revision | Schematic Design |
|----------------------------------|---------------------|--------------|------------------|
| Total Building Area (GSF) | 199,500 | 199,500 | 208,868 |
| Number of Residential Units | 220 | 217 | 260 |
| Ву Туре: | | | |
| Micro Studio | n/a | 28 | n/a |
| Studio | 107 | 25 | 48 |
| Open 1 Bedroom | n/a | 25 | 76 |
| One Bedroom | 89 | 69 | 84 |
| One Bedroom + Den | n/a | 20 | n/a |
| Two Bedroom | 24 | 50 | 52 |
| Residential Area (GSF) | 173,000 | 173,000 | 183,715 |
| Number of Commercial Units | 1 | 1 | 2 |
| Commercial Area (SF) | 10,200 | 10,200 | 10,963 |
| Number of Covered Parking Spaces | 45 | 45 | 41 |
| Parking SF | 16,300 | 16,300 | 14,190 |
| Bike Parking Spaces | 31 | 31 | 260 |

Ground Floor Uses and Street Activation:

The schematic design includes two ground floor commercial units. The YMCA child development center is slated to occupy the larger unit abutting 12th and State streets and a roughly 1,100 square foot unit at the corner of 11th and State streets will provide an added space suitable for neighborhood-serving retail. These spaces have been designed with plazas providing semi-public gathering spaces to activate the public rights-of-way. Enhanced streetscapes with landscaping, lighting, seating, and bike parking, and the potential for placemaking through public art and alley

enhanced for pedestrian comfort as shown on the project plans and renderings will also contribute to the built environment and foster a sense of community.

The RFP and DDA require a minimum ground floor height of 14 feet. The Schematic Design proposes heights at 12 feet six inches at the east end of the building and 13 feet six inches at the west end due to the site sloping down from the east to west. The Developer arrived at these heights due to building code height restrictions for the construction type (five stories of wood over three stories of concrete construction), prioritizing the requirement to provide nine-foot ceilings in residential units, and factoring in an elevation change on the site from east to west.

Summarized Findings:

Understanding (a) the site- and project-specific constraints, (b) that the intended and likely ground floor uses will not require 14 foot ceilings, e.g. a full-service restaurant requiring venting systems is an unlikely tenant for the small retail space and the YMCA Child Development Center and residential lobby and bike storage do not require high ceilings, and (c) the first priority of this project is providing high quality mixed-income housing which could be negatively impacted by strictly requiring the 14 foot minimum ground floor height, Agency staff recommends the Agency Board approve these ground floor heights, as set forth in the recommended condition provided later in this document.

Mobility and Sustainability Initiatives

The schematic design prioritizes pedestrian, cyclist, and transit mobility as described in the attached submission documents with reduced on-site parking made possible through the shared-use Mobility Hub on Block 68 South, thoughtful placement of entrances/exits creating direct access to the 11th Street bikeway and State Street transit routes, enhanced streetscapes integrating the Rebuild 11th Street Blocks Project and ACHD and City initiatives for State Street, and providing bike parking for residents and visitors. The design also includes an enhanced alley with permeable pavers and lighting for pedestrian safety and comfort.

The Developer plans to achieve LEEDv4 Silver with this project and has committed to meeting the Boise City Green Building Code. They are working to mitigate greenhouse gas emissions and reduce energy and water use through various strategies including the use of all-electric appliances, building for future EV charging stations at 20% of the on-site parking stalls with one charging station installed at project completion, providing recycling facilities including for glass and e-waste, and targeting reduced interior and exterior water use relative to the LEED baseline. The team also continues to explore opportunities to provide composting facilities and on-site filtering of stormwater.

The Joint Proposal indicates the potential for use of central plant for the proposed buildings in the district. A feasibility study investigating options for district-wide energy systems found that none were feasible "due to local utility regulations, low utility costs, and the availability of the City of Boise geothermal resource." The Developer, however, continues to explore the use of on-site solar and geothermal energy on a building-by-building basis.

Summarized Findings:

The Schematic Design aligns with the mobility and sustainability goals and intentions stated in the RFP, Joint Proposal, and DDA.

Conclusions and Staff Recommendation:

Section 8.5 of the DDA outlines that Agency Board approval will depend on the project aligning with the intent of the Joint Proposal and RFP goals, as well as compliance with the terms and conditions established in the DDA. Section 8.5.1 of the DDA lists certain criteria upon which the Schematic Design Documentation should be evaluated. These criteria are listed in the chart below on the left and accompanied by additional or clarified Agency staff findings on the right.

| RFP Goal/Joint Proposal Intention | Staff Finding |
|---|---|
| Contributing to an exceptional built | The project meets this criterion with enhanced |
| environment and authentic | streetscapes and alley way, plazas, public art |
| neighborhood fabric | opportunities for placemaking, and retail space |
| | engaging the street. |
| Embracing density and providing for | The project meets this criterion with added |
| activity conducive to a compact, mixed- | residential units, site design that prioritizes |
| use downtown | pedestrian, cyclist, and transit mobility, and |
| | neighborhood serving ground floor commercial |
| | space including the YMCA child development |
| | center which provides an essential service to |
| | downtown working families. |
| Active ground floor uses | As previously described, the project meets this |
| | criterion. |
| Enhancing pedestrian, bike, and transit | As previously described, the project meets this |
| accessibility and connections | criterion. |
| Considering and integrating existing | The project meets this criterion with a design that |
| mobility plans | incorporates the Rebuild 11th Street Blocks Project |
| | and provides residents with plenty of bike parking |
| | to support use of the 11th Street bikeway. It also |
| | considers ACHD and City of Boise plans to |
| | improve State Street as a multi-modal corridor and |
| | utilizes the planned Mobility Hub on Block 68 |
| | South to meet parking requirements. |
| Working to mitigate climate impact with | As previously described, the project meets this |
| innovative design and utility system | criterion. |
| infrastructure and utilities | |

Given the findings above and described earlier in the report, Agency staff finds the Schematic Design Documentation is consistent with the intent of the Joint Proposal and RFP goals and the overall success of the Project as contemplated by such documents and recommends approval of the Schematic Design Documentation subject to the conditions stated above and including the following exception to RFP and DDA requirements:

"Ground floor heights of 12 feet, six inches on the east side and 13 feet, six inches on the west side of project site are acceptable exceptions to the 14 feet requirement stated in the RFP and DDA."



April 28, 2023

Capital City Development Corp. Attn: John Brunelle Executive Director 121 9th Street; Ste 501 Boise, ID 83702

VIA: Email <amonjar@ccdcboise.com>

RE: BLOCK 69 NORTH WORKFORCE HOUSING DEVELOPMENT PROJECT SCHEMATIC DESIGN DOCUMENTATION

Dear Mr. Brunelle:

On behalf of Block 69 North Development, LLC, I am honored to provide you with this letter as an update to the proposed project at Block 69 North (herein "Project"). Per Section 8.5, Schematic Design Documentation, of the Disposition and Development Agreement, (herein "DDA") between The Urban Renewal Agency of Boise City, Idaho, a/k/a Capital City Development Corporation (herein "CCDC") and Block 69 North Development, LLC, (herein "Block 69") please find Schematic Design Documentation.

As you are aware the design for the proposed project has been adjusted from the original proposal to incorporate a request from the CCDC Board to incorporate additional two-bedroom units. In addition, the overall size of the project increased and will provide approximately 260 housing units or 40 more housing units than was anticipated in our proposal.

To assist in the review of the Schematic Design Documentation we organized the documents to reflect the list of required items per Section 8.5.1(a) and 8.5.1(b). The Index List below notes in which Attachment the requested documentation is detailed.

| Requirement | <u>Attachment</u> |
|---|----------------------|
| Short narrative on how site design prioritizes pedestrian, cyclist, and transit mobility | 7 |
| How goals for reducing energy and water use have been considered in the selection of mechanical, electrical, and plumbing systems | 8 |
| Feasibility/progress regarding Project-wide energy and utility systems (central plant) | Previously submitted |
| Use of the geothermal system | 9 |
| Inclusion of recycling and composting facilities | 10 |
| Number and location of electric vehicle charging stations | 11 |
| Square footage by type of uses | 1 |
| Floor plans | 4 |
| Number of parking spaces and bike racks | 1 |

| • | Site Plan | 12 |
|---|--------------------------|----|
| • | Perspective renderings | 13 |
| • | Target ground floor uses | 14 |
| • | Floor heights | 15 |
| • | Development Schedule | 16 |

Please review the attachments and let us know if you need additional information and/or if we need to modify any information in preparation for the CCDC Board meeting.

Per Section 8.5.1(b) of the DDA, the chart below details changes or added information from our proposal.

| Block 69 North Description | <u>Proposal</u> <u>Submission</u> | <u>DDA</u> <u>Revision</u> | <u>Schematic</u> <u>Design</u> |
|--|--------------------------------------|-------------------------------|-----------------------------------|
| Total Building Area (GSF) | 199,500 | 199,500 | 208,868 |
| Number of Residential Units By Type: | 220 | 217 | 260 |
| Micro Studio | n/a | 28 | n/a |
| Studio | 107 | 25 | 48 |
| Open 1 Bedroom | n/a | 25 | 76 |
| One Bedroom | 89 | 69 | 84 |
| One Bedroom + Den | n/a | 20 | n/a |
| Two Bedroom | 24 | 50 | 52 |
| Residential Area (GSF) | 173,000 | 173,000 | 183,715 |
| Number of Commercial Units | 1 | 1 | 2 |
| Commercial Area (SF) Number of Covered Parking | 10,200 | 10,200 | 10,963 |
| Spaces | 45 | 45 | 41 |
| Parking (SF) | 16,300 | 16,300 | 14,190 |
| Bike Parking Spaces | 31 | 31 | 260 |

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As you can see, the adjustments have increased the overall project size, allowing us to provide more housing to meet Boise's demand for quality housing. We also created two retail spaces, one focused on supporting the Treasure Valley YMCA's Youth Development along with activating the corner of State Street and 11th Street with retail.

In addition to the items listed above, we have organized documents requested per Section 4.5 of the DDA to reflect the list of required items. The list below details which Attachment includes the requested documentation.

| <u>Requirement</u> | <u>Attachment</u> |
|---|-------------------|
| Unit mix identifying the different unit types and how many of each will be included | 1 |
| Description of unit affordability by the percentage of AMI | 2 |
| Matrix showing updates to unit mix and unit affordability as set forth in the Join Proposal | 2 |
| Written statement describing in detail any changes to unit mix and unit affordability | 3 |
| Representative unit layouts | 4 |
| General representations of intended interior quality/finishes | 5 |
| Minimum square footage of unit types | 6 |

Per Section 4.5 of the DDA, please see the chart below with unit mix changes:

| | <u>Proposal</u> | <u>DDA</u> | <u>Schematic</u> |
|---|--------------------------------------|---|---|
| 80% AMI Comparison | <u>Submission</u> | <u>Revision</u> | <u>Design</u> |
| Micro Studio | n/a | 3 | n/a |
| Studio | 12 | 3 | 5 |
| Open 1 Bedroom | n/a | 3 | 7 |
| One Bedroom | 10 | 8 | 8 |
| One Bedroom + | n/a | 2 | n/a |
| Two Bedroom | 3 | 6 | 5 |
| Total | 25 | 25 | 25 |
| | | | |
| | | | |
| <u>120% AMI</u> | <u>Proposal</u> | DDA | <u>Schematic</u> |
| 120% AMI Comparison | <u>Proposal</u> <u>Submission</u> | <u>DDA</u> <u>Revision</u> | <u>Schematic</u> <u>Design</u> |
| · | | | |
| Comparison | Submission | Revision | <u>Design</u> |
| <u>Comparison</u> Micro Studio | Submission n/a | Revision 17 | <u>Design</u> n/a |
| Comparison Micro Studio Studio | Submission n/a 63 | Revision 17 15 | Design n/a 24 |
| Comparison Micro Studio Studio Open 1 Bedroom | Submission n/a 63 n/a | Revision 17 15 15 | <u>Design</u> n/a 24 38 |
| Comparison Micro Studio Studio Open 1 Bedroom One Bedroom | Submission n/a 63 n/a 53 | Revision 17 15 41 | Design n/a 24 38 42 |

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| Market Rate | <u>Proposal</u> | <u>DDA</u> | <u>Schematic</u> |
|-------------------|-------------------|------------|------------------|
| <u>Comparison</u> | <u>Submission</u> | Revision | <u>Design</u> |
| Micro Studio | n/a | 8 | n/a |
| Studio | 32 | 7 | 19 |
| Open 1 Bedroom | n/a | 7 | 31 |
| One Bedroom | 26 | 20 | 34 |
| One Bedroom + | n/a | 6 | n/a |
| Two Bedroom | 7 | 14 | 21 |
| Total | 65 | 62 | 105 |

Please review this information and let us know if you need additional information and/or if we need to modify any information in preparation for the CCDC Board meeting.

With the CCDC Board approval or conditional approval, we will continue design work to submit for design review application to the City of Boise within the coming months. We will continue each month to meet with CCDC and the City of Boise on this project, the YMCA project, and Block 68 South project. Each project is scheduled for similar permit submission dates and start of construction. We intend to start construction in Q1 of 2024 using a phased permitting process. This process will allow us to get much of the needed demolition and sitework completed while the building permit drawings are still being reviewed by the City of Boise. Please reference the Development Schedule (Attachment 16).

As we discussed in our meeting at the end of 2022 where we reviewed the updated project pro forma, the market has changed significantly since our original proposal. Both interest rates and construction costs have increased substantially. More recently, the collapse of Silicon Valley Bank resulted in widespread concern across the banking sector. As you know, the project needs to offer a competitive return to attract equity investment.

In order to mitigate interest rate and construction cost increases, we have explored financing options including HUD-backed debt and non-profit tax-exempt bond financing, but these options have also been negatively impacted by higher interest rates and rendered less attractive or infeasible.

The construction market continues to experience cost increases, albeit at a slower rate than the double-digit increases in 2021 and 2022. Demand for labor and materials in the Treasure Valley is expected to continue with both the Micron and Meta projects putting pressure on the construction market. This may be moderated somewhat by the slowdown in housing starts. Based on what we know today, our current best guess is that we will see cost increases in the upper single digits, and while lower than what we have seen in the past two years it is still above historical low single-digit cost increases.

We will continue to investigate and incorporate strategies to optimize the project and find cost savings opportunities. Our team remains committed to finding solutions and developing a project we can all be proud of.

As we discussed, we respectfully request CCDC provide support as our development partner to provide the land exchange property at no upfront cost to the project (based on the reuse appraisal), and provide payment for public improvements including in the proposed Type 4 agreement when

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costs are incurred. These adjustments do not change CCDC's overall funding commitment to Block 69 but adjust when funds would be received which reduces carrying costs and the upfront equity requirement, resulting in a financially viable project.

We are excited to continue the design process as we work towards a Q1 2024 construction start.

Please contact me if you have any questions at 520-270-6846.

Sincerely,

Matt Neilson deChase Miksis

Matt@deChase.com

(520) 270-6846

Enclosed: Attachments as noted in the "Index List" above

Cc: J. Dean Papé, Jill Sherman, Aaron Elton, Kathryn Hunter, Jordan Heller, and Anne Kunkel (electronic copy only)

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Block 69N 4/28/2023 Unit Mix Design Update

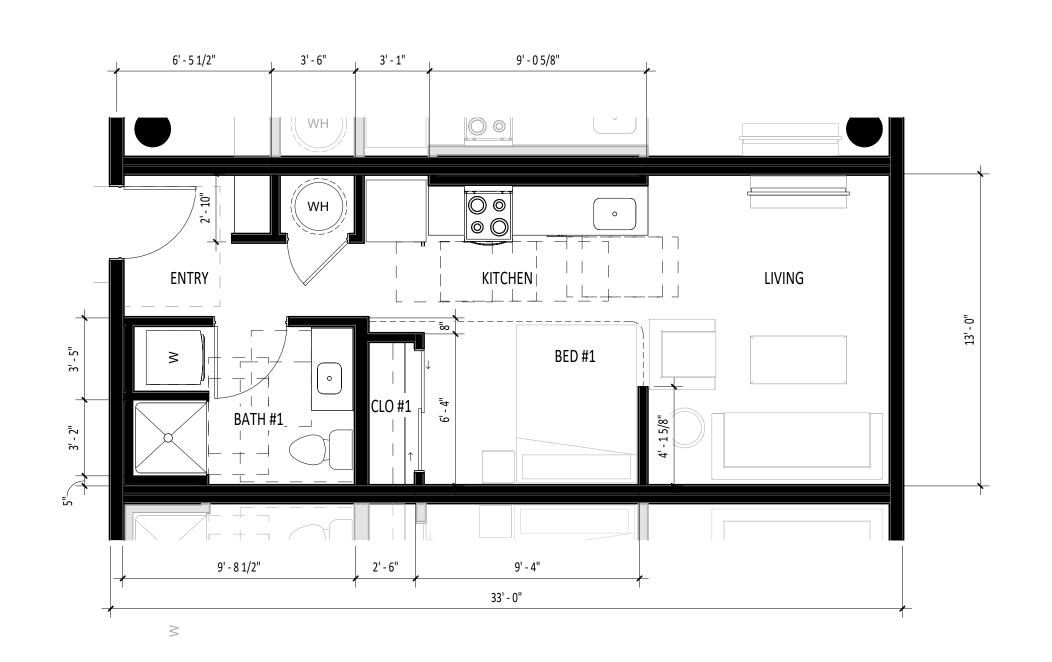
| Description | Proposal Submission | DDA Revision | Schematic Design | Design Development | Final Construction |
|----------------------------------|---------------------|--------------|------------------|--------------------|--------------------|
| Total Building Area (GSF) | 199,500 | 199,500 | 208,868 | | |
| Number of Residential Units | 220 | 217 | 260 | | |
| Ву Туре: | | | | | |
| Micro Studio | n/a | 28 | n/a | | |
| Studio | 107 | 25 | 48 | | |
| Open 1 Bedroom | n/a | 25 | 76 | | |
| One Bedroom | 89 | 69 | 84 | | |
| One Bedroom + Den | n/a | 20 | n/a | | |
| Two Bedroom | 24 | 50 | 52 | | |
| Residential Area (GSF) | 173,000 | 173,000 | 183,715 | | |
| Number of Commercial Units | 1 | 1 | 2 | | |
| Commercial Area (SF) | 10,200 | 10,200 | 10,963 | | |
| Number of Covered Parking Spaces | 45 | 45 | 41 | | |
| Parking SF | 16,300 | 16,300 | 14,190 | | |
| Bike Parking Spaces | 31 | 31 | 260 | | |

Block 69N 4/28/2023
Unit Affordability

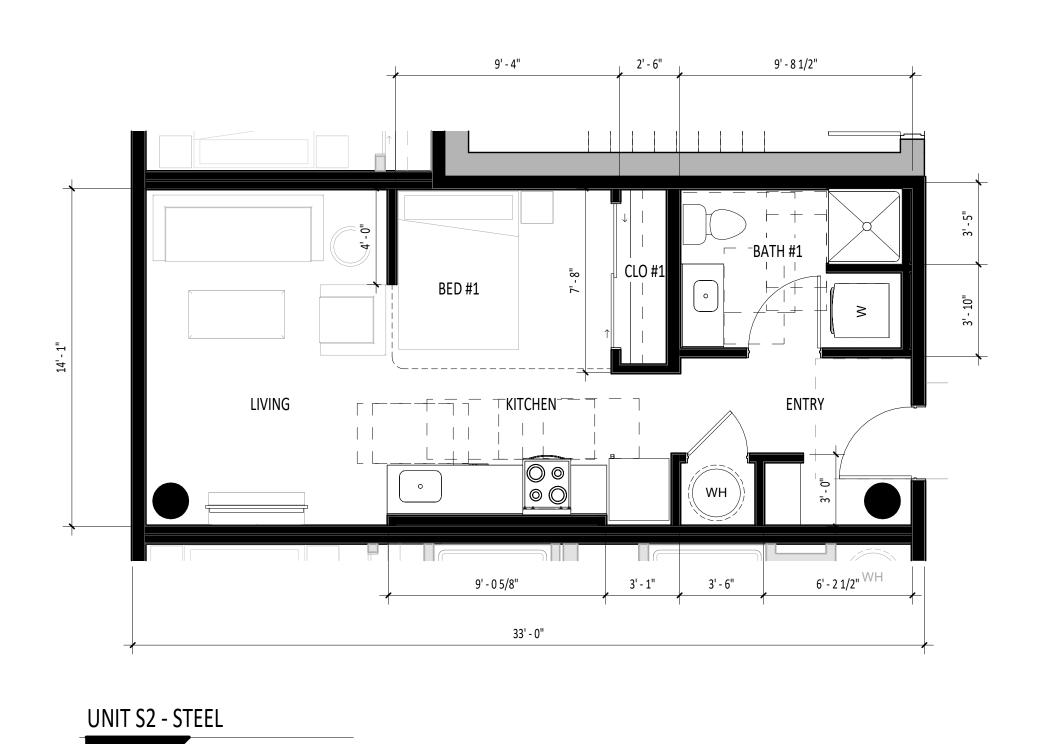
| 80% AMI Comparison | Proposal Submission | DDA Revision | Schematic Design | Design Development | Final Construction |
|------------------------|---------------------|--------------|------------------|--------------------|--------------------|
| Micro Studio | n/a | 3 | n/a | | |
| Studio | 12 | 3 | 5 | | |
| Open 1 Bedroom | n/a | 3 | 7 | | |
| One Bedroom | 10 | 8 | 8 | | |
| One Bedroom + Den | n/a | 2 | n/a | | |
| Two Bedroom | 3 | 6 | 5 | | |
| Total | 25 | 25 | 25 | | |
| 120% AMI Comparison | Proposal Submission | DDA Revision | Schematic Design | Design Development | Final Construction |
| Micro Studio | n/a | 17 | n/a | | |
| Studio | 63 | 15 | 24 | | |
| Open 1 Bedroom | n/a | 15 | 38 | | |
| One Bedroom | 53 | 41 | 42 | | |
| One Bedroom + Den | n/a | 12 | n/a | | |
| Two Bedroom | 14 | 30 | 26 | | |
| Total | 130 | 130 | 130 | | |
| Market Rate Comparison | Proposal Submission | DDA Revision | Schematic Design | Design Development | Final Construction |
| Micro Studio | n/a | 8 | n/a | | |
| Studio | 32 | 7 | 19 | | |
| Open 1 Bedroom | n/a | 7 | 31 | | |
| One Bedroom | 26 | 20 | 34 | | |
| One Bedroom + Den | n/a | 6 | n/a | | |
| Two Bedroom | 7 | 14 | 21 | | |
| Total | 65 | 62 | 105 | | |

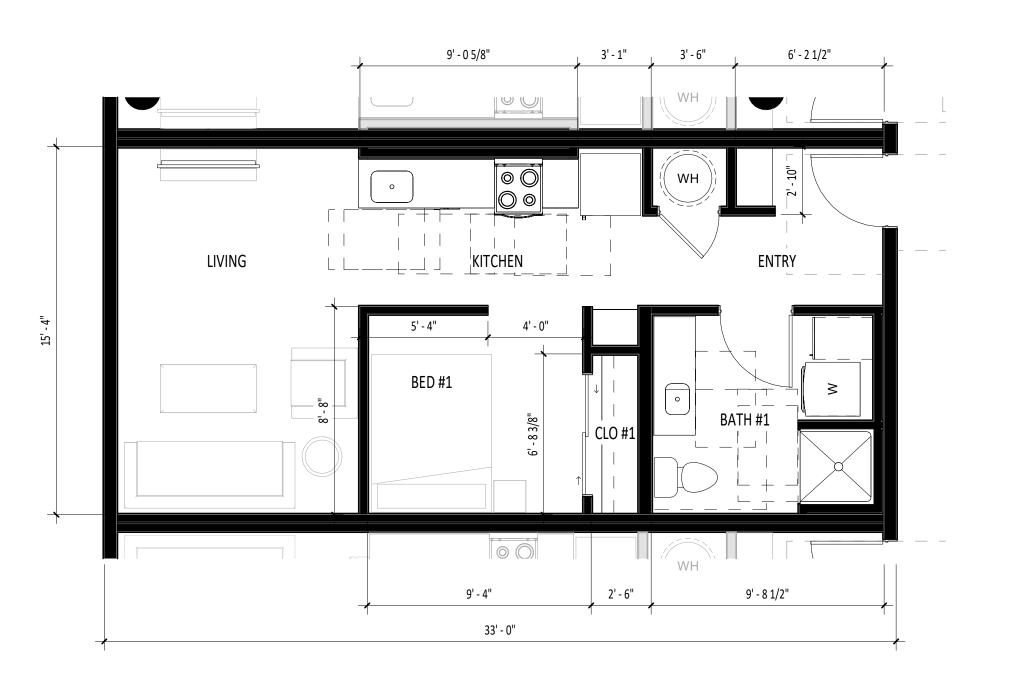
The overall unit count has increased from 217 units to 260 units. Micro studio units and one-bedroom plus den units have been removed from the unit mix in exchange for 9 separate unit layouts. The revised layouts include 2 studio types, 2 urban one-bedroom types, 3 one-bedroom types and 2 two-bedroom types. The 80% AMI and 120% AMI unit counts are unchanged, and the market rate units have increased from 62 to 105. In addi+on, bike storage and project amenity spaces have been increased to meet current market trends.

[See Below]

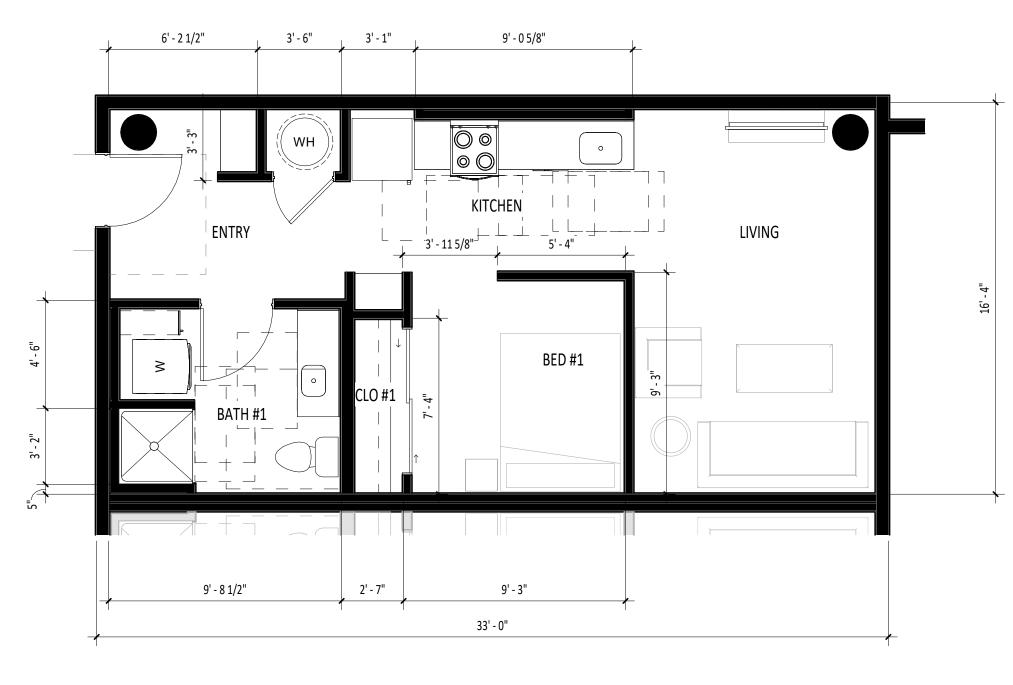


UNIT 1X1B - STEEL





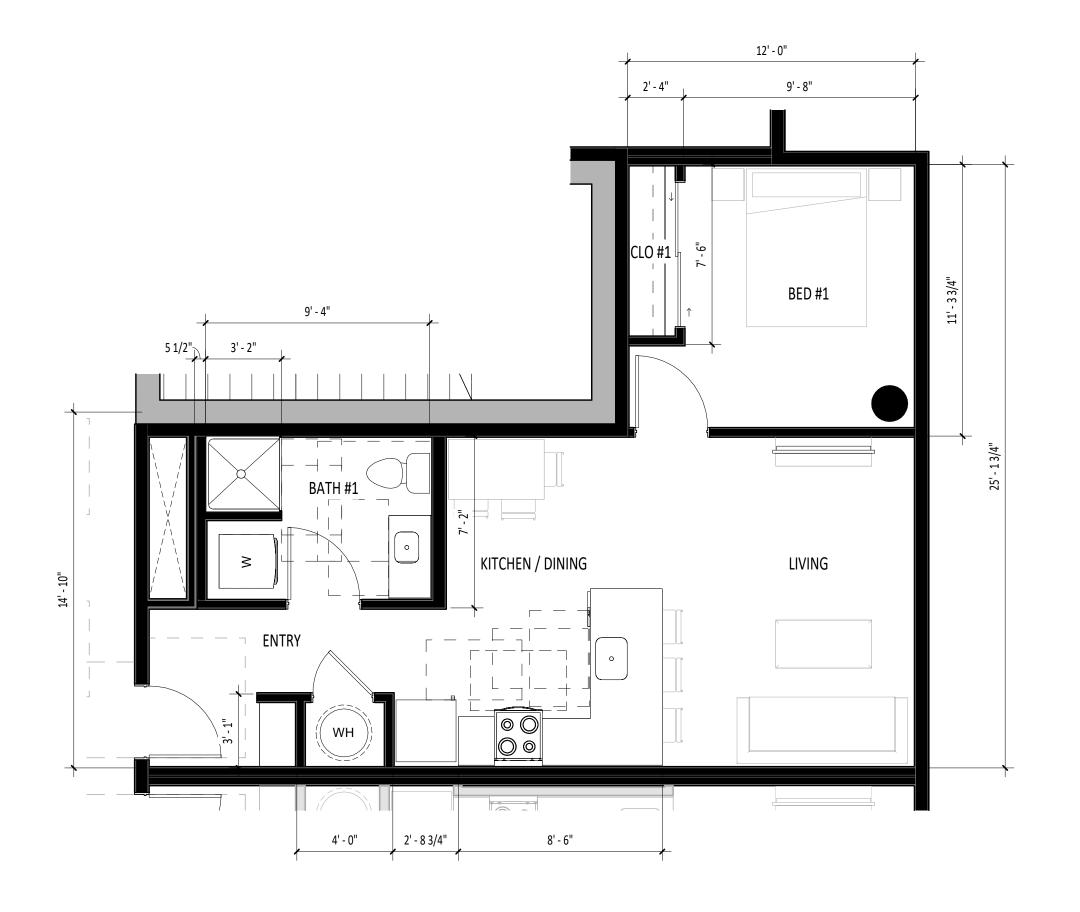
UNIT 1X1A - STEEL

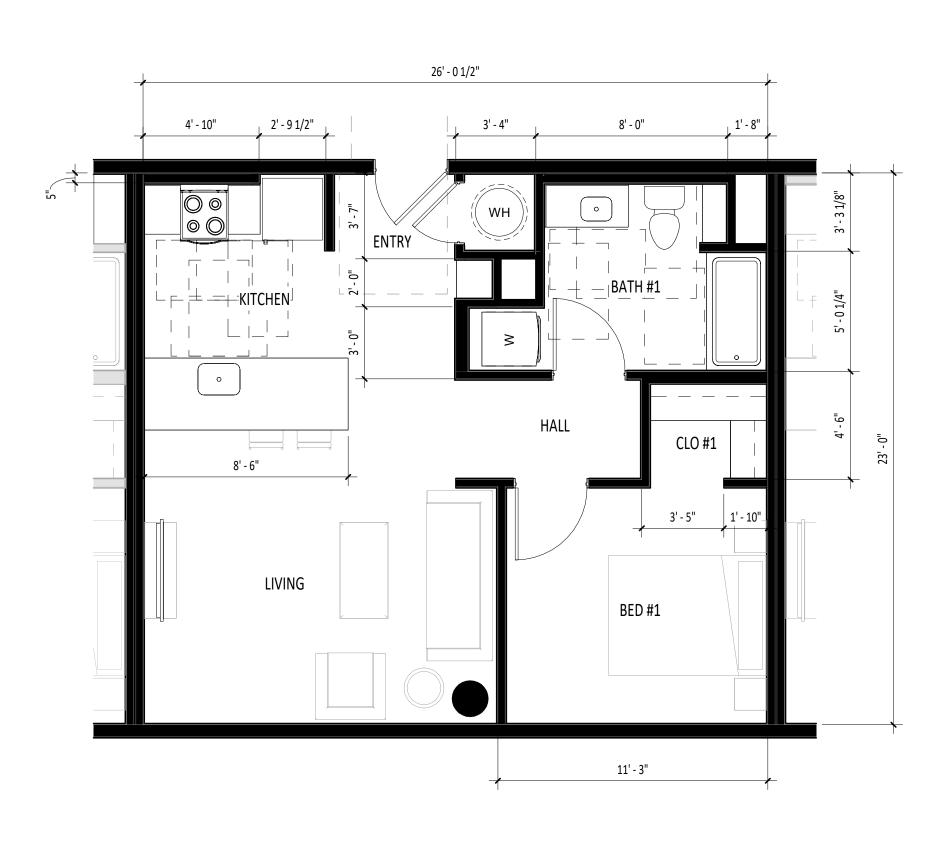


UNIT S1 - STEEL

CONCEPT UNIT PLANS (STEEL)

SCALE: 1/4" = 1'-0"





17'-5'

WH

IT'-5'

KITCHEN / DINING

3'-10'

FENTRY CLO

BATH #1

LAUNDRY

WH

LAUNDRY

6'-10'

BED #1

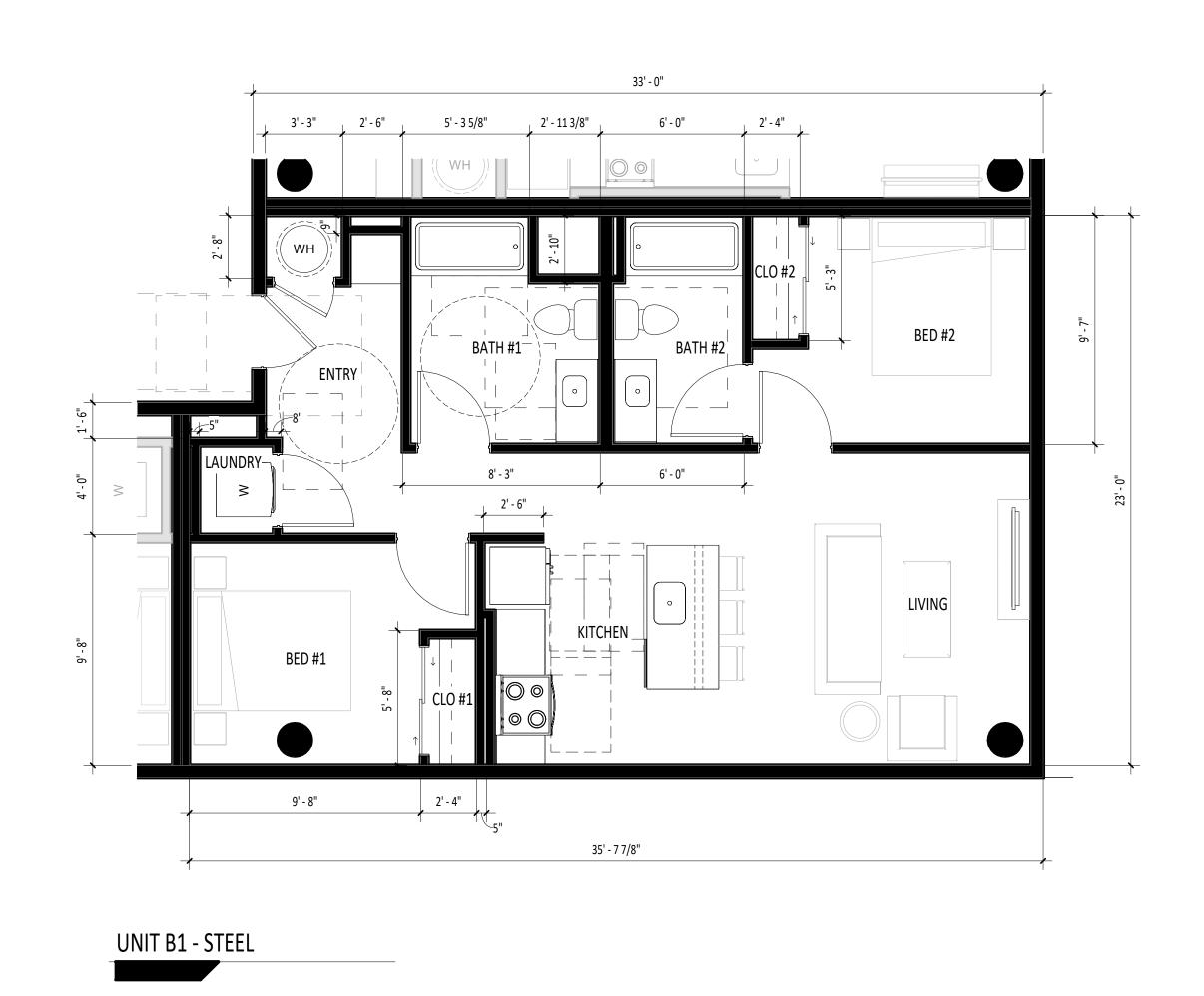
UNIT A2 - STEEL

UNIT A3 - STEEL

CONCEPT UNIT PLANS (STEEL)

UNIT A1 - STEEL

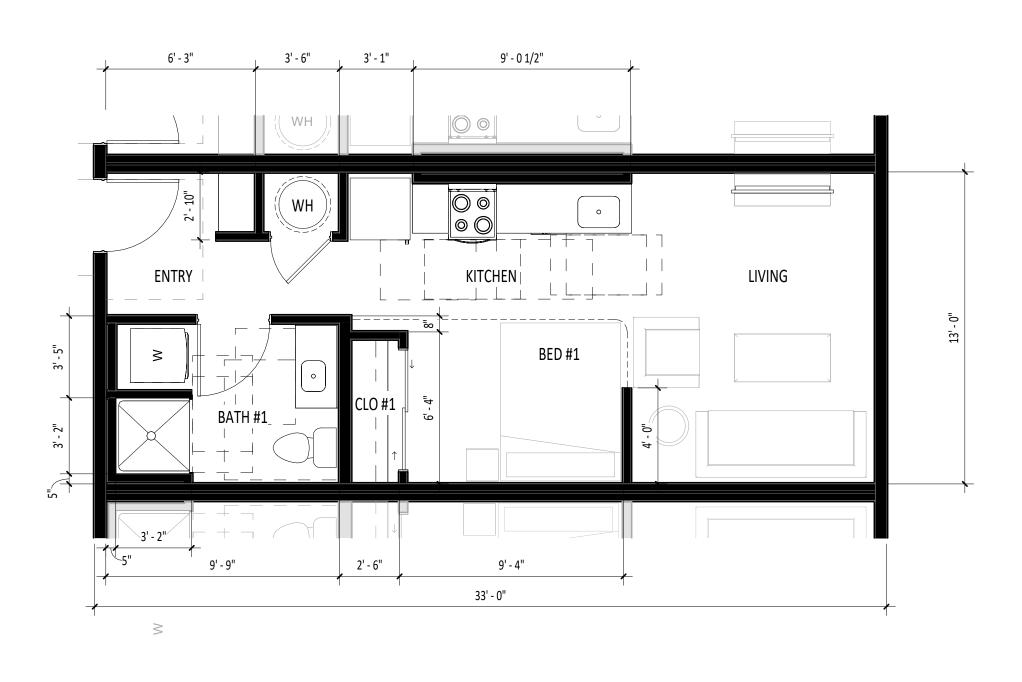
SCALE: 1/4" = 1'-0"



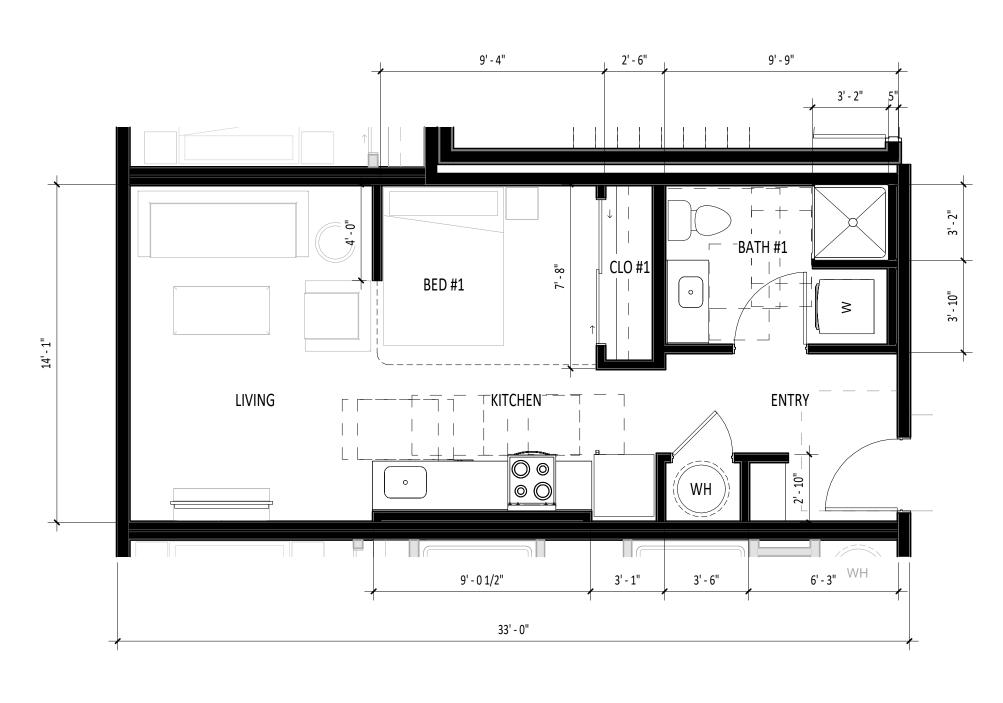


CONCEPT UNIT PLANS (STEEL)

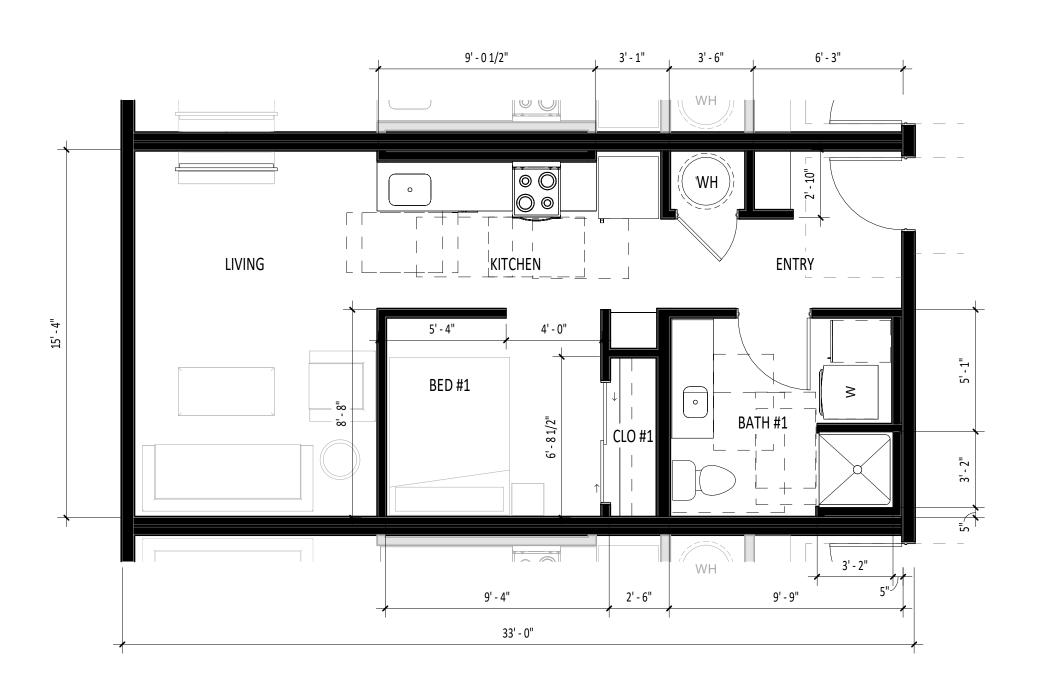
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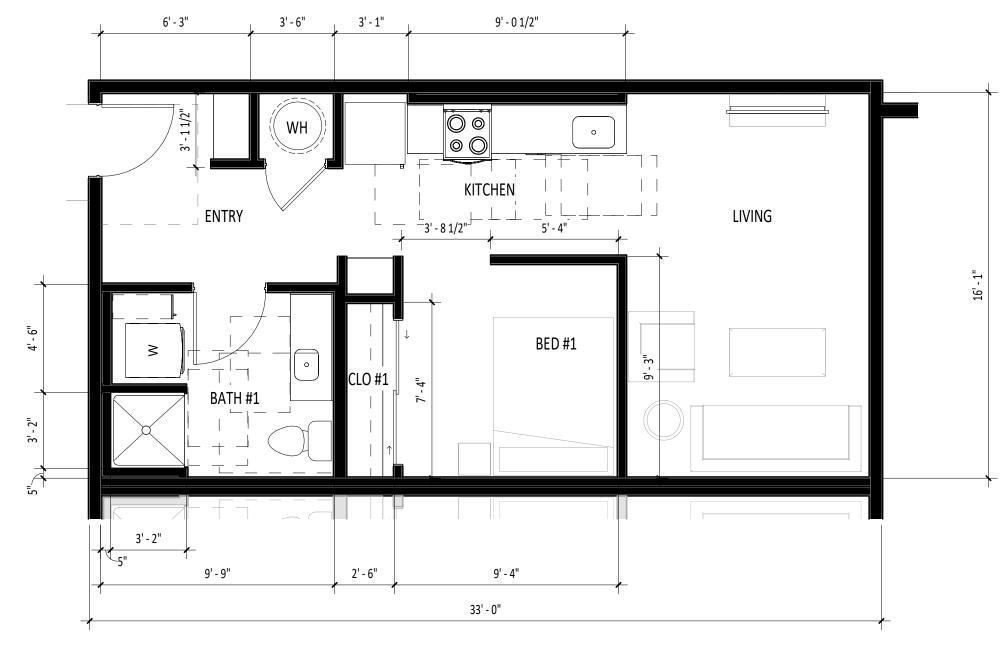
UNIT S1 A - WOOD



UNIT S2 - WOOD



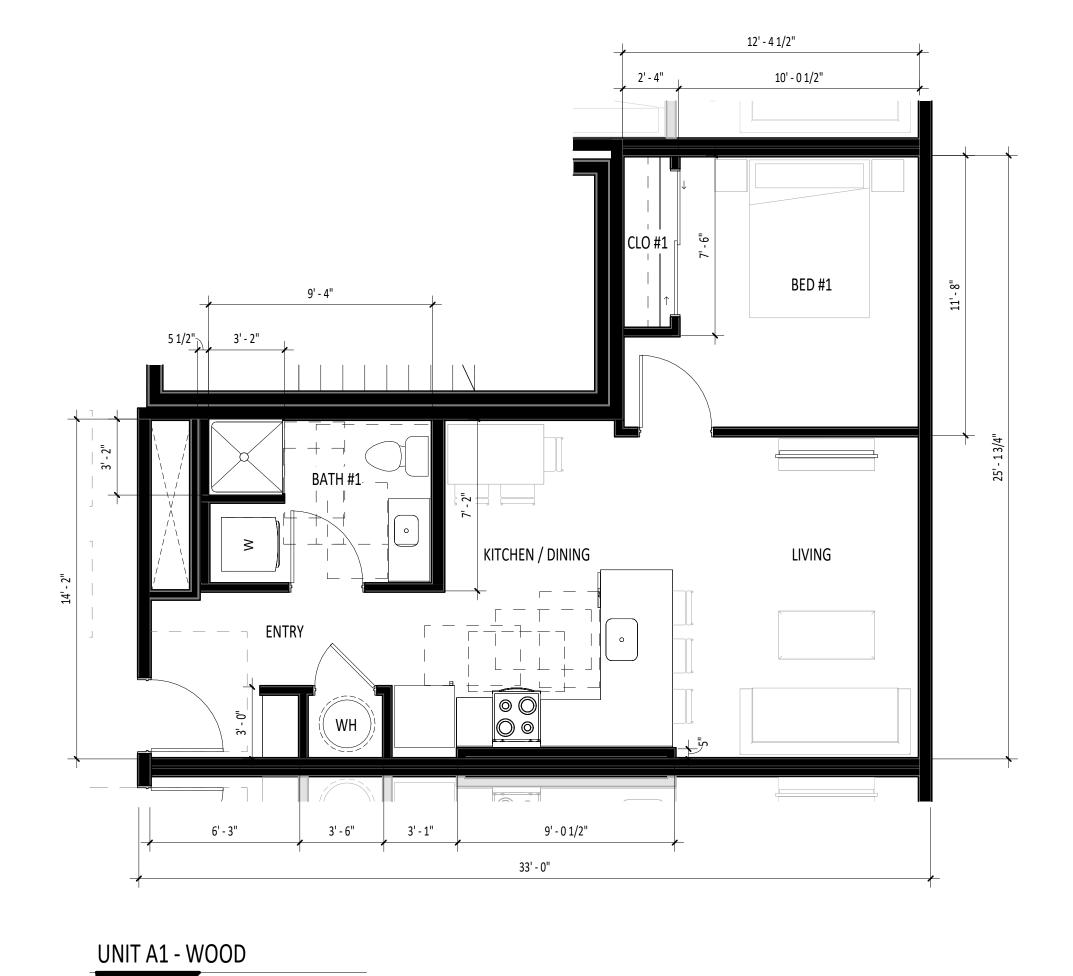
UNIT 1X1A - WOOD

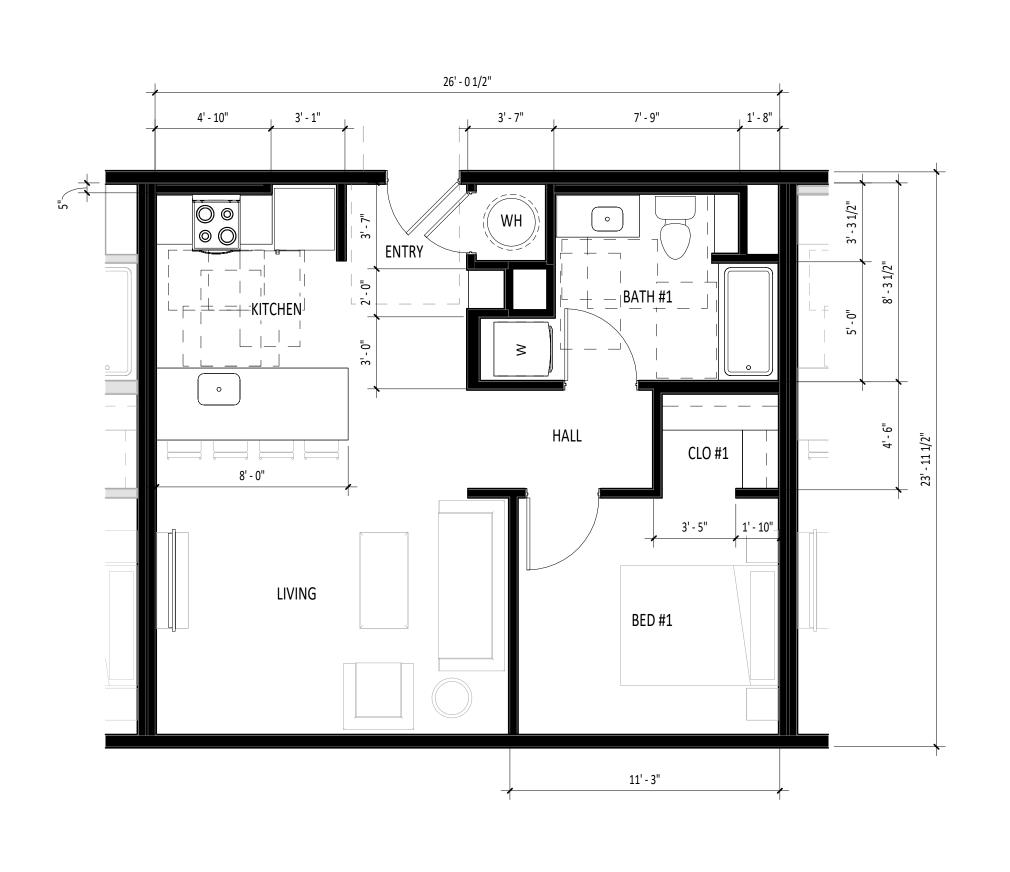


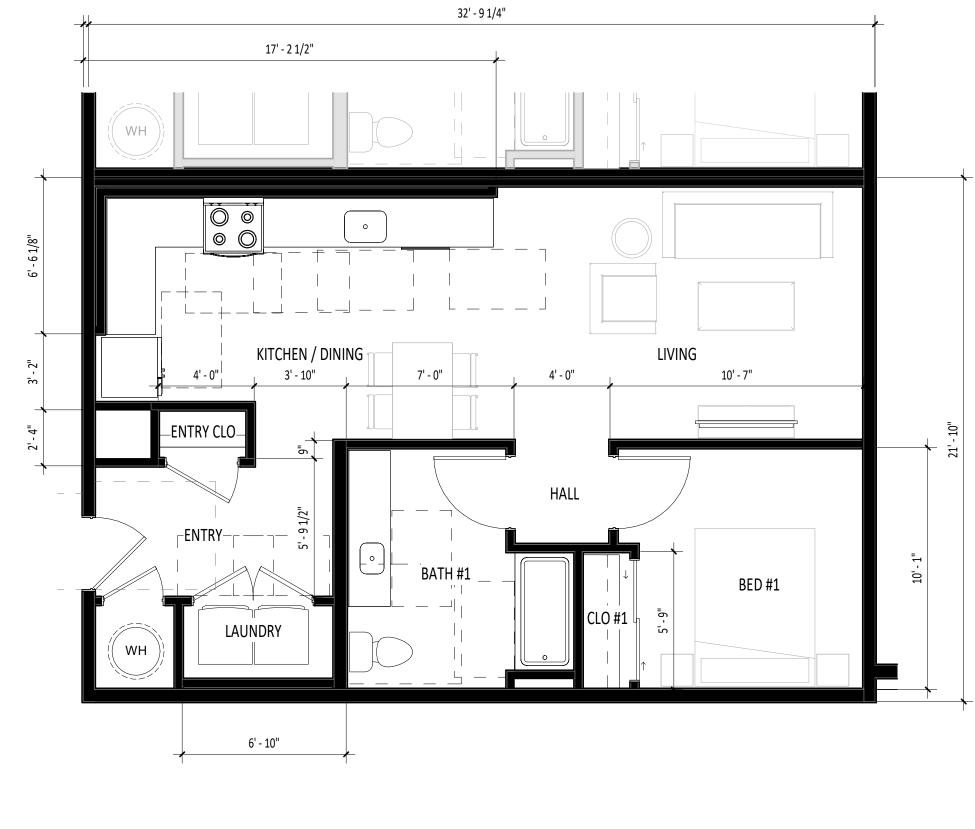
UNIT 1X1B - WOOD

CONCEPT UNIT PLANS (WOOD)

SCALE: 1/4" = 1'-0"





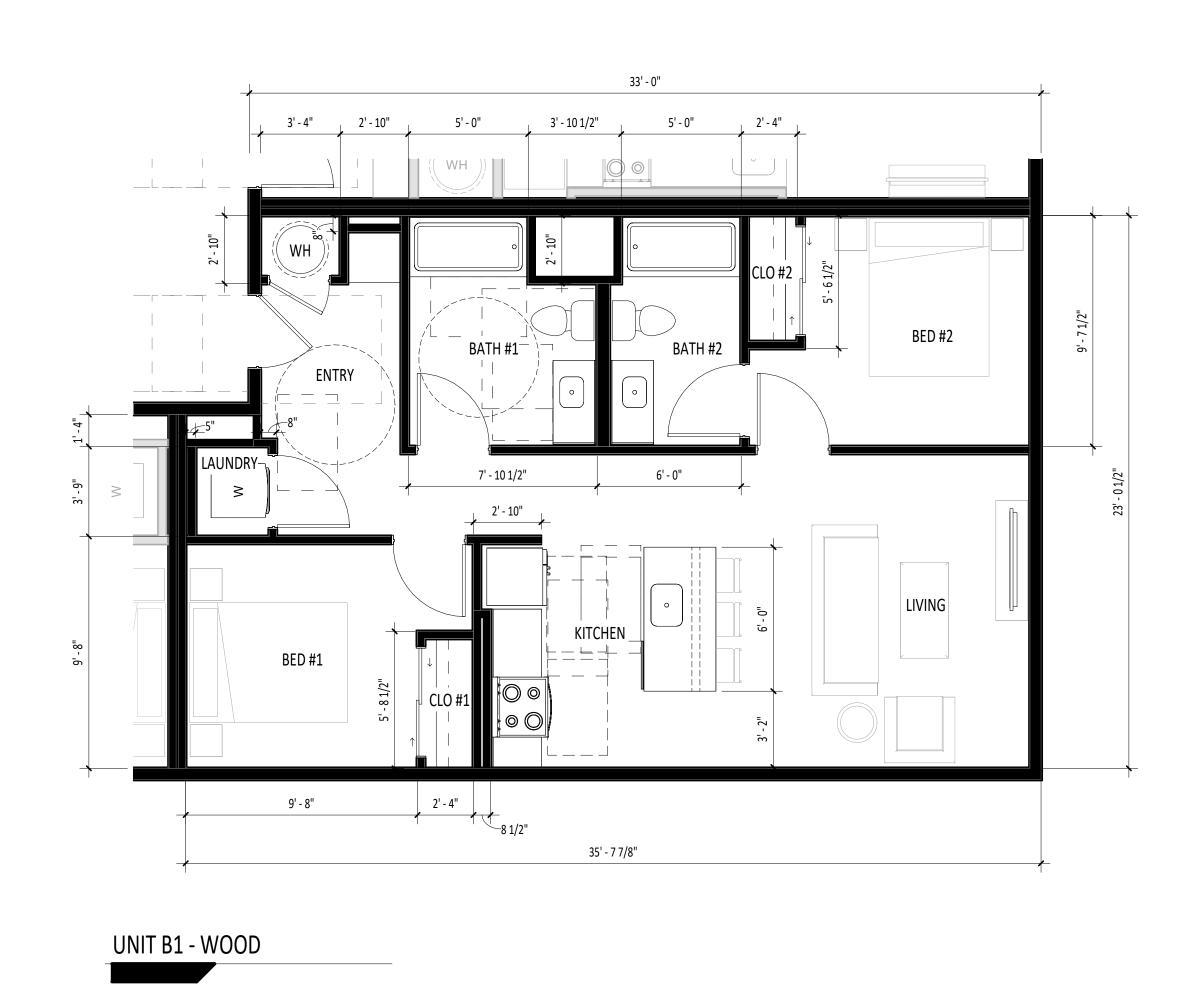


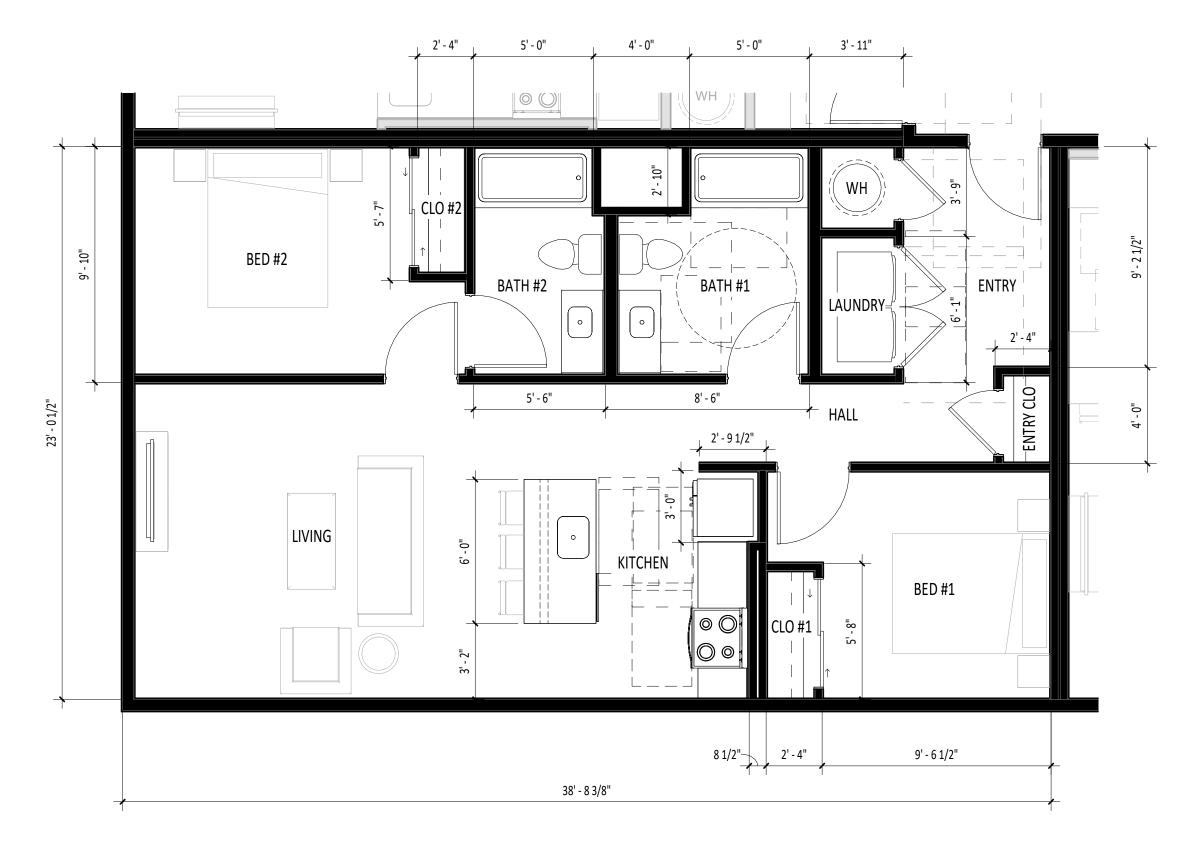
UNIT A3 - WOOD

CONCEPT UNIT PLANS (WOOD)

SCALE: 1/4" = 1'-0"

UNIT A2 - WOOD



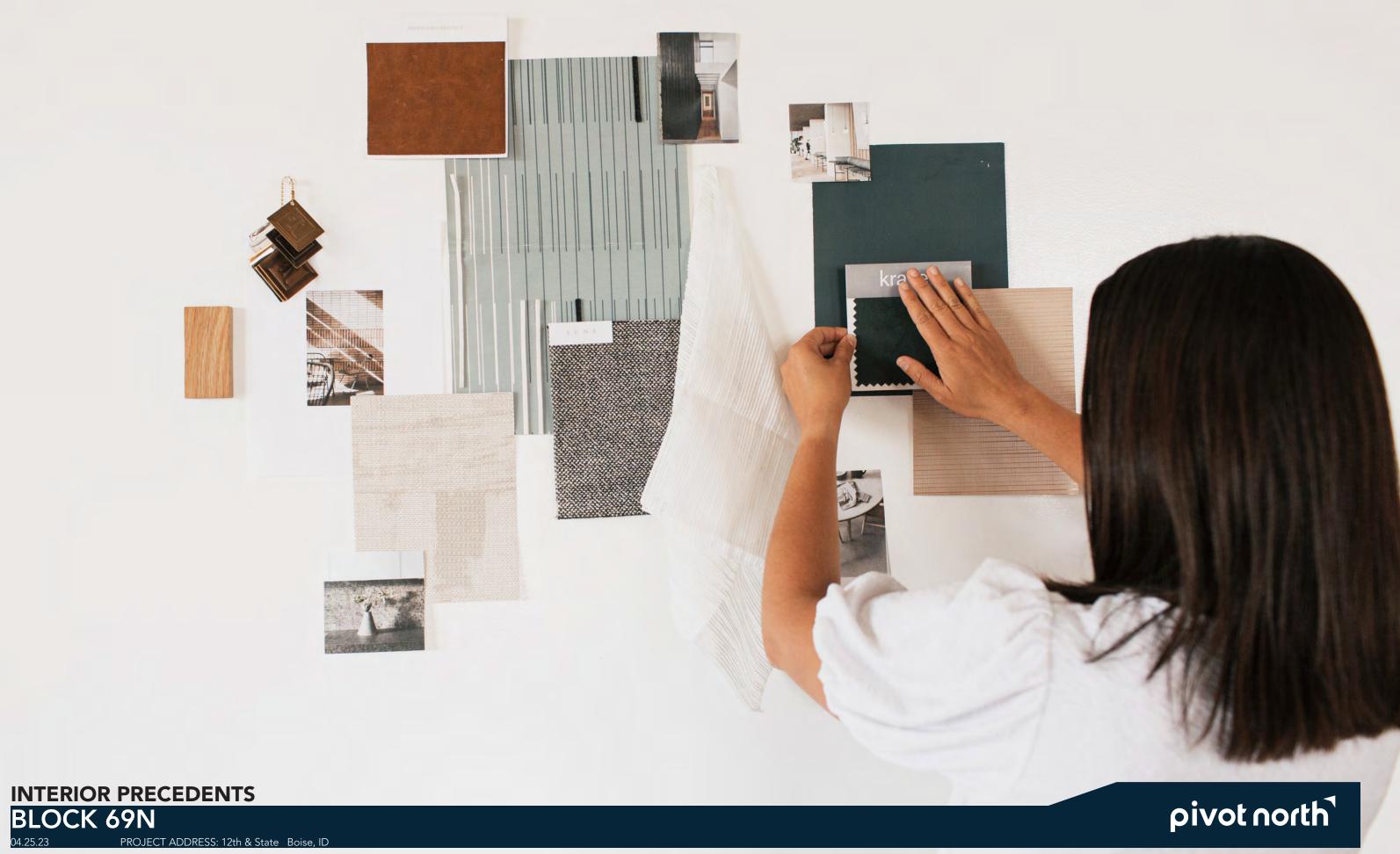


UNIT B2 - WOOD

CONCEPT UNIT PLANS (WOOD)

SCALE: 1/4" = 1'-0"

[See Below]



STAIR

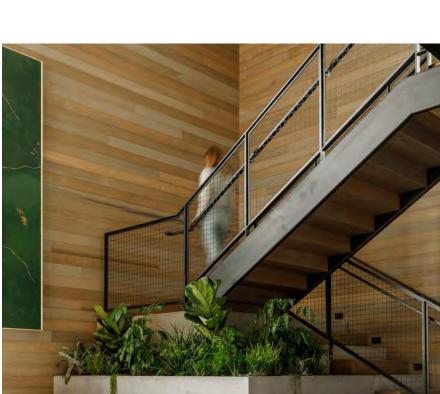
Extended landing for seating area





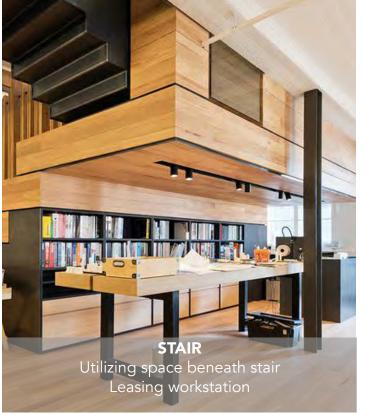
WOOD WALL PANEL

Bamboo screen



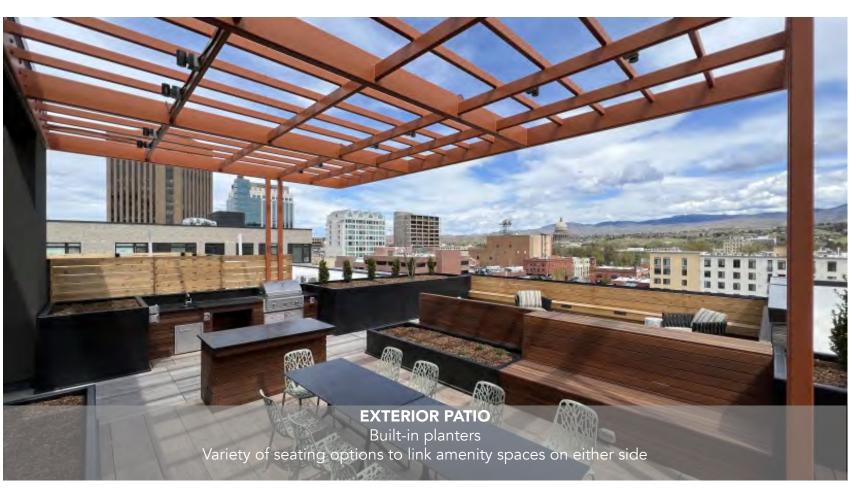
STAIR



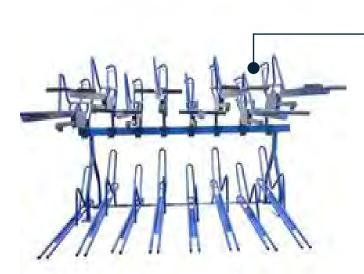








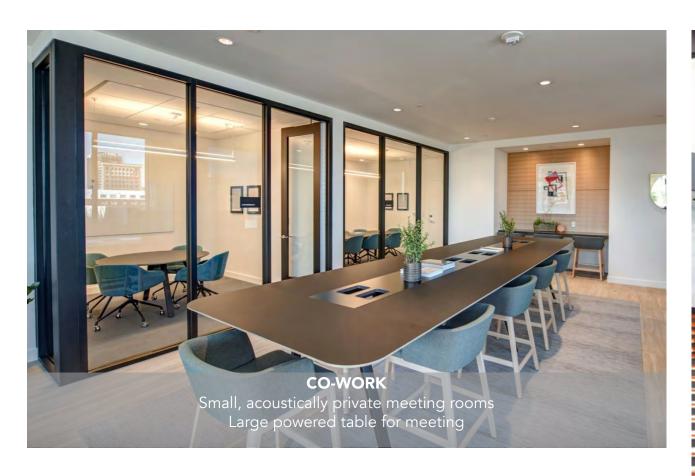




BIKE RACKS

Two-tier metal rack system

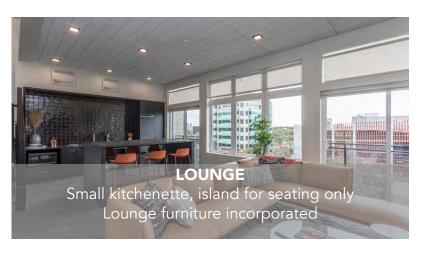


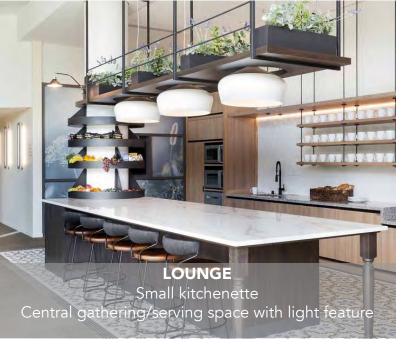


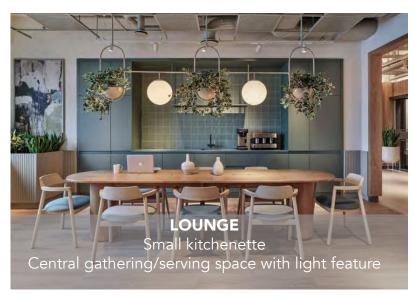




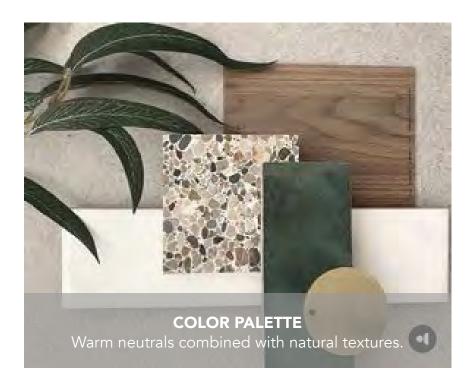










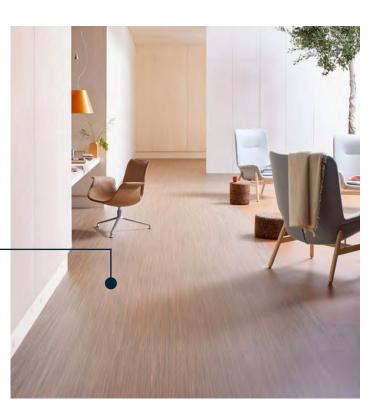


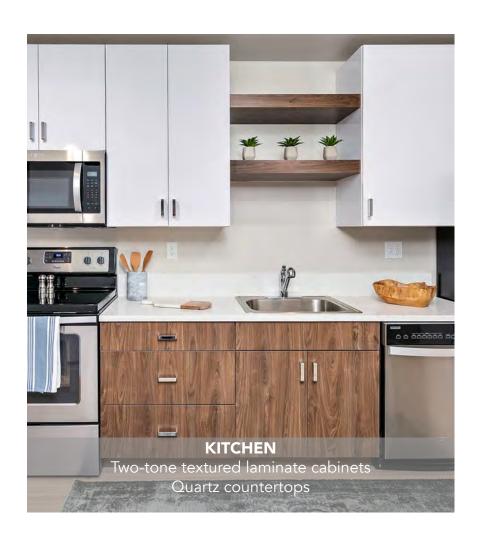


UNIT FLOORING Linoleum plank

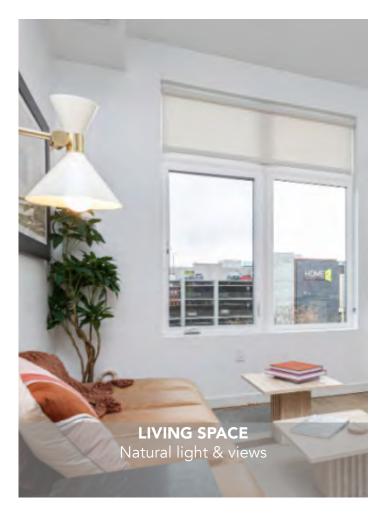
KITCHEN BACKSPLASH

Tile size & finish variation to create pattern













Block 69N 4/28/2023

| Unit Size Square Footage | | | | | |
|--------------------------|----------------------------|--------------|------------------|--------------------|--------------------|
| | Proposal Submission | DDA Revision | Schematic Design | Design Development | Final Construction |
| By Type: (SF) | | | | | |
| Micro Studio | n/a | 371 | n/a | | |
| Studio | 550 | 474 | 455 | | |
| Open 1 Bedroom | n/a | 550 | 541 | | |
| One Bedroom | 650 | 630 | 636 | | |
| One Bedroom + Den | n/a | 675 | n/a | | |
| Two Bedroom | 850 | 950 | 850 | | |
| Average Unit Size | 623 | 647 | 617 | | |

This project benefits of many of the mobility programs from the City of Boise, Ada County Highway District, and the Capital City Develop Corpora" on. The project will leverage these safe, equitable, comfortable, convenient and accessible transporta" on strategies with a focus on pedestrian, cyclist, and transit mobility in the following ways:

- The property's street frontages will be enhanced to meet Downtown Boise Streetscape Standards with amenities that improve the pedestrian experience, such as street trees, pedestrian scaled lighting and site furnishings. Additionally, standard bike racks will be installed in the furnishings zones to promote bike transportation.
- The project integrates into Capital City Development Corporation's and Ada County Highway District's 11th Street Bikeway improvements, providing enhanced regional connectivity for bike transportation. Interior bike storage will also be located off the 11th Street frontage to improve access to this amenity and reduce the potential for pedestrian-bike or bike-vehicle conflicts.
- The project's primary entrances are on the State St corridor to provide efficient access to the current bus routes and future improvements along State St as the City's preferred multi-modal transportation corridor.
- On-site improvements, and interior building uses, at street level will activate the adjacent street
 frontages, improving the pedestrian experience. Plazas at the building entries provide semipublic gathering opportunities to activate the street. The project is also considering the
 installation of murals on the building façade to activate the pedestrian frontage and experience.
- The project intends to provide permeable pavers and overhead lighting in the alley behind the building for placemaking and to reframe the corridor as infrastructure for all, not just vehicles and service uses.
- All entrances to the building and the hardscape around the building will be ADA compliant to ensure access for all.

The team has developed a preliminary LEEDv4 Silver scorecard and approach to the Boise Green Building Code.

To priori" ze alterna" ve transporta" on to and from the site, the project has been designed with pedestrian hardscape connec" ng all main entries to City sidewalks. Street trees will be provided to enhance the buffer between the right of way and pedestrian circula" on. Local bus routes have been iden" fied to explore opportuni" es to enhance wayfinding and connec" vity on site.

To further reduce the greenhouse gas emissions associated with vehicle use, the project will incorporate a minimum of 20% future EV charging by providing conduit and dedicated panel space. This supersedes the LEED requirement.

Bike Racks will be provided to meet the City of Boise's requirements while also mee" ng the threshold for the LEED Bicycle Facili" es credit, whichever is more stringent. The team is currently analyzing the an" cipated occupancy patterns of the building to establish these counts. Circula" on patterns for the facility have been iden" fied to make bike commu" ng easy for occupants by ensuring interior bike parking is at a central loca" on from the main entry.

The Block 69N building will include recycling infrastructure to accommodate paper, cardboard, glass, metal, and plas" cs at minimum as required by the LEED Storage and Collec" on of Recyclables prerequisite along with storage for batteries, e-waste, and mercury containing lamps. The team con" nues to explore opportuni" es for incorpora" ng compos" ng facili" es as a best prac" ce.

Our team targets a 40% indoor water use savings rela" ve to the LEED baseline by u" lizing high efficiency flow and flush fixtures throughout the building. A 50% outdoor water use savings has also been established as a goal by planning for a high efficiency irriga" on system along with the use of na" ve and adap" ve plan" ngs. We are con" nuing to explore solu" ons for infiltra" ng stormwater onsite to maximize our poten" al for the LEED rainwater management credit.

The electrifica" on of building HVAC systems u" lizes highly efficient heat pumps con" nues to be discussed with a plan to provide individual electric hot water heaters to support the decarboniza" on of the development. The building will be solar ready at minimum. Mee" ng the sustainability and carbon reduc" on goals of the project drove the team to pursue an all-electric design. Air-source split heat pumps can provide performance rivaling that of water-source or ground-source heat pumps at a frac" on of the first cost. Ground-loop (geothermal) and project-wide energy and u" lity systems will be analyzed further during the design process.

Geothermal systems have been discussed and evaluated collectively at length, and our team continues to actively research and evaluate feasibility for Building Heating, Domestic Water Heating, and Snowmelt uses. Previous multi-family mixed use system analysis has proven to be cost-prohibitive to the project, primarily due to the up-front costs associated with a "Non-Beneficial" service extension (as quoted from City of Boise Geothermal Coordinator at approximately \$100,000-\$150,000) and the need for a redundant back-up mechanical systems.

While a significant portion of extension construction expenses can be recovered back to the building owner through usage credits, the estimated timeframe on a full return for the extension would be 10 years. These metrics and systems will be further explored for this project.

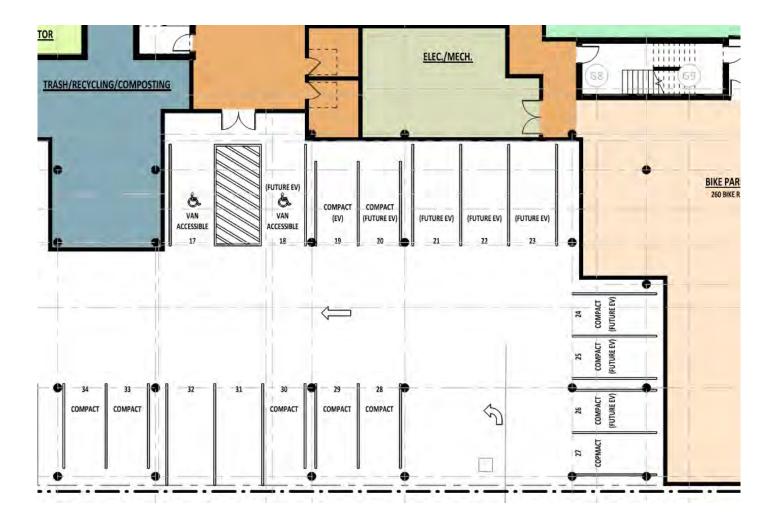
While the City of Boise maintains a Geothermal system with low downtime, consideration must be made for market service requirements, adjacent development projects, and additional serviceability of the system in the building for the life of the system. Additional and redundant plumbing and mechanical equipment may be required for consistent market service. These additional, undefined values are not included in the City of Boise's \$100,000-\$150,000 estimate. This is an area we plan to continue to coordinate both internally as a project team and with the City of Boise's Geothermal representatives.



See SD plan snip below for location of Level 1 trash, recycling and potential compost services.



See SD plan snip below for proposed EV (1 stall) and future EV (7 stalls) locations. EV stall counts and locations may shift, but will meet LEED Silver thresholds for quantity and proximity to building access.



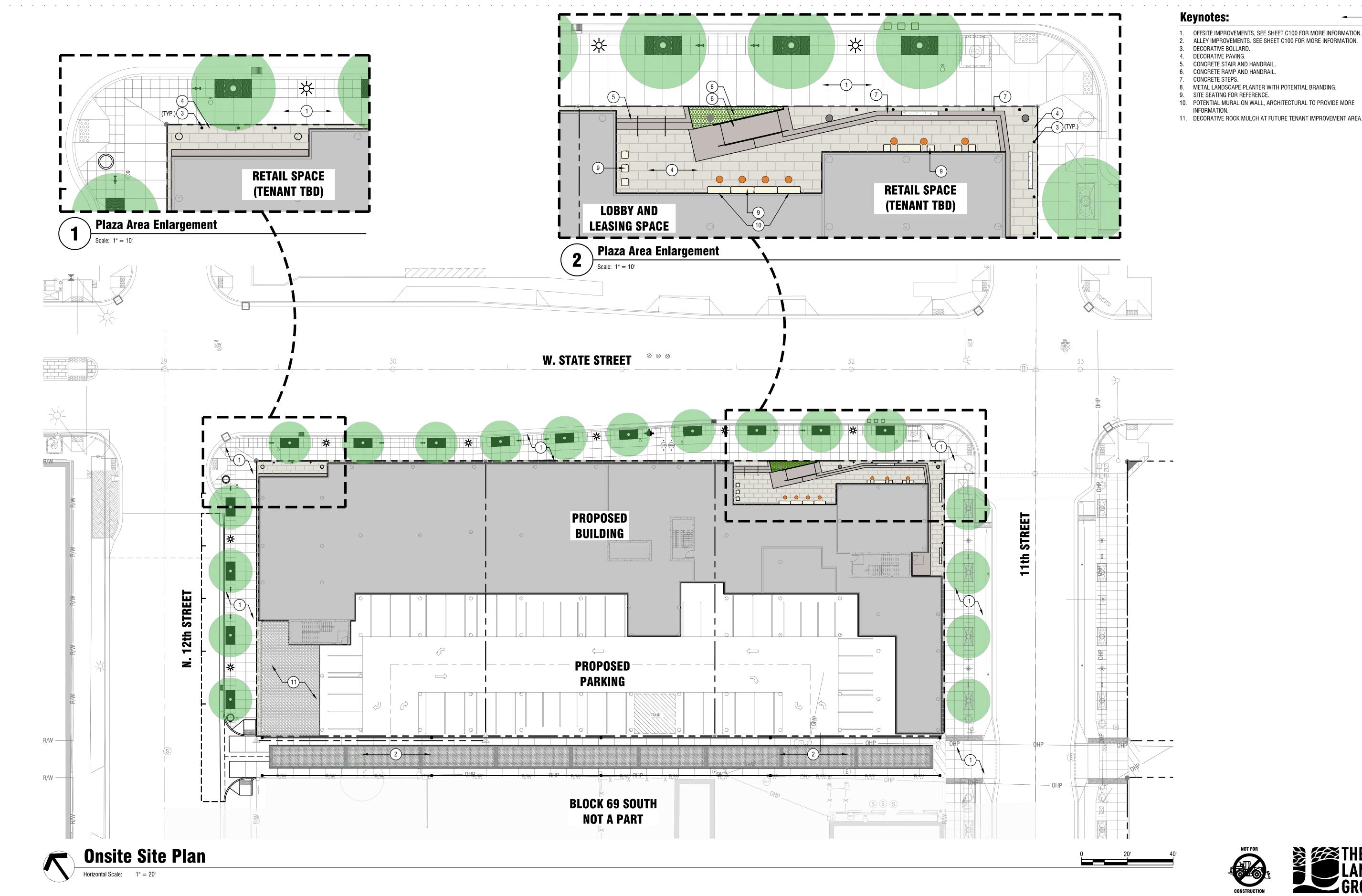
[See Below]



C100 - Offsite Site Plan

BLOCK 69N

DATE: 4.28.2023







C110 - Onsite Site Plan

File Location: g:\2023\123040\cad\123040 b69n c100 site plan.dwg Last Plotted By:lacie rasley Date Plotted: Tuesday, April 25 2023 at 04:08 PM

- OFFSITE IMPROVEMENTS, SEE SHEET C100 FOR MORE INFORMATION.
- ALLEY IMPROVEMENTS, SEE SHEET C100 FOR MORE INFORMATION.
- GROUND FLOOR AMENITY SPACE, SEE SHEET C110 FOR MORE INFORMATION. COMMERCIAL PLANTER AND METAL RAILING.
- SEATING AREA SOCIAL.
- GRILL STATION.
- BAR HEIGHT RAILING SEATING.

- 14. BALLAST ROCK MULCH EDGING DETAIL.

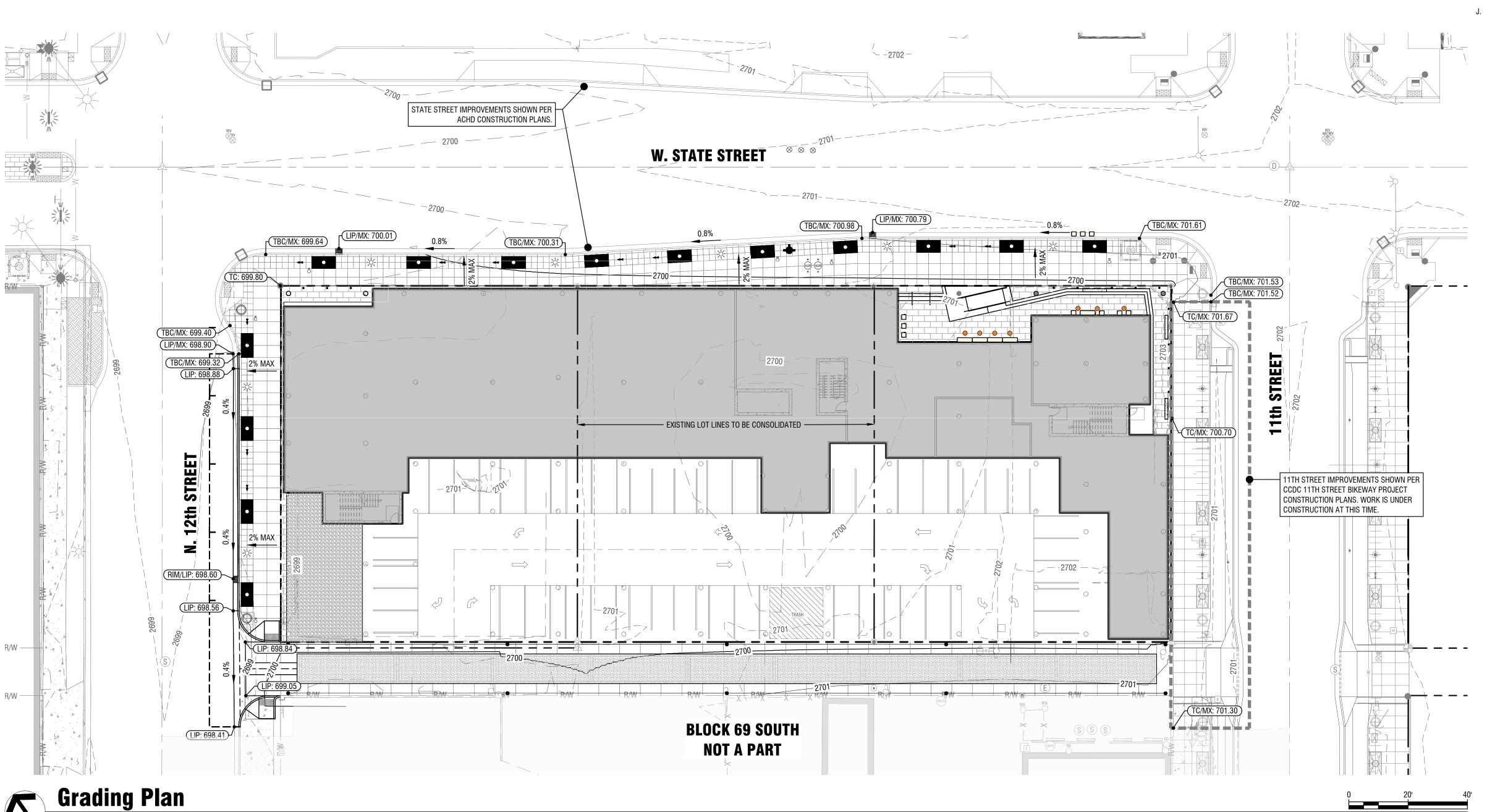






C120 - 2nd Floor Amenity Deck Plan

BLOCK 69N



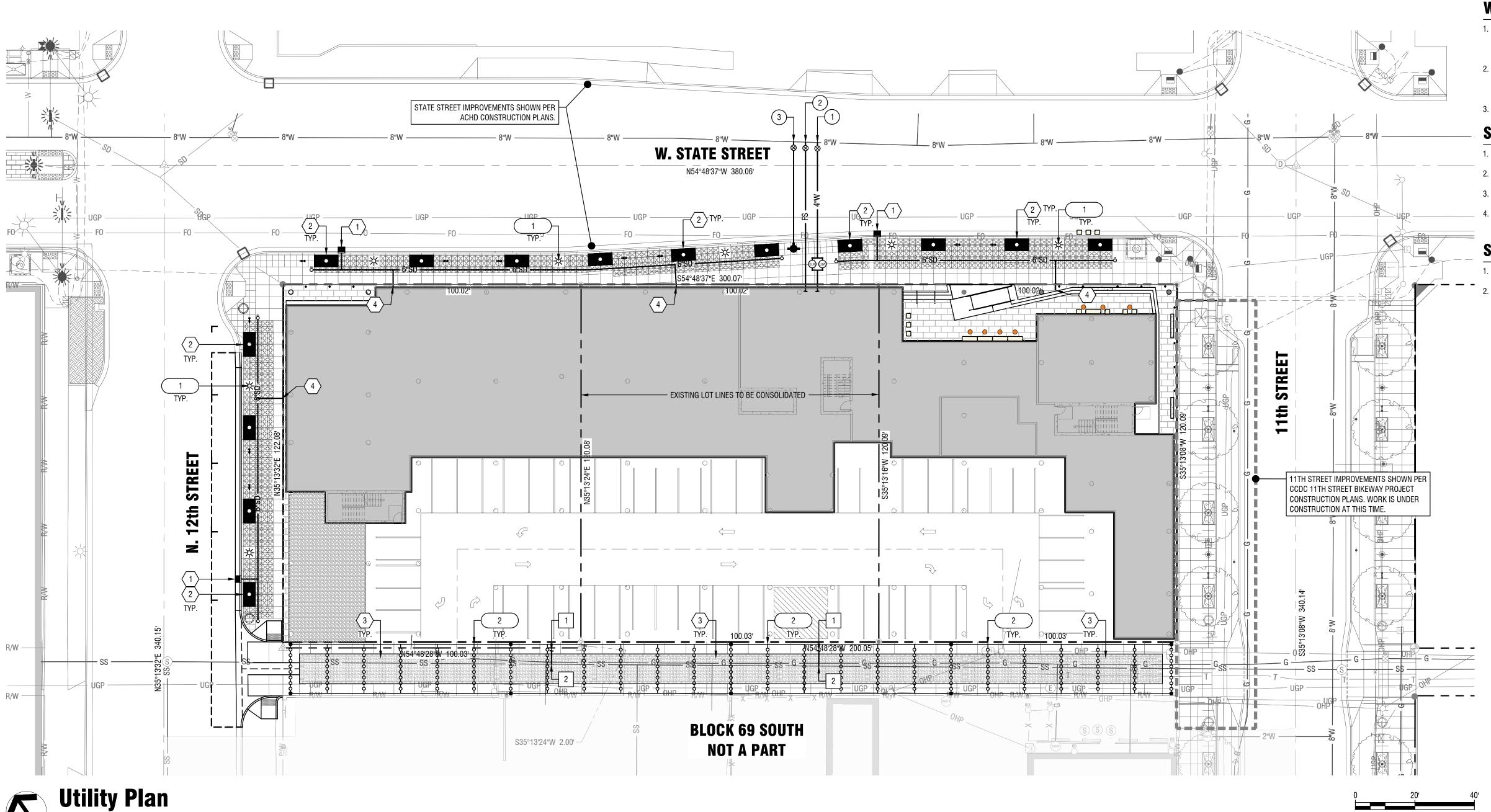
Sheet Notes:

- A. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, SHEET CO.00.
- B. ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT ACHD STANDARDS AND THE ISPWC STANDARDS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE ISPWC WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
- C. ANY CHANGE FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER.
- D. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- E. THE EXISTING INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- F. EXISTING AND PROPOSED CONTOURS ARE AT 1-FT INTERVALS.
- G. ALL ASPHALT REPAIR PER ISPWC SD-301 AND ACHD SUPPLEMENTS TO ISPWC SD-303 AND SD-806.
- H. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE CROSS SLOPE LESS
- I. ADD 2600 FEET TO ALL SPOT ELEVATIONS FOR ACTUAL ELEVATION.
- J. SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
 - FG = FINISH GRADE
 - GB = GRADE BREAKLIP = LIP OF GUTTER
 - MX = MATCH EXISTING
 - RIM = RIM OF STRUCTURE TA = TOP OF ASPHALT
 - TBC = TOP BACK OF CURB
 - TC = TOP OF CONCRETETP = TOP OF PAVER



C400 - Grading Plan

BLOCK 69N



Sheet Notes:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL COMPLY WITH IDAHO CODE, CHAPTER 22, TITLE 55 REGARDING UNDERGROUND FACILITIES DAMAGE PREVENTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED AS A RESULT OF FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES OR DIG-LINE (342-1585) FOR EXACT LOCATIONS A MINIMUM OF 48-HOURS PRIOR TO DIGGING.
- 2. ALL PIPE INSTALLATION AND TRENCHING SHALL CONFORM TO THE LATEST EDITION OF THE ISPWC DIVISION 300 AND SD-301. BEDDING AND BACKFILL
- 3. 48 HOURS PRIOR TO WORK COORDINATE WITH BOISE CITY PUBLIC WORKS TO OBTAIN TAP PERMIT AND SCHEDULE INSPECTION

Sewer Keynotes:

- 1. STUB 6" SEWER SERVICE PER ISPWC SD-511. COORDINATE WITH BUILDING MECHANICAL PLAN FOR CONTINUATION.
- 2. TIE-IN TO EXISTING 8-IN SEWER MAIN PER ISPWC SD-511 VIA INSERTA TEE. CONTACT CITY OF BOISE PUBLIC WORKS 48 HOURS PRIOR TO OBTAIN A SEWER TAP PERMIT AND SCHEDULE INSPECTION.

Water Keynotes:

- 1. 4-IN WATER SERVICE CONNECTION BY VEOLIA PER DETAIL 1/C550. CONTRACTOR SHALL COORDINATE METER INSTALLATION WITH VEOLIA. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
- 2. 6-IN FIRE SERVICE BY VEOLIA. CONFIRM SIZE WITH FIRE SPRINKLER DESIGN PRIOR TO INSTALLATION. CONTRACTOR SHALL COORDINATE INSTALLATION. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
- 3. COORDINATE WITH VEOLIA TO INSTALL NEW FIRE HYDRANT.

Storm Keynotes:

- 1. INSTALL CATCH BASIN TYPE 1 PER ACHD SUP SD-601 & SD-715A.
- 2. 4'X8' TREE GRATE WITH SILVA CELL UNIT DRAINAGE SYSTEM.
- 3. PERMEABLE PAVER ALLEY DRAINAGE SYSTEM PER ACHD STANDARDS.
- ROOF DRAIN CONNECTION: COORDINATE CONTINUATION WITH BUILDING PLUMBING PLAN.

Street Light Keynotes:



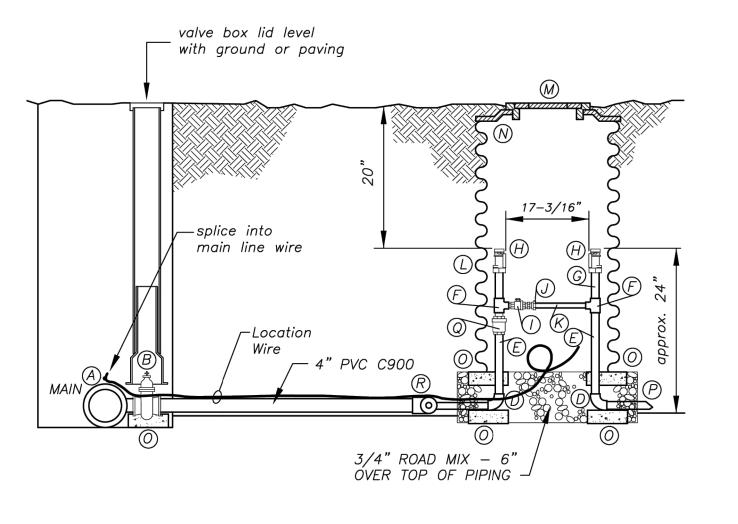
1. CITY OF BOISE STANDARD HISTORIC STREET LIGHT PER DETAIL 4, THIS SHEET.

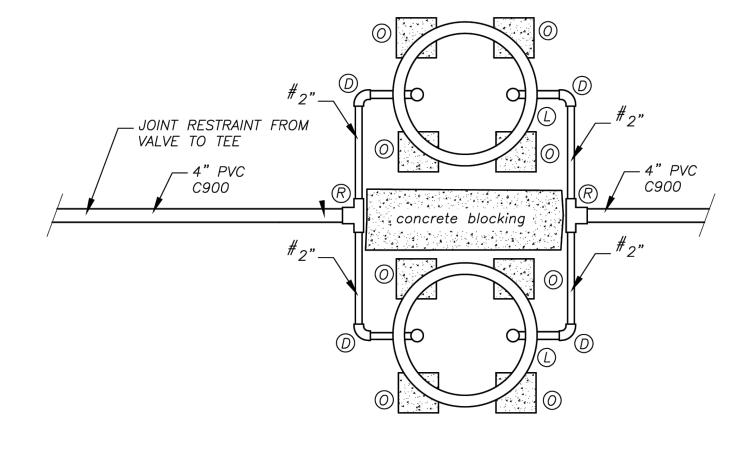
2. PROPOSED CATENARY STRING LIGHTS (TYP).



C500 - Utility Plan

BLOCK 69N





| ITEM | QUANT. | DESCRIPTION | FORD NO.* |
|-------------|--------|--|------------------|
| Α | 1 | Service Saddle | |
| В | 1 | 4" FLGXMJ Gate Valve | |
| С | 1 | 2" Ball Valve | B81-777-NL |
| | 8 | 2" Threaded Brass 90° Ell | |
| D E F | 4 | 2"x16" Schedule 80 Nipple | |
| F | 4 | 2"x1" Threaded Brass Tee | |
| G | 4 | 2"x6" Threaded Brass Nipple | |
| Н | 4 | 2" Angle Stop | BFA13-777W-MSB-K |
| 1 | 2 | 1" Ball Valve Curb Stop (MIPxFIP) w/Padlock Ring | B81444W |
| J | 2 | 1" Pack Joint Coupling (MIPxPackjoint for iron pipe) | C8544 |
| K | 2 | 1"x15" Threaded x PE Brass Nipple | |
| L | 2 2 | 30" Dia. x 42" long CMP | |
| М | 2 | Full Access, 3 Piece Ring, & Lid | |
| Ν | 2 | 30"x20" Adapter Ring | |
| 0 | 9 | 4"x12"x12" Concrete Block | |
| Ρ | 2 | 2"x16" PVC SCH 80 Threaded Nipple w/Cap | |
| Q | 2 | 2" Flomatic 80E Enviro Check 4034E | |
| R | 2 | 4" Tee with 4" MJ plug with 2" tap | |

VEOLIA 4-Inch Service Detail (For Reference Only)

* or approved Mueller
or McDonald equal
pipes to all be equal
length

| SUeZ | SUEZ 8248 W. VICTORY ROAD BOISE, IDAHO 83709 | | |
|---------------------|--|--|--|
| 4 INCH SERVICE WITH | 1 2-2 INCH SETTINGS | | |
| DESIGNED BY: | DATE: JAN. 2016 | | |
| DRAWN BY: RHJ | REVISED: | | |
| CHECKED BY: | DWO NO VV V | | |
| SCALE: NONE | DWG. NO. XX-X | | |

PRESERVE & PROTECT EXISTING 10-IN SEWER PRESERVE & PROTECT EXISTING 8-IN SEWER EXISTING SSMH 151A — W. JEFFERSON ST PIPE BURST AND REPLACE
EXISTING 8-IN SS WITH 193-LF 10-IN SS EXISTING SSMH 150A **ALLEY** PRESERVE & PROTECT EXISTING 12-IN SEWER

Offsite Sewer Upgrade

Horizontal Scale: 1" = 20'







BLOCK 69N

DATE: 4.28.2023

PROJECT ADDRESS: BOISE, IDAHO

[See Below]

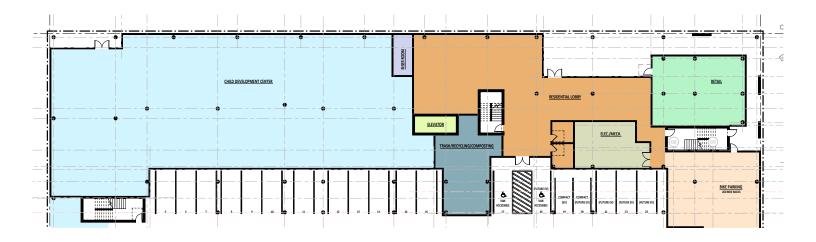








See SD plan snip below for proposed ground floor uses. The ground floor is split into two commercial suites programed for the YMCA child development center (blue) and a roughly 1,100 SF retail use (green).

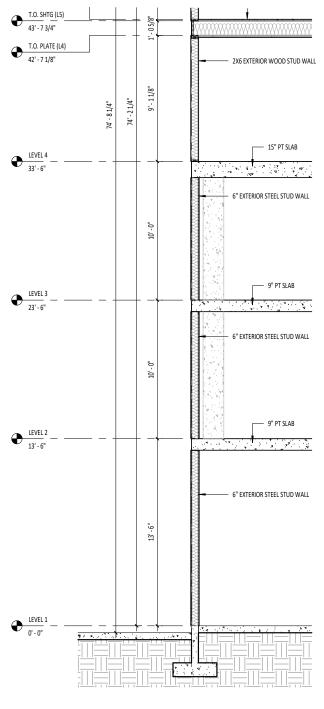


See SD plan snip below for current floor height sections.

The Mixed-use building at the southwest corner of 11th & State St. will be an (8) eight story building composed of (5) five stories of wood construction (type IIIA) over (3) three floors of concrete podium construction (type IA).

Given our type of construction we are under certain height requirements/restrictions. Our upper most floor level cannot exceed 75′-0″ above finished emergency access drive at the lowest point of the site. Our site has approximately +/-2′-0″ of elevation from the East to the West (drops from 11th to 12th). We are providing for approximately 10′-0″ floor to floor at the residential floor levels and the remainder will be given to the lower level, this being 13′-6″ floor to floor (at the low end along 12th St.). The ground floor will have a stepped slab of approximately 12″ in the East/West direction that will reduce the floor-to-floor height at the east end to 12′-6″. Our finished floor slab at the Northeast corner will be below finished grade by approximately 12″.

Our roof height will not exceed the allowable 85'-0" average above average finish grade.

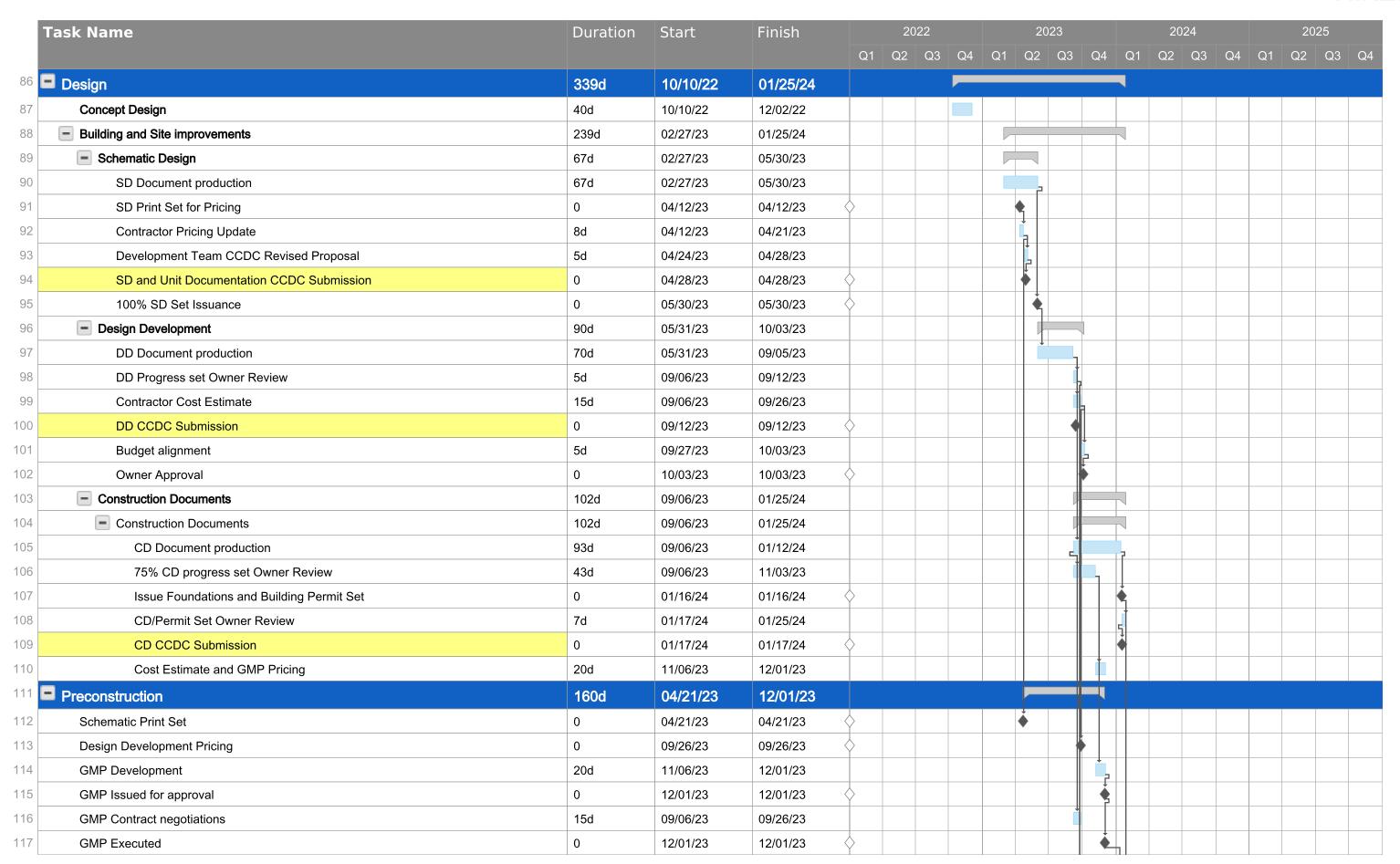


Attachment 16

[See Below]

Block 69N Project Plan





Exported on April 19, 2023 3:04:42 PM PDT

| | Task Name | Duration | Start | Finish | | 2022 | | 2023 | | 2024 | | 2025 | | | | | | |
|-----|-------------------------------|----------|----------|----------|--------------------|------|----|------|----|----------|----------|----------|----|----|----|----|----|---|
| | | | | | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 Q4 |
| 118 | Development Permits | 266d | 06/06/23 | 06/11/24 | | | | | | | | | _ | | | | | |
| 119 | Design Review Submittal | 0 | 06/06/23 | 06/06/23 | \rightarrow | | | | | • | | | | | | | | |
| 120 | Design Review | 60d | 06/06/23 | 08/28/23 | | | | | | + | | | | | | | | |
| 121 | Design Review Hearing | 0 | 07/12/23 | 07/12/23 | \Diamond | | | | | • | | | | | | | | |
| 122 | Design Review Approval | 0 | 08/28/23 | 08/28/23 | \Diamond | | | | | • | | | | | | | | |
| 123 | Demo | 10d | 09/13/23 | 09/26/23 | | | | | | | | | | | | | | |
| 124 | Initial Submittal | 10d | 09/13/23 | 09/26/23 | | | | | | i | | | | | | | | |
| 125 | Plan approval and issuance | 0 | 09/26/23 | 09/26/23 | \Diamond | | | | | • | | | | | | | | |
| 126 | Off site Improvements | 105d | 01/17/24 | 06/11/24 | | | | | | | | | | | | | | |
| 133 | Site and Infrastructure | 35d | 09/13/23 | 10/31/23 | | | | | | | | | | | | | | |
| 134 | Initial Submittal | 10d | 09/13/23 | 09/26/23 | | | | | | Ì | | | | | | | | |
| 135 | 1st Corrections | 5d | 09/27/23 | 10/03/23 | | | | | | | 7 | | | | | | | |
| 136 | 2nd Submittal | 5d | 10/04/23 | 10/10/23 | | | | | | | İ | | | | | | | |
| 137 | Final Review | 5d | 10/25/23 | 10/31/23 | | | | | | | þ | | | | | | | |
| 138 | Plan approval and issuance | 0 | 10/31/23 | 10/31/23 | \Diamond | | | | | | * | | | | | | | |
| 139 | Foundation/Structure/Building | 80d | 01/17/24 | 05/07/24 | | | | | | | | | | | | | | |
| 140 | Initial Submittal | 30d | 01/17/24 | 02/27/24 | | | | | | | | Ť, | | | | | | |
| 141 | 1st Corrections | 10d | 02/28/24 | 03/12/24 | | | | | | | | ĻĻ | | | | | | |
| 142 | 2nd Submittal | 25d | 03/13/24 | 04/16/24 | | | | | | | | | 7 | | | | | |
| 143 | 2nd Corrections | 10d | 04/17/24 | 04/30/24 | | | | | | | | | Ļ | | | | | |
| 144 | Final Review | 5d | 05/01/24 | 05/07/24 | | | | | | | | | Ļ | | | | | |
| 145 | Plan approval and issuance | 0 | 05/07/24 | 05/07/24 | \Diamond | | | | | | | | · | | | | | |
| 146 | Construction | 506d | 01/02/24 | 12/09/25 | | | | | | | | | | | | | | |
| 147 | Demo and Site prep | 45d | 01/02/24 | 03/04/24 | | | | | | | | <u> </u> | | | | | | |
| 148 | Site and Infrastructure | 45d | 03/05/24 | 05/06/24 | | | | | | | | İ | | | | | | |
| 149 | Foundations and Building | 385d | 05/08/24 | 10/28/25 | | | | | | | | | • | | | | | |
| 150 | TCO | 0 | 10/28/25 | 10/28/25 | \rightarrow | | | | | | | | | | | | | , in the second |
| 151 | Close out | 30d | 10/29/25 | 12/09/25 | | | | | | | | | | | | | | |
| 152 | Final Completion | 0 | 12/09/25 | 12/09/25 | \Diamond | | | | | | | | | | | | | • |

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BLOCK 69N MULTI-FAMILY

BOISE, IDAHO

CONCEPT DESIGN - DRAWING INDEX

COVER SHEET

LEVEL 1 - CONCEPT FLOOR PLAN LEVEL 2 - CONCEPT FLOOR PLAN LEVEL 3 - CONCEPT FLOOR PLAN LEVEL 4-7 - CONCEPT FLOOR PLAN LEVEL 8 - CONCEPT FLOOR PLAN CONCEPT ELEVATIONS CONCEPT ELEVATIONS CONCEPT ELEVATIONS **BUILDING SECTION STUDY** HEIGHT STUDY SECTION (BUILDING WEST) CONCEPT UNIT PLANS (STEEL)

CONCEPT UNIT PLANS (STEEL)

CONCEPT UNIT PLANS (STEEL)

CONCEPT UNIT PLANS (WOOD)

CONCEPT UNIT PLANS (WOOD)

CONCEPT UNIT PLANS (WOOD)

*NOTE: CALCULATIONS TAKEN FROM INSIDE OF EXTERIOR WALL, CENTERLINE OF PARTY WALL AND CORRIDOR FACE OF CORRIDOR WALLS.

| GROSS BUILDING AREA | | | | | | |
|---------------------|--------------|--|--|--|--|--|
| AREA NAME | AREA (GROSS) | | | | | |
| LEVEL 1 (GROSS SF) | 18225 SF | | | | | |
| LEVEL 2 (GROSS SF) | 26162 SF | | | | | |
| LEVEL 3 (GROSS SF) | 27414 SF | | | | | |
| LEVEL 4 (GROSS SF) | 27414 SF | | | | | |
| LEVEL 5 (GROSS SF) | 27414 SF | | | | | |
| LEVEL 6 (GROSS SF) | 27414 SF | | | | | |
| LEVEL 7 (GROSS SF) | 27414 SF | | | | | |
| LEVEL 8 (GROSS SF) | 27414 SF | | | | | |
| | 208868 SF | | | | | |

| | AREA SCHEDULE - UNIT MIX (BOMA) | | | | | | | | | | | | |
|----------------|---------------------------------|-------------|-----------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|-------------------|------------|
| UNIT NAME | UNIT TYPE | <u>AREA</u> | TOTAL UNIT AREA | LEVEL 1 UNITS | LEVEL 2 UNITS | LEVEL 3 UNITS | LEVEL 4 UNITS | LEVEL 5 UNITS | LEVEL 6 UNITS | LEVEL 7 UNITS | LEVEL 8 UNITS | <u>UNIT COUNT</u> | UNIT MIX % |
| UNIT TYPE 1X1A | OPEN 1 BEDROOM | 521 SF | 7,294 | 0 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 14 | 5% |
| UNIT TYPE 1X1B | OPEN 1 BEDROOM | 545 SF | 33,790 | 0 | 8 | 9 | 9 | 9 | 9 | 9 | 9 | 62 | 24% |
| UNIT TYPE A1 | 1 BEDROOM | 596 SF | 8,344 | 0 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 14 | 5% |
| UNIT TYPE A2 | 1 BEDROOM | 628 SF | 35,168 | 0 | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 56 | 22% |
| UNIT TYPE A3 | 1 BEDROOM | 705 SF | 9,870 | 0 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 14 | 5% |
| UNIT TYPE B1 | 2 BEDROOM | 802 SF | 20,852 | 0 | 2 | 4 | 4 | 4 | 4 | 4 | 4 | 26 | 10% |
| UNIT TYPE B2 | 2 BEDROOM | 898 SF | 23,348 | 0 | 3 | 4 | 4 | 4 | 4 | 4 | 3 | 26 | 10% |
| UNIT TYPE S1 | STUDIO | 445 SF | 15,575 | 0 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 35 | 13% |
| UNIT TYPE S2 | STUDIO | 483 SF | 6,279 | 0 | 1 | 2 | 2 | 2 | 2 | 2 | 2 | 13 | 5% |
| | | | 160,520 SF | 0 | 33 | 38 | 38 | 38 | 38 | 38 | 37 | 260 | |

| LEVEL 1 - AREAS | | | | | |
|----------------------------|-----------|--|--|--|--|
| AREA NAME | AREA (SF) | | | | |
| BIKE PARKING | 2056 SF | | | | |
| CHILD DEVELOPMENT CENTER | 8737 SF | | | | |
| CHILD DEVELOPMENT CENTER | 1092 SF | | | | |
| ELEC./MECH. | 558 SF | | | | |
| ELEVATOR | 172 SF | | | | |
| RESIDENTIAL LOBBY | 3256 SF | | | | |
| RETAIL | 1134 SF | | | | |
| RISER ROOM | 152 SF | | | | |
| TRASH/RECYCLING/COMPOSTING | 822 SF | | | | |
| | 17979 SF | | | | |

| AMENITY AREAS | | | | |
|---------------|-----------|--|--|--|
| AREA NAME | AREA (SF) | | | |
| LEVEL 2 | | | | |
| AMENITY | 759 SF | | | |
| AMENITY | 1631 SF | | | |
| LEVEL 8 | | | | |
| AMENITY | 873 SF | | | |
| | 3262 SF | | | |

COVER SHEET

SCALE:

BLOCK 69N



W. STATE STREET



BLOCK 69N

DATE: 4.28.2023

pivotnorth



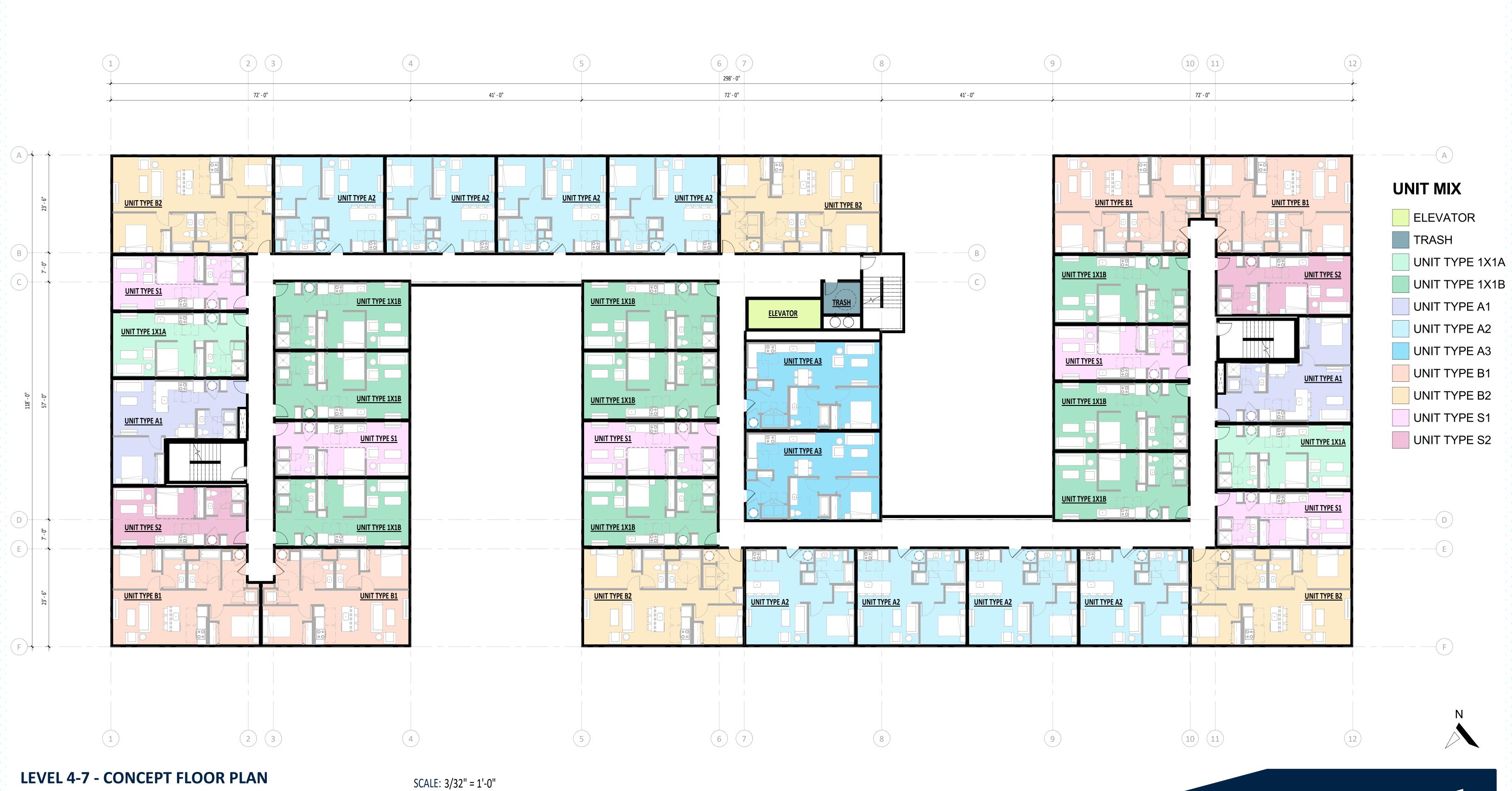
PROJECT ADDRESS: BOISE, IDAHO

DATE: 4.28.2023



PROJECT ADDRESS: BOISE, IDAHO

DATE: 4.28.2023



PROJECT ADDRESS: BOISE, IDAHO

pivotnorth



DATE: 4.28.2023

PROJECT ADDRESS: BOISE, IDAHO

SCALE: NOT TO SCALE





EXTERIOR ELEVATION - WEST

CONCEPT ELEVATIONS

EXTERIOR ELEVATION - EAST

SCALE: NOT TO SCALE

BLOCK 69N

pivotnorth



CONCEPT ELEVATIONS

BLOCK 69N

SCALE: NOT TO SCALE

pivotnorth



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AGENDA BILL

Approve Resolution 1824: 120 N. 12th St., 12th and Idaho. Type 2 Participation Agreement with 12th and Idaho Owner, LLC

Date:

June 12, 2023

Staff Contact:

Alexandra Monjar, Project Manager

Attachments:

- 1) Resolution 1824
- 2) Type 2 Agreement

Action Requested:

Adopt Resolution 1824 approving the Type 2 Participation Agreement with 12th and Idaho Owner, LLC and authorizing the Executive Director to execute the Agreement.

Background:

12th and Idaho will be a 26-story mixed-use residential building with 298 residences, ground floor retail, and structured parking. The project's estimated total development costs are \$140 million. The developer, 12th and Idaho Owner, LLC – a joint venture between White Oak Realty Partners, Ponsky Capital Partners, and Oppenheimer Development Corp., plans to certify the project with Green Globes, a program similar to LEED certification.

The project's public improvements include upgrading the adjacent alley, improving stormwater infrastructure, improving the streetscapes and landscaping, and replacing a section of the Boise City Canal which runs under and adjacent to the project site. 12th and Idaho meets the requirements of the Type 2 Participation Program as approved by the Agency Board and promotes the objectives of the Westside District Plan. Type 2 projects are scored based on ten urban design categories to encourage compact development with pedestrian focused design. 12th and Idaho scored 148 points, qualifying as a Level A project.

Boise City Design Review granted its original conditional approval of the project in November 2021, with full approval granted in February 2022. The project design was subsequently reexamined and updated to ensure its viability, and the modified design was approved by Boise City Design Review on August 25, 2022. Preliminary site work began in early November.

In January 2023, the Agency Board of Commissioners designated the project for Type 2 Participation with a reimbursement term exception allowing for reimbursement upon project completion. The Type 2 Program allows for accelerated reimbursement for projects completed in the final two years of an urban renewal district's lifespan, subject to Board approval and resources as programmed in the Five-Year Capital Improvement Plan (CIP). The total estimated expense for the projects' public improvements eligible for reimbursement is \$1,488,788. Considering the funds available in the Westside District, the Agency recommends approving reimbursement of up to \$1,342,345 when the project is complete, which is expected to be in May 2025.

Project Summary:

- 120 N. 12th Street
- 0.56 acres
- 26-story mixed-use residential tower with 198 residences, retail, and structured parking.
- \$140 Total Development Cost
- \$1.5 million estimated eligible expenses,
- Reimbursement amount not-to-exceed \$1.34 million

Timeline:

- August 2022 Design Review approval
- November 2022 Construction began
- January 2023 Type 2 Designation
- May 2023 Type 2 Agreement Approval
- May 2025 Construction is complete
- June/July 2025 CCDC reimbursement

Fiscal Notes:

The project has estimated Eligible Expenses of \$1,488,788, and the Agency has programed \$1,342,345 for potential reimbursement. The CIP has adequate resources programmed in FY2026 to make this reimbursement upon project completion and the Agency's review and approval of actual eligible expenses. The FY2023-2027 Five-Year Capital Improvement Plan includes \$2 million in the Westside District for Type 2 accelerated reimbursements such as this, and 12th and Idaho was the second project to apply for these funds which were allocated on a first come, first served basis, with Board discretion.

Staff Recommendation:

Authorize the Executive Director to execute the Type 2 Participation Agreement with the applicant, 12th and Idaho Owner, LLC.

Suggested Motion:

I move to adopt Resolution 1824 approving the Type 2 Participation Agreement with 12th and Idaho Owner, LLC and authorizing the Executive Director to execute the Agreement.

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, APPROVING A TYPE 2 GENERAL ASSISTANCE PARTICIPATION PROGRAM AGREEMENT BETWEEN THE AGENCY AND 12TH AND IDAHO OWNER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FOR SPECIFIED PUBLIC IMPROVEMENTS; AUTHORIZING THE AGENCY EXECUTIVE DIRECTOR TO EXECUTE THE AGREEMENT AND ANY NECESSARY DOCUMENTS OR AGREEMENTS, SUBJECT TO CERTAIN CONTINGENCIES; AUTHORIZING ANY TECHNICAL CORRECTIONS TO THE AGREEMENTS; AUTHORIZING THE EXPENDITURE OF FUNDS; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (collectively, the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, the City Council of the City of Boise City, Idaho (the "City"), after notice duly published, conducted a public hearing on the Westside Downtown Urban Renewal Plan (the "Westside Plan"), and following said public hearing, the City adopted its Ordinance No. 6108 on December 4, 2001, approving the Westside Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amendment to the Urban Renewal Plan Westside Downtown Urban Renewal Project ("First Amendment to the Westside Plan"); and,

WHEREAS, following said public hearing, the City adopted its Ordinance 45-20 on December 1, 2020, annexing two (2) geographical areas adjacent and contiguous to the northern boundary of the Westside Project Area into the existing revenue allocation area and making certain findings; and,

WHEREAS, 12th and Idaho Owner, LLC, is a Delaware Limited Liability Company that owns or controls certain real property addressed as 120 North 12th Street, Boise, Idaho, on which it plans to construct a mixed-use development comprised of a 26-story building with 298 residential units, approximately 8,700 square feet of ground floor commercial space, and an openair parking garage with 323 parking spaces (the "Project"), all of which is located in the Westside Urban Renewal District as defined by the Urban Renewal Plan for the Westside Economic Development District Project Area (the "Westside Plan"); and,

WHEREAS, as a part of the Project, 12th and Idaho Owner, LLC intends to: construct public streetscape improvements on 12th and Idaho Streets, including new sidewalk, curb and gutter, street trees, suspended pavement systems, and historic streetlights; construct stormwater mitigation infrastructure adjacent to the property and within the public right-of-way; and repair and replace certain portions of the Boise City Canal on the Project Site; and,

RESOLUTION NO. 1824

WHEREAS, the Agency Board has adopted the Participation Program Policy which includes the Type 2 General Assistance Program under which the Agency provides reimbursement for public improvements associated with private development projects; and,

WHEREAS, with the Westside Plan terminating September 30, 2026, the Agency has programed resources to assist Type 2 General Assistance projects that reach completion within the final two (2) years of plan termination. The Project will be completed within this timeframe and will contribute to enhancing and revitalizing the Westside Urban Renewal District; and,

WHEREAS, the Agency has determined that it is in the public interest to enter into a Type 2 General Assistance Participation Agreement with 12th and Idaho Owner, LLC whereby 12th and Idaho Owner, LLC will construct the Project and the Agency will reimburse 12th and Idaho Owner, LLC for constructing public improvements as specified in the Agreement; and,

WHEREAS, attached hereto as Exhibit A and incorporated herein as if set forth in full is the Type 2 General Assistance Participation Agreement with 12th and Idaho Owner, LLC; and,

WHEREAS, the Agency Board finds it in the best public interest to approve the Agreement and to authorize the Executive Director to execute same.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, AS FOLLOWS:

<u>Section 1</u>: That the above statements are true and correct.

Section 2: That the Type 2 General Assistance Participation Agreement with 12th and Idaho Owner, LLC, a copy of which is attached hereto as Exhibit A and incorporated herein by reference, be and the same is hereby approved.

Section 3: That the Agency Executive Director is hereby authorized sign and enter into the Type 2 General Assistance Participation Agreement with 12th and Idaho Owner, LLC, and to execute all necessary documents required to implement the actions contemplated by the Agreement, subject to representations by the Agency staff and the Agency legal counsel that all conditions precedent to such actions have been met; and further, any necessary technical changes to the Agreement or other documents are acceptable, upon advice from the Agency's legal counsel that said changes are consistent with the provisions of the Agreement and the comments and discussions received at the June 12, 2023, Agency Board meeting; the Agency is further authorized to appropriate any and all funds contemplated by the Agreement and to perform any and all other duties required pursuant to said Agreement.

<u>Section 4</u>: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

RESOLUTION NO. 1824 2

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on June 12, 2023. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on June 12, 2023.

| | URBAN RENEWAL AGENCY OF BOISE CITY |
|--------------------------|------------------------------------|
| | BY: |
| ATTEST: | Latonia Haney Keith, Chair |
| BY: | |
| Lauren McLean, Secretary | |

RESOLUTION NO. 1824 3



TYPE 2 GENERAL ASSISTANCE PARTICIPATION AGREEMENT

THIS TYPE 2 GENERAL ASSISTANCE PARTICIPATION AGREEMENT ("Agreement") is entered into by and between the Urban Renewal Agency of Boise City, Idaho, also known as Capital City Development Corporation, an independent public body, corporate and politic, organized and existing under the laws of the State of Idaho ("CCDC"), and 12th and Idaho Owner, LLC, a Delaware Limited Liability Company ("Participant"). CCDC and Participant may be collectively referred to as the "Parties" and individually as a "Party."

RECITALS

- A. The CCDC Board of Commissioners has adopted the CCDC Downtown Districts Participation Program Policy wherein CCDC can assist private and public development projects by funding improvements that benefit the public and are located in the public rights-of-way or a permanent public easement area (the "Eligible Expenses").
- B. Participant owns or controls certain real property addressed as 120 North 12th Street, Boise, Idaho 83702 (the "Project Site") which is more accurately depicted on attached **Exhibit A**.
- C. Participant plans to construct on the Project Site a mixed-use development comprised of a 26-story building with 298 residential units, approximately 8,700 square feet of ground floor commercial space, and an open-air parking garage with 323 parking spaces. The Project is depicted on attached **Exhibit B**.
- D. The Project is located in the Westside Urban Renewal District ("Westside District") as defined by the Urban Renewal Plan for the Westside Economic Development District Project Area (the "Westside Plan"). The Westside Plan terminates September 30, 2026. CCDC has programmed Capital Improvement Plan resources to assist Type 2 General Assistance projects that reach completion within the final two (2) years of the District's termination date. The Project will be completed within this timeframe and will contribute to enhancing and revitalizing the Westside District.
- E. As part of the Project, Participant intends to: construct streetscape improvements, including new sidewalk, curb and gutter, street trees, suspended pavement systems, and historic streetlights; construct stormwater mitigation infrastructure adjacent to the property and within the public right-of-way; and repair and replace certain portions of the Boise City Canal on the Project Site (collectively, the "Public Improvements"). The canal repair and replacement as depicted on attached **Exhibit C** includes portions to be reimbursed to Participant by the Ada County Highway District as well as a portion of approximately 56 linear feet to be reimbursed by CCDC. Under the provisions of the Plan, CCDC may enter into cooperative agreements to achieve the objectives of an urban renewal plan including the construction of Public Improvements.

- F. The Project meets the requirements of the Type 2 Participation Program and supports CCDC objectives to promote development of housing and improve utility and pedestrian infrastructure. The Eligible Expenses are depicted on the Public Improvement Plans on attached **Exhibit C**. The cost estimates for the Eligible Expenses are attached on **Exhibit D**.
- G. CCDC deems it appropriate to assist the development of the Project to achieve the objectives set forth in the Plan and in accordance with CCDC's Participation Program Policy.

AGREEMENT

NOW, THEREFORE, in consideration of the above recitals, the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

I. EFFECTIVE DATE AND TERM

The "Effective Date" of this Agreement shall be the date when this Agreement has been signed by the Parties (last date signed). This Agreement shall commence on the Effective Date and shall continue until all obligations of each Party are complete. Participant must reach Completion of the Project and the Public Improvements by June 30, 2025. If Completion has not been reached by that date, CCDC may, in its sole discretion, deem Participant to be in default and, subject to Section V below, terminate this Agreement without penalty. A single, one-hundred-eighty (180) day extension to the June 30, 2025, construction completion deadline may be granted upon written approval by CCDC.

"Completion" of the Project shall mean that Participant has received all of the following: a temporary certificate of occupancy for 100% of the residential units of the Project; a certificate of completion for the shell and core of the commercial/retail space(s) of the Project; and completion of the Public Improvements depicted in Exhibit C.

The Parties hereto expressly acknowledge and understand the Westside Plan terminates September 30, 2026, and that CCDC cannot and will not extend any obligations of this Agreement beyond this termination date.

II. SUBJECT OF AGREEMENT

A. Recitals, Purpose of This Agreement

The Parties agree that the foregoing recitals are not mere recitations but are covenants of the Parties, binding upon them and forming a portion of the consideration for the agreements contained herein. CCDC's commitment herein is designed to comply with CCDC's authority under the Act and the Plan and is intended to constitute an expenditure of CCDC funds for a public purpose and not be deemed a gift or donation of public funds.

B. Parties to This Agreement

1. CCDC

CCDC is an independent public body, corporate and politic, exercising governmental functions and powers and organized and existing under the Idaho Urban Renewal Law of 1965, being Idaho Code, Title 50, Chapter 20, and the

Local Economic Development Act, being Idaho Code, Title 50, Chapter 29, as amended and supplemented (collectively the "Act"). The office of CCDC is located at 121 N. 9th Street, Suite 501, Boise, Idaho 83702. "CCDC" as used herein, includes the Capital City Development Corporation and its successors and assigns.

2. Participant

Participant is 12th and Idaho Owner, LLC, a Delaware Limited Liability Company that is registered with the Idaho Secretary of State as 12th and Idaho Owner, LLC. The principal address of Participant is c/o White Oak Realty Partners, Attn: Christopher Lynch, 1999 Circle Drive, Suite B, Cleveland, Ohio 44106-3621.

The Registered Agent for Participant is CT Corporation System, 1555 W. Shoreline Drive, Suite 100, Boise, Idaho 83702.

Oppenheimer Companies, Inc., an Idaho corporation, may contract with Participant to undertake certain aspects of the Project construction responsibilities as the Participant and Oppenheimer Companies, Inc. so determine, with such additional contract(s) not involving CCDC as a Party and having no effect the duties and obligations of Participant and CCDC as set forth herein.

"Participant," as used herein, includes 12th and Idaho Owner, LLC, and any permitted nominee, assignee, or successor in interest as herein provided. Participant qualifies as an "owner participant" or "participant" as those terms are used in the Plan.

C. The Project

The term "Project" as used herein shall mean the project constructed by Participant upon the Site, as depicted in **Exhibit B**.

The current total assessed value of the Site, as determined by the Ada County Assessor, is ONE MILLION THREE HUNDRED SEVENTY-EIGHT THOUSAND ONE HUNDRED DOLLARS (\$1,378,100) for tax year 2022.

For purposes of this Agreement, Participant estimates the total value of the Project upon completion will be ONE HUNDRED TWELVE MILLION DOLLARS (\$112,000,000) (the "Estimated Value").

The Project and any construction of additional structures upon any portion of the Site shall comply with all the provisions of the Plan and all applicable building and zoning ordinances.

D. Participation Program

Based on the Downtown Districts Participation Program and in accordance with the Reimbursement Term Exceptions outlined in the Participation Program (amended 2022), the Participant is eligible to receive full reimbursement for Eligible Expenses before or by District termination, limited to the not to exceed amount indicated in Section III E.

If Participant materially changes the Project contemplated in the application submitted to CCDC on December 19, 2022, (the "Application"), CCDC reserves the right to re-evaluate the Project. Depending on the changes made by Participant to the Project, CCDC may find the Project is no longer eligible for assistance under the Participation Program.

III. IMPROVEMENT OF THE SITE AND CCDC'S PARTICIPATION

A. Cost of Construction

The cost of the Project and the Public Improvements, defined below, shall be borne by Participant, except as otherwise set forth herein.

B. <u>CCDC, City, and Other Governmental Entity Permits</u>

Participant shall, at Participant's own expense, secure all permits and approvals for the Project (including the Public Improvements) which may be required by CCDC, City, or any other governmental entity ("Approving Entities") relative to Project construction and operation. The Public Improvements shall be designed, constructed, and installed in compliance with the requirements of all the Approving Entities.

Participant shall keep CCDC advised of the approval process for all permits and approvals and advise CCDC immediately if any action or inaction by the Approving Entities will affect the scope and purpose of this Agreement.

Any failure by Participant to secure required permits and approvals, including but not limited to compliance with all applicable City ordinances, not cured within applicable cure periods shall constitute a default under this Agreement, with CCDC reserving any of its rights and remedies under this Agreement concerning default.

C. <u>Public Improvements</u>

"Public Improvements" shall mean those improvements eligible and agreed to for funding by CCDC. The Public Improvements are set forth in **Exhibit C**.

The Public Improvements are directly related to public facilities and are: (a) critical to the redevelopment of the Site; (b) are in the best interest of the public; (c) provide for enhanced development of the Site; and (d) provide a higher quality of development that should assist CCDC in achieving redevelopment of other properties adjacent to the Site and meeting the objectives of the Plan.

D. Construction of Public Improvements

Upon CCDC's request, CCDC shall have the right and the opportunity to review Participant's construction plans, budgets, and bids for the Public Improvements (collectively the "Public Improvement Construction Documents"). Participant will utilize commercially reasonable contracting, budgeting, and bidding practices to ensure that the Public Improvements are constructed consistent with the Public Improvement Construction Documents and are undertaken in a reasonable manner. Participant shall be presumed to have utilized commercially reasonable contracting, budgeting, and bidding practices if its general contractor solicits or solicited at least three (3) competitive bids for

the Public Improvements and such work is not performed by an affiliate or subsidiary of Participant. Upon request, Participant shall provide CCDC copies of any bids received.

Participant warrants that the materials and workmanship employed in the construction of the Public Improvements shall be good and sound and shall conform to generally accepted standards within the construction industry in Boise, Idaho. All construction shall be warranted for two (2) years from the date of substantial completion, and Participant acknowledges that it will be liable for any breach of this warranty. This warranty shall survive the termination or expiration of this Agreement.

E. Estimated Eligible Expenses

Participant has estimated the cost of the Public Improvements to be ONE MILLION FOUR HUNDRED EIGHTY-EIGHT THOUSAND SEVEN HUNDRED EIGHTY-EIGHT DOLLARS (\$1,488,788) (the "Estimated Eligible Expenses"). Attached hereto as **Exhibit D** is a schedule of Estimated Eligible Expenses. The Not-to-Exceed amount for CCDC's reimbursement obligation is ONE MILLION THREE HUNDRED FORTY-TWO THOUSAND THREE HUNDRED FORTY-FIVE DOLLARS (\$1,342,345).

F. <u>Determining Actual Costs / Eligible Expenses / Reimbursement Amount</u>

Upon Completion of the construction of the Public Improvements on the Site and City's acceptance of such improvements (as applicable), Participant will dedicate all constructed public infrastructure and utility infrastructure to the City, Highway District, or publicly regulated utility.

Participant shall provide appropriate documentation ("Cost Documentation") to CCDC that Participant has expended funds for Eligible Expenses in order to receive payment under the terms of this Agreement. Any Cost Documentation shall be submitted within thirty (30) days of Participant's notification to CCDC that construction of the Project is complete and shall include:

- Evidence of Completion such as a certificate of occupancy for the Project or other notice from City acknowledging the construction of the Project and Public Improvements are complete.
- 2. Recorded easements with appropriate governing body for public improvements constructed outside of the right of way, if needed.
- 3. Schedule of values that includes line items for the Public Improvements approved by CCDC for reimbursement so they are identifiable and separate from other line items ("Schedule of Values").
- 4. Invoices from Participant's general contractor, subcontractor(s), and material suppliers for each type of Eligible Expense item (e.g. concrete, asphalt, streetlights). Invoices shall specify quantities and unit costs of installed materials and a percentage estimate of how much installed material was used for the Public Improvements relative to the amount used for the Project.

- 5. Explanation of any significant deviation between the initial cost estimates in **Exhibit D** and the actual costs in the Cost Documentation as requested by CCDC.
- 6. A signed and notarized letter from Participant attesting that all materials used for the construction of the Public Improvements have been paid for, that contractors and subcontractors have been paid, that no liens exist on the work performed, and that the Cost Documentation is complete whereupon payment by CCDC shall constitute full accord and satisfaction of all the Agreement obligations.
- 7. Participant must waive any vested interest rights granted by public utilities that would be paid by subsequent development and provide documentation that the interest has been waived.
- 8. Additional documentation or clarifications may be required and requested by CCDC.
- 9. The Participant attests that all requested reimbursement expenses are for eligible public improvements within the public right-of-way or easement area.

CCDC shall have thirty (30) days to review the Cost Documentation supplied by Participant and confirm Participant's performance of its obligations under this Agreement. During this 30-day period, CCDC shall review the Cost Documentation in order to: (1) verify the costs were incurred in constructing the Public Improvements; (2) verify the costs incurred are commercially reasonable; and (3) verify Participant has paid all contractors, subcontractors, and material suppliers that constructed or provided materials for the Public Improvements.

If CCDC disputes any portion of the Cost Documentation, CCDC shall reimburse Participant for the undisputed amount in the manner set forth below and the Parties shall amicably and in good faith work together to resolve any dispute over the Cost Documentation. Disputes shall be resolved pursuant to the procedures set forth in Section V.

Following CCDC's verification of the Cost Documentation and determination of the actual costs to construct the Public Improvements (the "Actual Costs"); CCDC shall notify Participant of the amount CCDC will reimburse Participant for the Public Improvements (the "CCDC Reimbursement"). The CCDC Reimbursement shall be the lesser of the Actual Costs or the Estimated Eligible Expenses.

G. Reimbursement Schedule and Payment Amount

In accordance with the Reimbursement Term Exceptions outlined in the Participation Program (amended 2022), CCDC agrees to reimburse Participant Actual Eligible Expenses not to exceed \$1,342,345. Actual Eligible Expenses do not include soft costs (e.g., architectural and engineering design, permits, traffic control, and mobilization). The payment for this Type 2 Agreement will be made as a one-time reimbursement.

H. <u>CCDC Reimbursement Assignable</u>

CCDC shall reimburse Participant by paying the CCDC Reimbursement to Participant or to Participant's assignee or designee. Participant shall have the right to assign its right to reimbursement to its lender, its successor, or other entity designated by Participant. CCDC and Participant agree that CCDC's obligations run only to Participant or its assignee or designee.

I. Subordination of Reimbursement Obligations

The Parties agree this Agreement does not provide Participant with a security interest in any CCDC revenues for the District or any other urban renewal plan area, including but not limited to revenue from any "Revenue Allocation Area" (as defined in Title 50, Chapter 29 of the Idaho Code) or any revenue from CCDC's parking garages. Notwithstanding anything to the contrary in this Agreement, the obligation of CCDC to make the payments as specified in this Agreement shall be subordinate to all CCDC obligations that have committed or in the future commit available CCDC revenues, including but not limited to revenue from any Revenue Allocation Area or any revenue from CCDC's parking garages, and may be subject to consent and approval by CCDC lenders.

J. Indemnification

Participant shall indemnify and hold CCDC and its officers, agents, and employees harmless from and against all liabilities, obligations, damages, penalties, claims, costs, charges, and expenses, including reasonable architect and attorney fees (collectively referred to in this Section as "Claim"), which may be imposed upon or incurred by or asserted against CCDC or its officers, agents, and employees relating to the construction or design of the Public Improvements or otherwise arising out of Participant's negligent or tortious actions or inactions.

In the event an action or proceeding is brought against CCDC or its respective officers, agents, and employees by reason of any such Claim, Participant, upon written notice from CCDC shall, at Participant's expense, resist or defend such action or proceeding. Notwithstanding the foregoing, Participant shall have no obligation to indemnify, defend, or hold CCDC and its respective officers, agents, and employees harmless from and against any matter to the extent it arises from the active negligence or willful act of CCDC or its respective officers, agents, or employees.

The indemnification provisions set forth herein are intended to, and shall, survive the termination or completion of this Agreement.

K. Insurance

Participant shall, or shall through its contractor, agents, representatives, employees, or subcontractors, at no cost to CCDC, obtain and maintain in force for the duration of the construction of the Public Improvements and the Project insurance of the following types, with limits not less than those set forth below and in a form acceptable to CCDC, against claims for injuries to persons or damages to property which may arise from, or in connection with, the performance of the services hereunder by Participant, its agents, representatives, employees, or subcontractors:

- 1. Commercial General Liability Insurance ("Occurrence Form") with a minimum combined single limit liability of \$1,000,000 each occurrence for bodily injury and property damage; with a minimum limit of liability of \$1,000,000 each person for personal and advertising injury liability. Such policy shall have a general aggregate limit of not less than \$2,000,000, which general aggregate limit will be provided on a per project basis. The policy shall be endorsed to name CCDC as additional insured.
- 2. Workers' Compensation Insurance, including occupational illness or disease coverage, in accordance with the laws of the nation, state, territory, or province having jurisdiction over Participant's employees, and Employer's Liability Insurance. Participant shall <u>not</u> utilize occupational accident or health insurance policies, or the equivalent, in lieu of mandatory Workers' Compensation Insurance or otherwise attempt to opt out of the statutory Workers' Compensation system.
- 3. Automobile Liability Insurance covering use of all owned, non-owned, and hired automobiles with a minimum combined single limit of liability for bodily injury and property damage of \$1,000,000 per occurrence. This policy shall be endorsed to name CCDC, including its respective affiliates, directors, and employees, as additional insureds.
- 4. Certificates of insurance satisfactory in form to CCDC (ACORD form or equivalent) shall be supplied to CCDC evidencing that the insurance required above is in force, that, to the extent commercially reasonable, not less than thirty (30) days' written notice will be given to CCDC prior to any cancellation or restrictive modification of the policies, and that the waivers of subrogation are in force. Participant shall also provide, with its certificate of insurance, executed copies of the additional insured endorsements and dedicated limits endorsements required in this Agreement. At CCDC's request, Participant shall provide a certified copy of each insurance policy required under this Agreement.

L. Antidiscrimination During Construction

Participant, for itself and its successors and assigns, agrees that in the construction of improvements on the Site provided for in this Agreement, Participant at its agents will not discriminate against any person on the basis of race, color, religion, sex, sexual orientation, gender identity, gender expression, national origin or ancestry, age, or handicap. Violation of this section shall constitute a material breach of this Agreement and be deemed grounds for cancellation, termination, or suspension of the Agreement by CCDC, in whole or in part.

M. Maintenance

Participant recognizes CCDC has no specific authority to accept maintenance responsibility of the Public Improvements and that no agreement has been reached with CCDC, City, or other governmental entity to accept any maintenance obligations for the Public Improvements in the right of way or an easement area.

IV. USE OF THE SITE, COMPLIANCE WITH LAW, PAYMENT OF TAXES

A. Use of the Site

Participant agrees and covenants to comply with all other provisions and conditions of the Plan for the period of time the Plan is in force and effect, which for purposes of this Agreement is deemed effective through September 30, 2026.

B. Local, State and Federal Laws

Participant covenants that it carried out the construction of the improvements in conformity with all applicable laws, including all applicable federal and state labor standards.

C. Taxes

Participant recognizes CCDC has no authority or involvement in the assessment, tax, or collection process for ad valorem taxes, including real property and personal property taxes. Participant also recognizes the ability of CCDC to reimburse Participant for the CCDC Reimbursement is dependent on the ad valorem assessment and timing of collection process as is the CCDC's ability to successfully meet long term financing and payment obligations and to continue doing business.

1. <u>Taxes Generally</u>

Participant shall pay when due all real estate and personal property taxes and assessments assessed and levied on Participant's ownership interest of the Site. This provision or covenant shall run with the land and be binding upon Participant's successors.

2. <u>Tax Appeals/ Exemptions</u>

Participant shall not appeal any assessed value or request for property tax exemption for any of the parcels within the site for an assessment of less than the Estimated Value, as described in Section 2.c. Any appeal of the assessed value or request for any property tax exemption for any of the parcels within the site for an assessment in excess of the Estimated Value, shall require CCDC's written authorization. The foregoing shall include but is not limited to an exemption or reduction under Idaho Code § 63-602NN or Idaho Code Section 63-606A, for property taxes assessed for any property tax year up to and including property tax year 2026. The property tax year runs from January 1st to December 31st.

3. Delinquent or Reduced Taxes

Participant expressly acknowledges and understands that the CCDC Reimbursement is linked to the tax increment revenue <u>actually</u> generated from the Site, and in the event insufficient taxes are received by CCDC for any reason, including a reduction of the tax levy rate or assessed values less than assumed by CCDC and Participant or in the event of any tax delinquency by any owner of parcels within the Site or by any tenant related to personal property, the actual tax increment received by CCDC will be reduced, which in turn will result in lower Annual Payments by CCDC to Participant.

V. DEFAULTS, REMEDIES, AND TERMINATION

A. Defaults in General

In the event that a dispute arises between CCDC and Participant regarding application or interpretation of any provision of this Agreement, the aggrieved Party shall promptly notify the other Party to this Agreement of the dispute within ten (10) days after such dispute arises. If the Parties shall have failed to resolve the dispute within forty-five (45) days after delivery of such notice, the Parties may first endeavor to settle the dispute in an amicable manner by mediation. If the Parties elect to mediate their dispute, the Parties will select a mediator by mutual agreement and agree to each pay half of the mediator's costs and fees. The mediation will take place in Boise, Idaho, unless otherwise agreed by the Parties in writing. Should the Parties be unable to resolve the dispute to their mutual satisfaction within forty-five (45) days after such completion of mediation, each Party shall have the right to pursue any rights or remedies it may have at law or in equity. If the Parties do not mutually agree to mediate the dispute, either Party may pursue any rights or remedies it may have at law.

B. <u>Legal Actions</u>

In addition to any other rights or remedies, any Party may institute legal action to cure, correct, or remedy any default; to recover damages for any default; or to obtain any other remedy consistent with the purpose of this Agreement. The nondefaulting Party may also, at its option, cure the default and sue to collect reasonable attorney's fees and costs incurred by virtue of curing or correcting the Party's breach.

The laws of the State of Idaho shall govern the interpretation and enforcement of this Agreement.

C. Rights and Remedies Are Cumulative

Except as otherwise expressly stated in this Agreement, the rights and remedies of the Parties are cumulative, and the exercise by any Party of one or more of such rights or remedies shall not preclude the exercise by it, at the same time or different times, of any other rights or remedies for the same default or any other default by the other Party.

CCDC reserves the right to withhold reimbursement to Participant for any Participant default.

VI. GENERAL PROVISIONS

A. Notices, Demands, and Communications Between the Parties

Formal notices, demands, and communications between CCDC and Participant shall be sufficiently given if dispatched by registered or certified mail, postage prepaid, return receipt requested, to the principal offices of CCDC and Participant as set forth in this Agreement. Such written notices, demands, and communications may be sent in the same manner to such other addresses as either party may from time to time designate by mail.

B. Conflicts of Interest

No member, official, or employee of CCDC shall have any personal interest, direct or indirect, in this Agreement, nor shall any such member, official, or employee participate in any decision relating to this Agreement which affects his/her personal interests or the interests of any corporation, partnership, or association in which he/she is directly or indirectly interested.

Participant warrants that it has not paid or given, and will not pay or give, any third party any money or other consideration for obtaining this Agreement.

C. Non-Liability of CCDC Officials and Employees

No member, official, or employee of CCDC shall be personally liable to Participant in the event of any default or breach by CCDC or for any amount which may become due to Participant or on any obligations under the terms of this Agreement.

D. Successors and Assigns

This Agreement shall, except as otherwise provided herein, be binding upon and inure to the benefit of the successors and assigns of the Parties hereto.

E. Attorney Fees and Costs

In the event that either Party to this Agreement shall enforce any of the provisions hereof in any action at law or in equity, the unsuccessful Party to such litigation agrees to pay to the prevailing Party all costs and expenses, including reasonable attorney fees incurred therein by the prevailing Party, and such may be included to the judgment entered in such action.

F. Severability

If any provisions of this Agreement shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions of this Agreement, and this Agreement shall be construed and enforced as if such illegal or invalid provisions had not been contained herein.

G. <u>Headings</u>

The section headings contained herein are for convenience and reference and are not intended to define or limit the scope of any provision of this Agreement.

H. Counterparts

This Agreement may be simultaneously executed in several counterparts, each of which shall be an original and all of which shall constitute one and the same instrument.

I. Forced Delay; Extension of Times of Performance

In addition to the specific provisions of this Agreement, performance by any Party hereunder shall not be deemed to be in default where delays or defaults are due to war; insurrection; strikes; lock-outs; riots; floods; earthquakes; fires; casualties; acts of God;

acts of the public enemy; epidemics; quarantine restrictions; freight embargoes; lack of transportation; lack of materials or labor at commercially reasonable prices or in commercially reasonable quantities; governmental restrictions or priority; litigation; unusually severe weather; acts of another party; environmental analysis, or removal of hazardous or toxic substances; acts or the failure to act of any public or governmental agency or entity (except that acts or the failure to act by CCDC shall not excuse performance by CCDC); or any other causes beyond the control or without the fault of the Party claiming an extension of time to perform. An extension of time for any such cause shall only be for the period of the forced delay, which period shall commence to run from the time of the commencement of the cause, if notice is delivered by the Party claiming such extension no later than forty-five (45) days after the commencement of the cause. If, however, notice by the Party claiming such extension is sent to the other Party more than forty-five (45) days after the commencement of the cause, the period shall commence to run only forty-five (45) days prior to the giving of such notice. Times of performance under this Agreement may also be extended in writing by CCDC and Participant. Notwithstanding the foregoing, the Parties hereto expressly acknowledge and understand the Westside Plan terminates September 30, 2026, and that CCDC cannot and will not extend any obligations of this Agreement beyond this termination date.

J. <u>Inspection of Books and Records</u>

CCDC has the right, upon not less than seventy-two (72) hours' notice, at all reasonable times, to inspect the books and records of Participant pertaining to the Public Improvements.

No inspection by CCDC shall, however, cause any document, information, or record of Participant to become a public record subject to public disclosure pursuant to Title 74, Chapter 1 of the Idaho Code, unless such document, information, or record is actually delivered to CCDC by Participant.

Except as set forth in this Agreement or other agreement executed by the Parties, recorded by the Parties, or made part of the records of CCDC, the Parties acknowledge that Participant's documents, records, plans, and information in any form related to the Project shall be confidential unless and until such documents are provided to CCDC, and then CCDC shall take such action as is permissible under Title 74, Chapter 1 of the Idaho Code to protect the confidentiality of documents provided by Participant that have been clearly marked as confidential with reference to the applicable section of Idaho Code under which the documents are deemed not subject to public disclosure.

K. Promotion of Project

Participant agrees CCDC may promote the Public Improvements and CCDC's involvement with the Public Improvements. Such promotion includes reasonable signage at the Site notifying the public of CCDC's involvement with the Public Improvements.

L. Anti-Boycott Against Israel Certification

In accordance with Idaho Code Section 67-2346, Participant, by entering into this Agreement, hereby certifies that it is not currently engaged in, or for the duration of this Agreement will not engage in, a boycott of goods or services from the State of Israel or territories under its control.

VII. AMENDMENTS TO THIS AGREEMENT; WAIVERS

CCDC and Participant agree to mutually consider reasonable requests for amendments to this Agreement and any attachments hereto which may be made by any of the Parties hereto, lending institutions, bond counsel, financial consultants, or underwriters to CCDC, provided said requests are consistent with this Agreement and would not alter the basic business purposes included herein or therein. All amendments to and waivers of the provisions of this Agreement shall be in writing and signed by the appropriate authorities of CCDC and Participant.

VIII. ENTIRE AGREEMENT

This Agreement, including the following listed **Exhibits A through D**, inclusive and incorporated herein by reference, constitutes the entire understanding and agreement of the Parties.

Exhibit A – Legal Description

Exhibit B – Project Depiction and Renderings

Exhibit C – Public Improvement Plans

Exhibit D – Schedule of Eligible Expenses Estimate

This Agreement integrates all of the terms and conditions mentioned herein or incidental hereto and supersedes all negotiations or previous agreements between the Parties with respect to all or any part of the subject matter thereof.

End of Agreement | Signatures appear on the following page.

IN WITNESS WHEREOF, the Parties have signed this Agreement the day and year below written to be effective as first indicated above.

| ohn Brunelle, Executive Director | Date |
|---|------------|
| Participant 12 TH AND IDAHO OWNER, LLC a Delaware limited liability company | |
| By: WORP/PCP ODC Boise I Developer, LLC a Delaware limited liability company, its Manager | |
| By: WORP/PCP ODC Boise I, LLC a Delaware limited liability company, its Manager | |
| By: WORP/PCP Boise I, LLC a Delaware limited liability company, its Manager | |
| By: WORP Manager, LLC a Delaware limited liability company, its Manager By: | 05/03/2023 |
| Name: Christopher Lynch Title: Authorized Person | Date |

| Budget Info / For CCDC Office Use | | | | |
|-----------------------------------|--------------------|--|--|--|
| Fund/District | 303 | | | |
| Account | 7001 | | | |
| Contract Term | September 30, 2026 | | | |

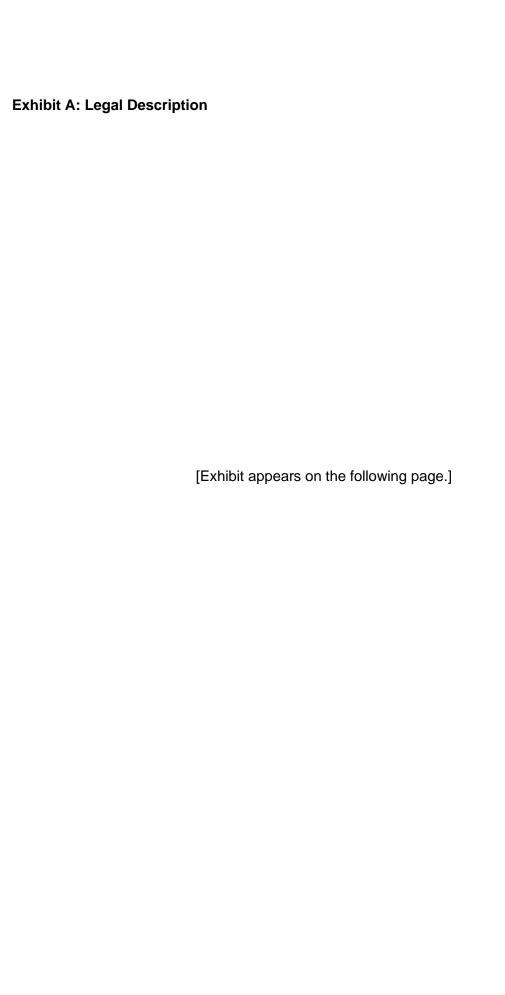


EXHIBIT A

Legal Description of the Land

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ADA, STATE OF ID, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 8, 9 AND 10 IN BLOCK 15 OF BOISE CITY ORIGINAL TOWNSITE, ACCORDING TO THE PLAT THEREOF, FILED IN BOOK 1 OF PLATS AT PAGE 1, RECORDS OF ADA COUNTY, IDAHO.

Address: 1115 W. Idaho Street, Boise, Idaho 83702

PIN(s): **R1013001251**



WORP - 12th & Idaho

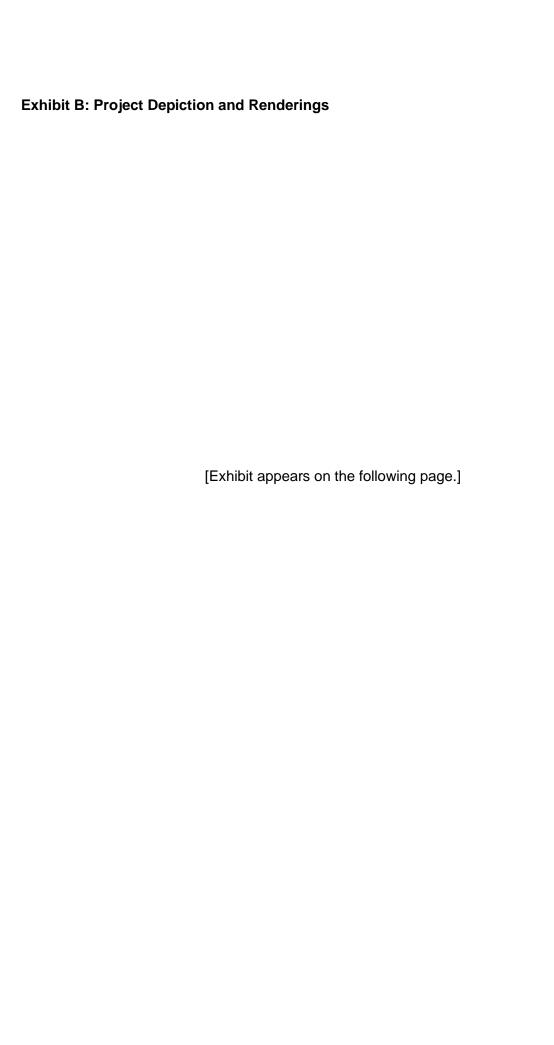


Site Location Map



Jun 10, 2022 - landproDATA.com Scale: 1 inch approx 150 feet

The materials available at this website are for informational purposes only and do not constitute a legal document.







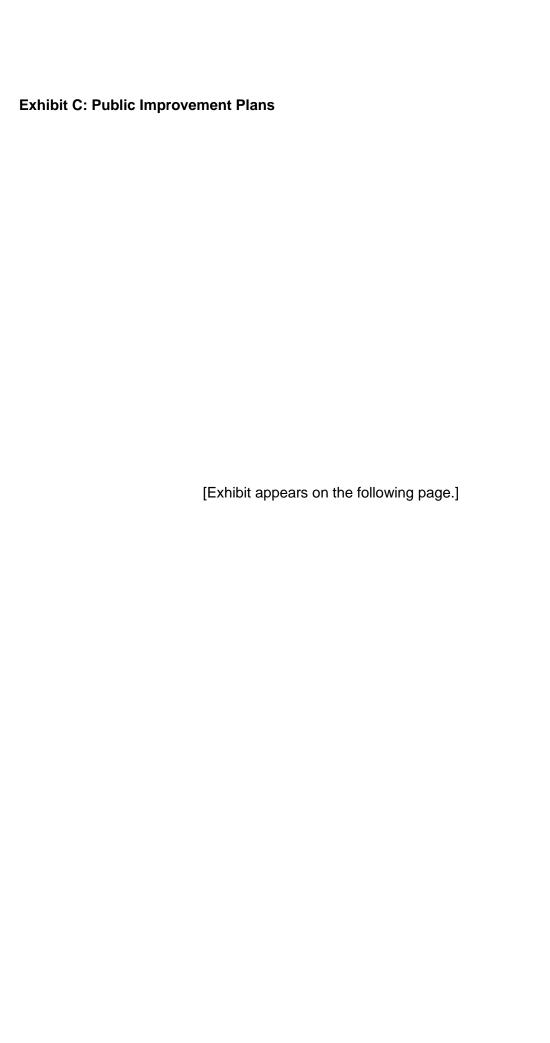
CORNER OF 12TH AND IDAHO CORNER OF 12TH AND IDAHO

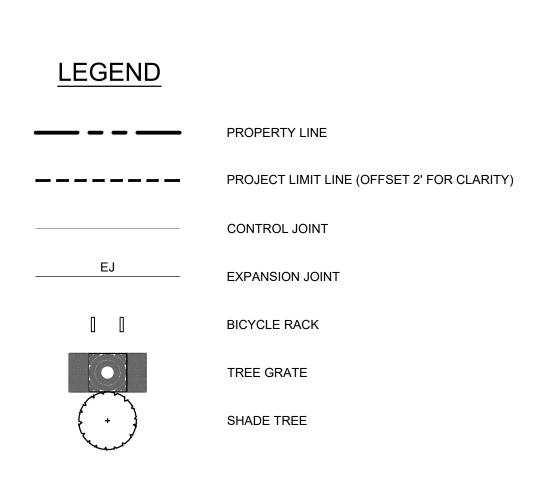


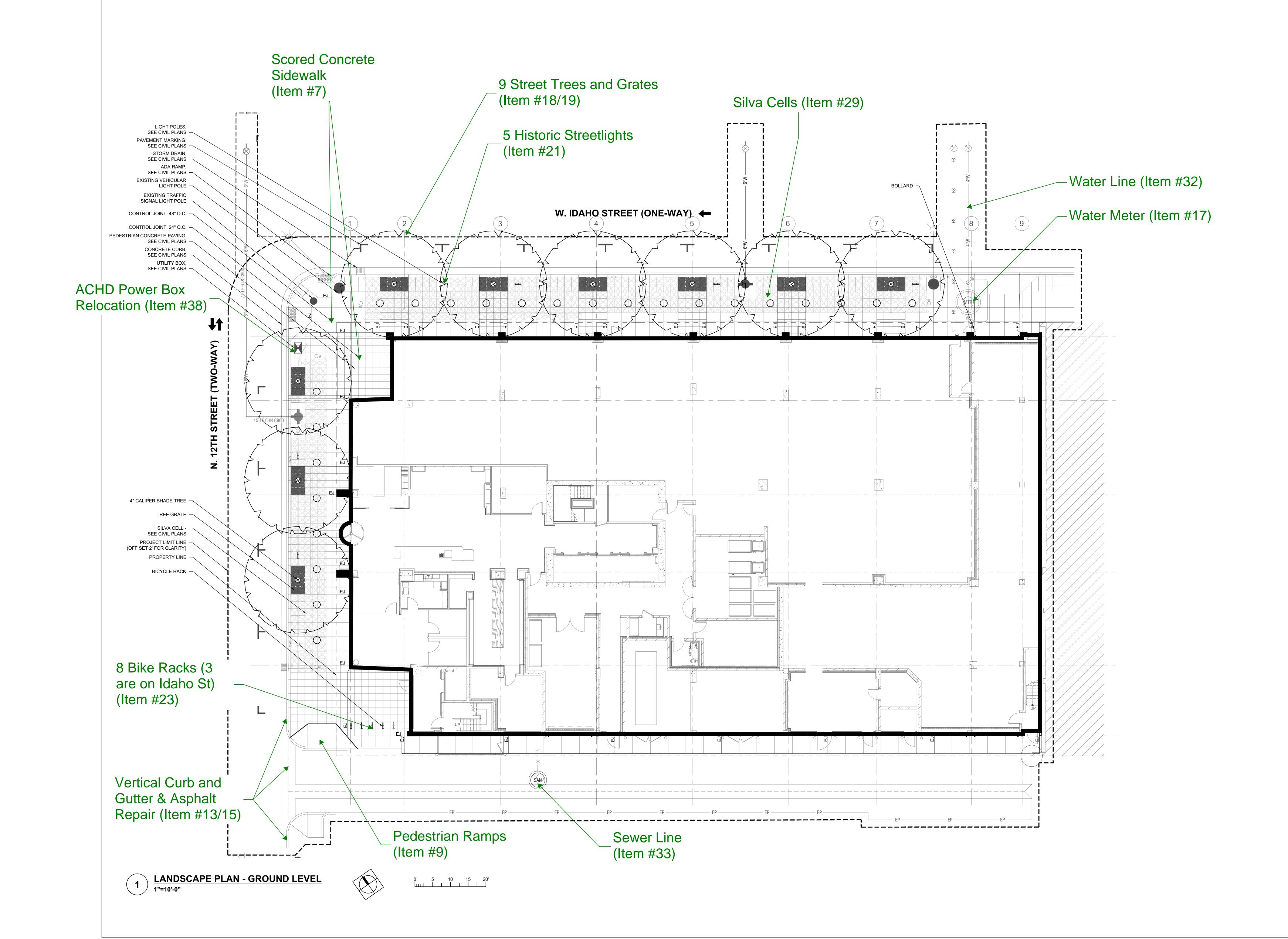




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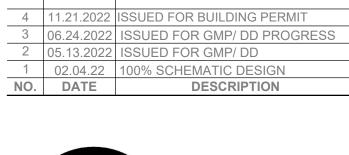








4 11.21.2022 ISSUED FOR BUILDING PERMIT
3 06.24.2022 ISSUED FOR GMP/ DD PROGRESS





12th AND IDAHO

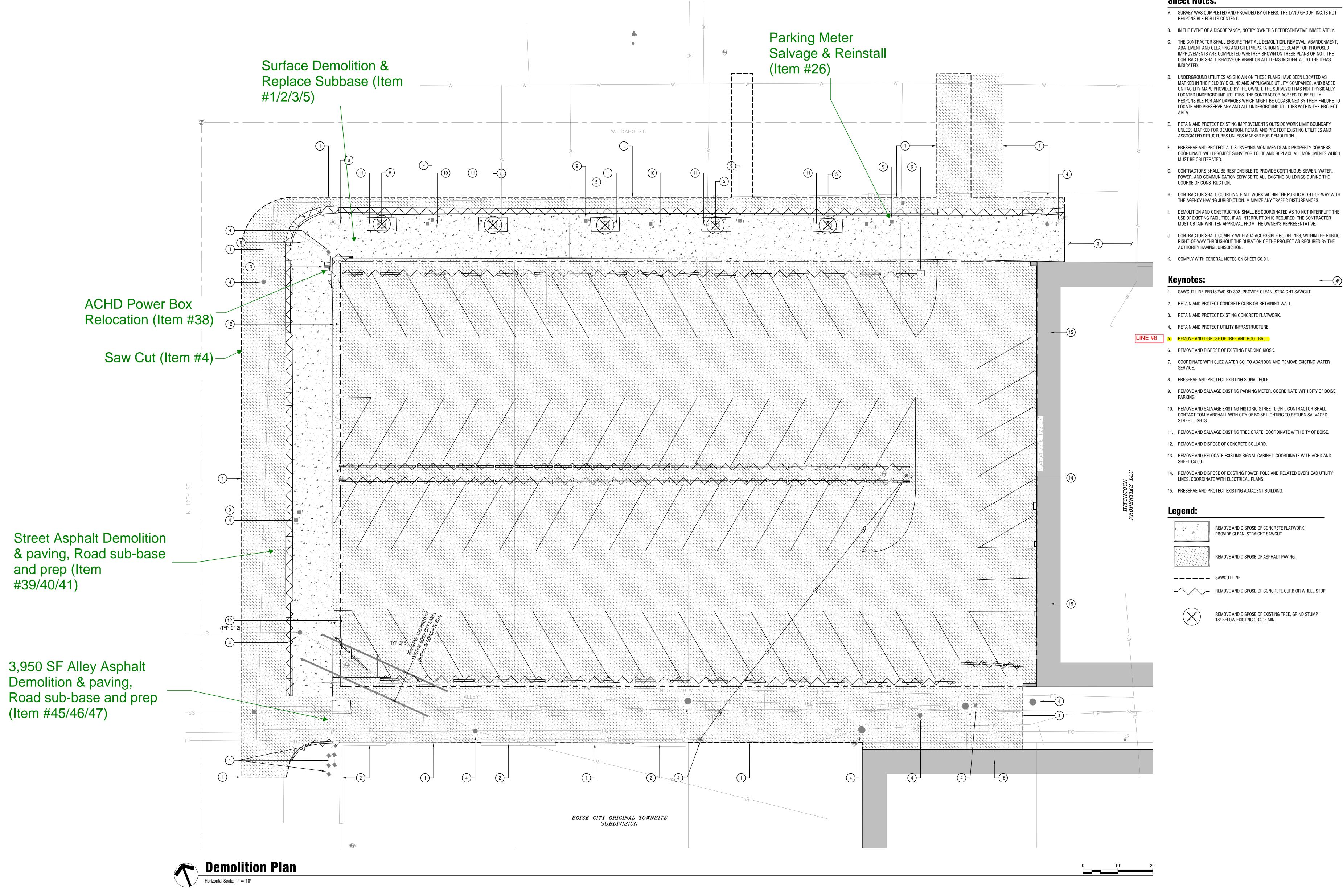
120 N.12th Street Boise, ID 83702 © 2021 Solomon Cordwell Buenz

LANDSCAPE PLAN - GROUND LEVEL

Drawn By: Checked By: NM BK

Project
Number: 2021049

heet L1.01-01



Sheet Notes:

- A. SURVEY WAS COMPLETED AND PROVIDED BY OTHERS. THE LAND GROUP, INC. IS NOT RESPONSIBLE FOR ITS CONTENT.
- B. IN THE EVENT OF A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL REMOVE OR ABANDON ALL ITEMS INCIDENTAL TO THE ITEMS

RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCASIONED BY THEIR FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES WITHIN THE PROJECT

UNLESS MARKED FOR DEMOLITION. RETAIN AND PROTECT EXISTING UTILITIES AND ASSOCIATED STRUCTURES UNLESS MARKED FOR DEMOLITION.

PRESERVE AND PROTECT ALL SURVEYING MONUMENTS AND PROPERTY CORNERS. COORDINATE WITH PROJECT SURVEYOR TO TIE AND REPLACE ALL MONUMENTS WHICH

POWER, AND COMMUNICATION SERVICE TO ALL EXISTING BUILDINGS DURING THE

CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBLE GUIDELINES, WITHIN THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

#

COMPLY WITH GENERAL NOTES ON SHEET CO.01.

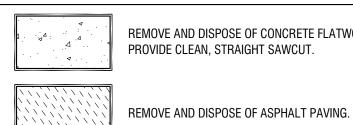
Keynotes:

- 1. SAWCUT LINE PER ISPWC SD-303. PROVIDE CLEAN, STRAIGHT SAWCUT.
- 2. RETAIN AND PROTECT CONCRETE CURB OR RETAINING WALL 3. RETAIN AND PROTECT EXISTING CONCRETE FLATWORK.
- 4. RETAIN AND PROTECT UTILITY INFRASTRUCTURE.

6. REMOVE AND DISPOSE OF EXISTING PARKING KIOSK.

- 7. COORDINATE WITH SUEZ WATER CO. TO ABANDON AND REMOVE EXISTING WATER
- 8. PRESERVE AND PROTECT EXISTING SIGNAL POLE.
- 9. REMOVE AND SALVAGE EXISTING PARKING METER. COORDINATE WITH CITY OF BOISE
- 10. REMOVE AND SALVAGE EXISTING HISTORIC STREET LIGHT. CONTRACTOR SHALL CONTACT TOM MARSHALL WITH CITY OF BOISE LIGHTING TO RETURN SALVAGED
- 11. REMOVE AND SALVAGE EXISTING TREE GRATE. COORDINATE WITH CITY OF BOISE.
- 13. REMOVE AND RELOCATE EXISTING SIGNAL CABINET. COORDINATE WITH ACHD AND
- LINES. COORDINATE WITH ELECTRICAL PLANS.

15. PRESERVE AND PROTECT EXISTING ADJACENT BUILDING.



REMOVE AND DISPOSE OF CONCRETE FLATWORK. PROVIDE CLEAN, STRAIGHT SAWCUT.

____ ___ SAWCUT LINE.

REMOVE AND DISPOSE OF CONCRETE CURB OR WHEEL STOP,

REMOVE AND DISPOSE OF EXISTING TREE, GRIND STUMP 18" BELOW EXISTING GRADE MIN.

06.17.2022 ACHD COMMENTS 06.01.2022 AGENCY COMMENTS 05.18.2022 100% DESIGN DEVELOPMENT/GMP 04.22.2022 60% DESIGN DEVELOPMENT 04.11.2022 ISSUED FOR FOUNDATION & SUPERSTRUCTURE PERMIT 04.04.2022 ISSUED FOR GRADING & DRAINAGE 2 02.04.2022 ISSUED FOR SCHEMATIC DESIGN 1 12.22.2021 50% SCHEMATIC DESIGN NO. DATE DESCRIPTION



Architecture Interior Design

12th and Idaho

120 N. 12th Street Boise, ID, 83702 © 2021 Solomon Cordwell Buenz

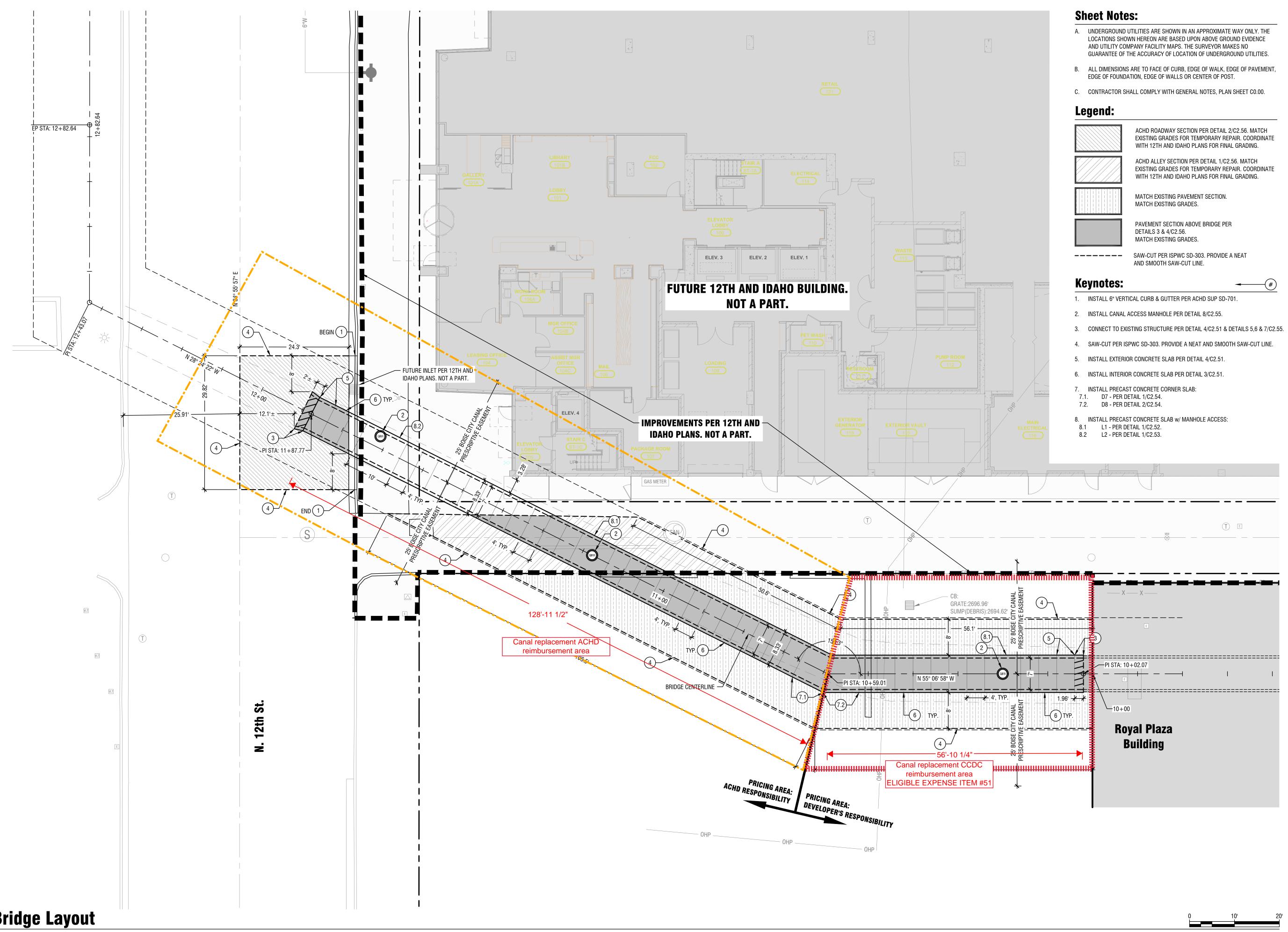
DEMOLITION PLAN

Checked By: JCD Project Number:

C1.00

Planning & Development Services

City of Boise | www.cityofboise.org/pds 10/7/2022 | GRD22-00028



alty a X

Date of Issuance:

PERMIT SET **ACHD Bridge Phs 1**

Bridge Layout



CCDC Participation Program

Type 2 Eligible Expenses Application Form

Actual Eligible Costs To Be Determined by CCDC

Project Name: 12th and Idaho

OTHER:

27 Survey

26 Parking Meter Salvage & Reinstall

Total Streetscape Costs:

Plan Date: 11/21/22

By: SCB Idaho / The Land

Group

| | ALL SCOPE MUST BE 1) LOCATED ON PUBLIC IM | PROVEINIENT PERIVITI | AND 2) IN THE | PUBLIC RIGI | 11 OF WAY |
|----|---|----------------------|---------------|-------------|------------|
| # | ITEM DESCRIPTION | UNIT | UNIT PRICE | QUANTITY | TOTAL COST |
| | SITE PREPARATION: DIVISIONS 2 and 31 | | | | |
| 1 | Surface demolition | SF | 1.75 | 6,816 | 11,928 |
| 2 | Asphalt demolition | SF | 4.50 | 3,200 | 14,400 |
| 3 | Curb and gutter demolition | LF | 3.50 | 331 | 1,159 |
| 4 | Saw cut | LS | 1.00 | 3,750 | 3,750 |
| 5 | Replace subbase | SF | 9.59 | 6,816 | 65,365 |
| 6 | Stand alone tree removal | EA | 5.00 | 750 | 3,750 |
| | SIDEWALK WORK: DIVISION 32 | | | | |
| 7 | Scored concrete sidewalk | SF | 11.35 | 6,101 | 69,246 |
| 9 | Pedestrian ramp | EA | 1,750.00 | 4 | 7,000 |
| | OTHER: DIVISION 32 | | | | |
| 13 | Asphalt repair | LS | 1.00 | 12,500 | 12,500 |
| 15 | Vertical curb and gutter (6") | LF | 75.00 | 400 | 30,000 |
| 17 | Water meter | LS | 6,500.00 | 0 | 0 |
| | SITUATIONAL FURNISHINGS: DIVISION 32 | | | | |
| 18 | Street trees | LS | 12,500.00 | 1 | 12,500 |
| 19 | Tree grates & frames | LS | 58,765.00 | 1 | 58,765 |
| 21 | Historic street light | EA | 5,250.00 | 5 | 26,250 |
| 23 | Bike rack | LS | 2,062.50 | 8 | 16,500 |
| 24 | Litter receptacle | LS | 7,500.00 | 1 | 7,500 |
| | | | | | |

EΑ

LS

750.00

7,700.00

6

0

4,500

345,113

0

CCDC Participation ProgramEligible Costs Application Form

Actual Eligible Costs To Be Determined by CCDC

| | INFRASTRUCTURE & UTILITIES: (In right-of-way) | | | | |
|----|--|----------|------------|----------|------------|
| | | UNIT | UNIT PRICE | QUANTITY | TOTAL COST |
| | STORM WATER MITIGATION: DIVISION 33 | | | | |
| 29 | Surface prep Silva Cells) | SF | 147 | 1,654 | 243,138 |
| | UTILITIES: DIVISION 33 | | | | |
| 22 | Water line (new/relocation/extension) | LS | 207,147 | 0 | 0 |
| | | | • | | |
| | Sewer line (new/relocation/extension) | LS | 16,728 | 0 | 0 |
| | Geothermal Line (new/relocation/extension) | LS | 362,498 | 0 | 0 |
| | Fiber line (new/relocation/extension) | LS | 14,548 | 2 | 29,096 |
| 38 | ACHD power box relocation | LS | 342,637 | 1 | 342,637 |
| | ALLEY: | | | | |
| 45 | Asphalt demolition | SF | 4.50 | 4,600 | 20,700 |
| | Alley sub-base and prep | SF | 9.59 | 3,960 | 37,976 |
| 47 | Asphalt paving | SF | 9.30 | 3,950 | 36,735 |
| | OTHER: | | | | |
| 51 | Canal Replacement | LS | 362,498 | 1 | 362,498 |
| | | | | | |
| | Total Infrastructure & Utilities Costs: | | | | 1,072,780 |
| | | | | | |
| | SUBTOTAL ELIGIBLE COSTS: | | | | 1,417,894 |
| | 5% General Conditions (limit per program policy) | | | | 70,895 |
| | TOTAL ELIGIBLE COSTS: | | | | 1,488,788 |
| | REIMBURSEMENT NOT TO EXCEED AMOUNT: | | | | 1,342,345 |
| | | | | | |
| | Imnorta | nt Note: | | | |

Important Note:

Each program where eligible costs are identified will only pay for those approved expenses not otherwise paid for by another public entity.



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AGENDA BILL

| Agenda Subject: Approve Resolution 1823: 1201 W. Type 4 Participation Agreement wit | | Date: June 12, 2023 |
|---|---|-------------------------------|
| Staff Contact: Kevin Holmes, Project Manager | Attachments: 1) Resolution 18 2) Type 4 Agree | |
| | | |

Action Requested:

Adopt Resolution 1823 approving the Type 4 Participation Agreement with Broadstone Saratoga, LP and authorizing the Executive Director to execute the agreement.

Background:

The Broadstone Saratoga is a planned seven-story, mixed-use building with 334 units and ground floor commercial space being developed by Alliance Realty Partners, LLC, a multi-family developer based in Seattle. The project, which has an estimated total development cost of \$100 million, will include 263,990 square feet of residential space, over 7,000 square feet of ground floor retail, and residential lobby space and amenities to provide an active street frontage. The existing public alley provides access to 377 parking spaces in structured parking and is spanned by multiple sky bridges connecting the two halves of the project.

Construction of the Broadstone Saratoga is ongoing and anticipated to be completed in May 2025. This coincides with the Linen Blocks on Grove Street Streetscape Improvement Project. This Agency-led capital project enhances Grove Street as a multi-modal corridor with raised protected bike lanes, upgraded streetscapes, roadway reconstruction, and added placemaking and public space elements. Coordination between the two projects was identified as an opportunity to realize efficiencies in both projects and reduce impacts of construction on the public.

Type 4 Agreement:

In August 2022, the CCDC Board designated the project as eligible for Type 4 Capital Improvement Project Coordination due to overlapping project areas with the Linen Blocks on Grove Street. Type 4 projects are eligible for reimbursement of up to 100% of public improvement costs, with a not-to-exceed amount based on the project's budget programmed in the adopted Five-Year Capital Improvements Plan (CIP).

Public Improvements eligible for CCDC reimbursement include streetscapes along 13th, 14th, and Front streets, utility undergrounding and upgrades, and a portion of the scope of the Linen Blocks on Grove Street CIP improvements. Along Grove St., Alliance Realty Partners is undertaking the demolition of the existing sidewalk. CCDC will then construct the sidewalk, bike lane, curb, and gutters, and install silva cells and the initial irrigation before turning over the

frontage to Alliance Realty Partners to install the trees, landscaping, final irrigation, and CCDC supplied street furnishings. This scope share coordinates the schedules of the two projects with resulting cost benefits to each, as well as a reduced impact upon the public due to construction closures.

Along 13th, 14th, and Front streets, all Public Improvements are being constructed by Alliance Realty Partners. Eligible expenses for the streetscapes include new sidewalks, street trees, historic streetlights, silva cells, and bioretention planters. Utility upgrades include relocating and undergrounding power and communication lines, and installing new water, sewer, and gas lines. The total estimated eligible expense for all work being undertaken by the developer, including along Grove St., is \$2,025,563.

Within the River-Myrtle/Old Boise District and Linen Blocks on Grove Street CIP project budget, the Agency has funds to reimburse up to \$1,873,289 in verified eligible expenses. This has been set as the not-to-exceed amount in the draft Type 4 Participation Agreement. Upon inspection and cost documentation, eligible expenses will be reimbursed as a one-time payment.

Project Summary & Timeline:

- 1210 W. Grove Street
- 334-unit multi-family with 7,000 square feet ground floor commercial
- \$100M Total Development Cost
- ~\$2,025,563 Total Eligible Expenses
- \$1,873,289 not-to-exceed reimbursement amount
- May 2022 Design Review Approval
- June 2022 Applied for Participation
- August 2022 Type 4 Designation
- Spring 2023 Site prep begun
- TODAY Type 4 Approval
- Spring 2025 Construction complete and CCDC reimburses approved expenses

Fiscal Notes:

The project has a final do-not-exceed amount in the Type 4 Participation Agreement of \$1,873,289. The FY2023-FY2027 Five-Year CIP has adequate resources programmed in FY2025. Upon approval of a Participation Agreement, the Agency will update the project in the upcoming FY2024-2028 Five-Year CIP.

Staff Recommendation:

Adopt Resolution 1823.

Suggested Motion:

I move to adopt Resolution 1823 approving the Type 4 Participation Agreement with Broadstone Saratoga, LP and authorizing the Executive Director to execute the agreement.

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, APPROVING A TYPE 4 CAPITAL IMPROVEMENT REIMBURSEMENT AGREEMENT BETWEEN THE AGENCY AND BROADSTONE SARATOGA, LP, FOR SPECIFIED PUBLIC IMPROVEMENTS; AUTHORIZING THE AGENCY EXECUTIVE DIRECTOR TO EXECUTE THE AGREEMENT AND ANY NECESSARY DOCUMENTS OR AGREEMENTS, SUBJECT TO CERTAIN CONTINGENCIES; AUTHORIZING ANY TECHNICAL CORRECTIONS TO THE AGREEMENT; AUTHORIZING THE EXPENDITURE OF FUNDS; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION is made on the date hereinafter set forth by the Urban Renewal Agency of Boise City, Idaho, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, and the Local Economic Development Act, as amended and supplemented, Chapter 29, Title 50, Idaho Code (collectively, the "Act"), as a duly created and functioning urban renewal agency for Boise City, Idaho (hereinafter referred to as the "Agency").

WHEREAS, the City Council of the City of Boise City, Idaho (the "City"), after notice duly published, conducted a public hearing on the River Street-Myrtle Street Urban Renewal Plan (the "River Street Plan"), and following said public hearing the City adopted its Ordinance No. 5596 on December 6, 1994, approving the River Street Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amended and Restated Urban Renewal Plan, River Street-Myrtle Street Urban Renewal Project (annexation of the Old Boise Eastside Study Area and Several Minor Parcels) and Renamed River Myrtle-Old Boise Urban Renewal Project (the "River Myrtle-Old Boise Plan"); and,

WHEREAS, following said public hearing, the City adopted its Ordinance No. 6362 on November 30, 2004, approving the River Myrtle-Old Boise Plan and making certain findings; and,

WHEREAS, the City, after notice duly published, conducted a public hearing on the First Amendment to the First Amended and Restated Urban Renewal Plan, River Street-Myrtle Street Urban Renewal Project and Renamed River Myrtle-Old Boise Urban Renewal Project ("First Amendment to the River Myrtle-Old Boise Plan"); and,

WHEREAS, following said public hearing, the City adopted its Ordinance No. 24-18 on July 24, 2018, approving the First Amendment to the River Myrtle-Old Boise Plan deannexing certain parcels from the existing revenue allocation area and making certain findings; and,

WHEREAS, the Agency Board has adopted the Participation Program Policy wherein the Agency can assist private and public development projects by funding improvements that benefit the public and are located in the public rights-of-way or a permanent public easement area; and,

WHEREAS, the Participation Program Policy includes the Type 4 Capital Improvement Program under which the Agency initiates capital improvement projects using Agency funds which may be coordinated through a joint effort with private entities and/or other public agencies; and,

RESOLUTION NO. 1823 - 1

WHEREAS, Broadstone Saratoga, LP, owns or controls real property addressed as 1201 West Grove Street, Boise, Idaho, upon which it plans to construct a seven-story, 334-unit mixed-use development with ground floor commercial space (the "Project"); and,

WHEREAS, as a part of the Project, Broadstone Saratoga, LP, will construct certain public improvements including a public alley bisecting the Project, undergrounding and upgrading utilities, installing a suspended pavement system, planting trees, and installing tree grates, historic street lights, and concrete planters (the "Public Improvements"), all of which is located in the River Myrtle-Old Boise Urban Renewal District as defined by the River Myrtle-Old Boise Plan and will contribute to enhancing and revitalizing the River Myrtle-Old Boise Urban Renewal District; and,

WHEREAS, the Agency has determined that it is in the public interest to enter into a Type 4 Capital Improvement Reimbursement Agreement with Broadstone Saratoga, LP whereby Broadstone Saratoga, LP will construct the Public Improvements and the Agency will reimburse Broadstone Saratoga, LP for constructing the Public Improvements as specified in the Agreement; and,

WHEREAS, attached hereto as Exhibit A and incorporated herein as if set forth in full is the Type 4 Capital Improvement Reimbursement Agreement with Broadstone Saratoga, LP; and,

WHEREAS, the Agency Board finds it in the best public interest to approve the Agreement and to authorize the Agency Executive Director to execute same.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF BOISE CITY, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct.

<u>Section 2</u>: That the Type 4 Capital Improvement Reimbursement Agreement with Broadstone Saratoga, LP, a copy of which is attached hereto as Exhibit A and incorporated herein by reference, be and the same hereby is approved.

Section 3: That the Agency Executive Director is hereby authorized to sign and enter into the Type 4 Capital Improvement Reimbursement Agreement with Broadstone Saratoga, LP, and to execute all necessary documents required to implement the actions contemplated by the Agreement, subject to representations by the Agency staff and the Agency legal counsel that all conditions precedent to such actions have been met; and further, any necessary technical changes to the Agreement or other documents are acceptable, upon advice from the Agency's legal counsel that said changes are consistent with the provisions of the Agreement and the comments and discussions received at the June 12, 2023, Agency Board meeting; the Agency is further authorized to appropriate any and all funds contemplated by the Agreement and to perform any and all other duties required pursuant to said Agreement.

<u>Section 4</u>: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

RESOLUTION NO. 1823 - 2

PASSED AND ADOPTED by the Urban Renewal Agency of Boise City, Idaho, on June 12, 2023. Signed by the Chair of the Agency Board of Commissioners and attested by the Secretary to the Agency Board of Commissioners on June 12, 2023.

URBAN RENEWAL AGENCY OF BOISE CITY

| ATTEST: | By:Latonia Haney Keith, Chair |
|---------------------------------|-------------------------------|
| By: Lauren McLean, Secretary | _ |

RESOLUTION NO. 1823 - 3



TYPE 4 CAPITAL IMPROVEMENT REIMBURSEMENT AGREEMENT

This TYPE 4 CAPITAL IMPROVEMENT REIMBURSEMENT AGREEMENT ("Agreement") is entered into by and between the URBAN RENEWAL AGENCY OF BOISE, IDAHO, also known as Capital City Development Corporation, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, chapter 20, title 50, Idaho Code, as a duly created and functioning urban renewal agency for Boise City, Idaho ("CCDC"), and BROADSTONE SARATOGA, LP, a Delaware limited partnership ("Participant"). CCDC and Participant may be collectively referred to as the "Parties" and each individually as a "Party."

RECITALS

- A. The CCDC Board of Commissioners has adopted the Participation Program Policy wherein CCDC can assist private and public development projects by funding improvements that benefit the public and are located in the public rights-of-way or a permanent public easement area. The Participation Program Policy includes the Type 4 Capital Improvement Program (the "Participation Program") under which CCDC uses agency funds to initiate capital improvement projects which may be coordinated through a joint effort with private entities or other public agencies.
- B. Participant owns or controls certain real property addressed as 1201 West Grove Street, Boise, Idaho (the "Project Site"), which is more accurately described and depicted on attached **Exhibit A**. Participant plans to construct on the Project Site a seven-story, 334-unit mixed-use development with ground floor commercial space and associated public improvements (the "Project"), depicted on attached **Exhibit B**.
- C. The Project is located in the River Myrtle-Old Boise Urban Renewal District ("RMOB District") as defined by the Urban Renewal Plan for the River Myrtle-Old Boise Economic Development District Project Area (the "RMOB Plan"). The Plan terminates September 30, 2025. The Project will contribute to enhancing and revitalizing the RMOB District.
- D. In 2020, CCDC began developing plans to improve public infrastructure including stormwater system upgrades, pavement rehabilitation, raised bike lanes, and enhanced streetscapes through its own Capital Improvement Project known as "Linen Blocks on Grove Street" (the "Grove Street Improvements").
- E. On January 11, 2023, CCDC entered into an interagency agreement with the Ada County Highway District ("ACHD") to complete pavement rehabilitation and stormwater improvements on Grove Street between 9th Street and 16th Street as part of the Grove Street Improvements.
- F. CCDC obtained ACHD Right-of-Way Permit #COM22-0236 and associated traffic control plan approvals necessary to construct the Grove Street Improvements with completion by April 30, 2024.

- G. Participant obtained Right-of-Way Permit #COM22-0195 and associated traffic control plan approvals necessary to construct the Project beginning on January 1, 2023, with completion by February 10, 2025.
- H. As part of the Project, Participant intends to construct public improvements, which will include streetscape improvements, a public alley bisecting the Project, undergrounding and upgrading utilities, installing a suspended pavement system, planting trees, and installation of tree grates, historic street lights, and concrete planters (the "Public Improvements"), all of which meet CCDC's eligibility criteria for reimbursement in accordance with the Participation Program. The Public Improvements are more accurately depicted on the Public Improvement Plan in attached **Exhibit C**. This work includes a portion of CCDC's Grove Street Improvements scope of work, generally consisting of installing landscaping, irrigation, and street furnishings.
- I. Both Parties recognize the mutual benefits of coordinating construction of the Project, the Grove Street Improvements, and the Public Improvements. Benefits include reducing costs, eliminating redundant project scope, minimizing disruptions to the general public with synchronized construction schedules, and delivering improvements that physically align with and service the respective projects.
- J. Subject to the terms and conditions as set forth in this Agreement, the Parties desire to enter into this Type 4 Capital Improvement Reimbursement Agreement to provide for funding and coordination of construction to achieve the objectives desired by the Parties, all in accordance with CCDC's Participation Program.

AGREEMENT

NOW, THEREFORE, in consideration of the above recitals which are not mere recitations but are covenants of the Parties that are binding upon them and form a portion of the consideration for the agreements contained herein, the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. <u>Effective Date; Term.</u> The effective date of this Agreement ("Effective Date") shall be the date on which this Agreement was signed by the last of the Parties to execute it. The Agreement Term shall commence on the Effective Date and continue until either: 1.) all obligations of each Party are complete; or 2.) September 30, 2025, whichever comes first.

The Parties hereto expressly acknowledge and understand the RMOB Plan terminates September 30, 2025, and that CCDC cannot and will not extend any obligations of this Agreement beyond this termination date.

- 2. <u>Construction of the Project</u>. Participant has contracted with Alliance Pacific Northwest Builders, LLC and the Perigee Group for construction of the Project. The contract requires Alliance Pacific Northwest Builders, LLC to reach Substantial Completion by April 21, 2025, and with an anticipated Certificate of Occupancy on or before May 30, 2025. Participant agrees to construct the Project consistent with the following:
 - a. The Project shall be constructed in accordance with the overall City of Boise

- ("City") infrastructure plans, policies, and design standards and with the applicable portions of the Streetscape Standards adopted as part of the Plan.
- b. As provided further in this Agreement, Participant shall improve streetscapes on 12th, 13th, and Front Streets, upgrade the public alley bisecting the Project, and underground or upgrade utilities. This work shall include certain portions of streetscapes on Grove Street, generally to include installing landscaping, final irrigation, and street furnishings provided by CCDC. All work to be performed by the Participant is more accurately depicted on attached Public Improvement Plan, **Exhibit C** (the "Public Improvements").
- c. Cost estimates for the Public Improvements ("Eligible Expenses") are described in the Schedule of Estimated Eligible Expenses in **Exhibit D**. Any other public improvements constructed by the Participant as part of the improvements to the Project Site are not eligible for reimbursement pursuant to this Agreement. Additionally, CCDC's reimbursement obligation is limited to the amount set forth in Section 8 of this Agreement.
- d. The Project's façade and fenestration, finished floor elevations, egress, utility equipment, and utility boxes shall match location, materials, horizontal and vertical alignments, types, and sizes of connections with the Grove Street Improvements to ensure that requirements from Authorities Having Jurisdiction, utility provider requirements, universal accessibility standards, and Grove Street Improvements requirements are met.
- e. Once the Grove Street Improvements are complete either by CCDC or Participant, Participant will take care not to damage any such improvements. As used herein, it is understood that damage to the improvements means being broken in any way or appearing to be in a condition that is less than new. Participant is required to use protective coverings to ensure against damage. Participant shall repair any damage incurred at its sole expense without reimbursement from CCDC.
- f. Following completion of the Grove Street Improvements by CCDC, Participant shall provide cyclist and pedestrian access on and along Grove Street adjacent to the Project during construction of the Project. This must include overhead protective measures such as a construction tunnel and protected detour routing around Participant's active construction and clear signage for all cyclist and pedestrian traffic.
- **3.** <u>Coordination between Parties.</u> CCDC and Participant agree to continually coordinate design, permitting, and construction matters and in good faith.
 - a. Both parties agree to distribute this Agreement to respective contractors and vendors to ensure all parties are aware of the terms and obligations contained therewithin.
 - b. The Parties agree to direct their General Contractors to continually coordinate construction schedules and activities to avoid the need for adjustments. Major schedule adjustments that impact either Party's ability to meet its obligations to the other Party will be handled with an amendment to this Agreement.

- c. CCDC's construction of the Grove Street Improvements between 12th Street and 13th Street is scheduled to occur from July 2023, through December 2023. This schedule is subject to change, and CCDC will communicate with Participant any changes that may impact Participant's construction of the Project.
- d. Participant will integrate certain portions of the Grove Street Improvements scope of work, as depicted in **Exhibit C**, into the Project's scope of work and process these changes through entitlement and permitting submissions to City of Boise and to ACHD. These submissions shall include any minor modifications to the design of the Project to integrate the Project with CCDC's Grove Street Improvements. Submissions shall include specific interior and exterior finished floor elevations at each point of egress.
- e. Participant shall provide to CCDC the Project's approved permit set that incorporates the Grove Street Improvements pursuant to Section 3.d above, upon receipt from ACHD and the City of Boise.
- f. The Participant and CCDC shall coordinate construction in the right-of-way generally consisting of the sidewalk and parking lane on the south side of Grove Street between 12th and 13th Streets (the "Construction Use Area"). In accordance with approved ACHD traffic control plans, Participant shall deliver control of the Construction Use Area to CCDC no later than September 16, 2023. CCDC shall complete the adjacent improvements within 50 days of CCDC receiving access to the Construction Use Area. During the 50 days CCDC, at its sole discretion, will provide Participant with commercially reasonable access into, overhead, and through the Construction Use Area so long it does not impede CCDC's ability to complete its work in in a timely manner.
- g. Parties will arrange pre-turnover walk-throughs with all project managers and construction managers for the Project in advance of the Participant delivering control of the Construction Use Area to CCDC as described in Section 3.f above, and upon completion of the Grove Street Improvements by CCDC. Contractors will agree upon a Construction Use Area access and safety plan at least ten (10) days in advance of each pre-turnover walk-through. As part of each work area access and safety plan, Participant will provide a site plan indicating the Construction Use Area and will ensure any overhead construction is considered or adjusted to the satisfaction of all contractors involved.
- h. In the event the Participant has not begun the construction of the Public Improvements located on Grove Street by April 21, 2025, CCDC reserves the right to complete the Public Improvements on Grove Street. In such event, Participant shall provide CCDC with exclusive access to the Construction Use Area adjacent to the Project Site necessary to construct the Public Improvements on Grove Street. Participant and its contractors shall not perform work within, nor pass over or through, the Construction Use Area for the duration of time that CCDC has access unless provided by CCDC in accordance with Section 3.f, above.
- i. Participant will notify CCDC of all design changes and construction field adjustments that impact or are related to the function, layout, or design of the

Grove Street Improvements. Participant will route copies of Request for Information (RFI), Architectural Supplemental Information (ASI), Work Directives, and Change Order Requests (COR) related to scope within or affecting the public rights-of-way and any drawings related to change orders requiring permit modification to CCDC Project Manager for Capital Improvements Amy Fimbel. (208) 319-1218 and afimbel@ccdcboise.com, for review and approval before submitting to the permitting authority. CCDC will have two (2) business days to review a complete submission of design changes and field adjustments, which approval will not be unreasonably conditioned, withheld or delayed. Unless otherwise agreed to by the Parties, CCDC approval evidences CCDC's intent to be responsible for the expenses associated with change orders. If there is no approval in writing, CCDC disapproves of the changes and/or adjustments, or Participant fails to notify CCDC of changes or adjustments, Participant may, at the discretion of CCDC, become responsible for expenses associated with change orders. If CCDC notifies Participant in writing that it disapproves of the changes or adjustments, Participant and CCDC will meet to resolve the issue in good faith.

- **4. Initial Construction Funding.** Participant shall pay for all of the costs of construction for the Project and Public Improvements. CCDC acknowledges that the Schedule of Eligible Expenses attached as **Exhibit D** is an estimate by Participant and that actual costs for the Project, as well as each line item of cost, may be more or less than is shown.
- 5. Review of Construction Bids. Upon CCDC's request, CCDC shall have the right and the opportunity to review Participant's bids for the Public Improvements. Participant will utilize commercially reasonable contracting and bidding practices to ensure that the Public Improvements are undertaken in a reasonable manner. For purposes of this Section 5, Participant shall be presumed to have utilized commercially reasonable contracting and bidding practices if its general contractor solicits or solicited competitive bids for the Public Improvements and such work is not performed by an affiliate or subsidiary of Participant. Upon request, Participant shall provide CCDC copies of any bids received.
- 6. Notification of Completion; Inspection. Upon completion of construction of the Project and the improvements being open to the public, Participant shall notify CCDC in writing and request a final construction inspection with CCDC to determine if the Public Improvements meet the requirements of this Agreement. At CCDC's sole discretion, CCDC may require proof of completion, such as a Certificate of Occupancy, before providing written confirmation of compliance. CCDC shall provide Participant with written confirmation that the Public Improvements have been completed in compliance with this Agreement.
- 7. Determining Actual Payment after Completion of Construction. Participant shall provide appropriate documentation ("Cost Documentation") to CCDC that Participant has expended funds for Eligible Expenses in order to receive payment under the terms of this Agreement. Any Cost Documentation shall be submitted within thirty (30) days of Participant's notification to CCDC that construction of the Project and Public Improvements are complete and shall include:
 - a. Updated Schedule of Eligible Expenses that includes line items for the Public Improvements approved by CCDC for reimbursement with actual costs so they are identifiable and separate from other line items ("Schedule of Values").

- b. Invoices from Participant's general contractor, subcontractor(s), and material suppliers for each type of eligible cost item (e.g. concrete pavers, benches, historic street lights). Invoices shall specify quantities and unit costs of installed materials and percentage estimate of how much installed material was used for the Public Improvements.
- c. Explanation of any significant deviation between the initial cost estimates in **Exhibit D** and the actual costs in the Cost Documentation as requested by CCDC.
- d. A signed and notarized letter by Participant attesting that all materials have been paid for, that all subcontractors have been paid, that no liens exist on the work performed, that the Cost Documentation is complete whereupon payment by CCDC shall constitute full accord and satisfaction of all the Agreement obligations, and that all requested reimbursement expenses are for eligible public improvements within the public rights-of-way.
- e. Additional documentation or clarifications may be required and requested by CCDC.
- f. Recorded easements for any public improvement work done outside of the public rights-of-way, if needed.

CCDC shall have the right to review the Cost Documentation and to obtain independent verification that the quantities of work claimed, the unit costs, and the total costs for Eligible Expenses are commercially reasonable and consistent with the cost estimates provided by Participant to CCDC prior to construction. In the event Participant fails to timely deliver the Cost Documentation, CCDC may, in its discretion, elect to terminate its payment obligations under this Agreement by providing Participant with written notice of such default. Participant shall have thirty (30) days from such written notice to cure the default. In the event Participant fails to cure such a default, CCDC's payment obligations under this Agreement may be terminated in CCDC's sole discretion.

Within thirty (30) calendar days of CCDC's receipt of the Cost Documentation, CCDC will notify Participant in writing of CCDC's acceptance or rejection of the Cost Documentation and CCDC's determination of the Actual Eligible Expenses to be reimbursed. CCDC shall, in its discretion, determine the Actual Eligible Expenses following its review of the Cost Documentation, verification of the commercial reasonableness of the costs and expenses contained in such Cost Documentation, and comparison of the amounts in the Cost Documentation to the amounts in **Exhibit D**. IN NO EVENT SHALL THE TOTAL FOR THE ACTUAL ELIGIBLE COSTS EXCEED THE AMOUNT ALLOWED BY SECTION 8.

If Participant disagrees with CCDC's calculation of the Actual Eligible Costs, Participant must respond to CCDC in writing within three (3) business days explaining why Participant believes CCDC's calculation was in error and providing any evidence to support any such contentions Participant wants CCDC to consider. CCDC shall respond to Participant within three (3) business days with a revised amount for the Actual Eligible Costs or notifying Participant CCDC will not revise the initial amount calculated. At that point, the determination of the Actual Eligible Costs will be final. CCDC'S DETERMINATION OF THE ACTUAL ELIGIBLE COSTS IS WITHIN ITS SOLE DISCRETION.

- 8. CCDC's Reimbursement Payment Amount. In accordance with the Participation Program, and subject to the conditions set forth in Section 9, CCDC agrees to reimburse Participant Actual Eligible Costs not to exceed ONE MILLION EIGHT HUNDRED SEVENTY-THREE THOUSAND TWO HUNDRED AND EIGHTY-NINE DOLLARS (\$1,873,289). Actual Eligible Costs do not include soft costs (e.g., architectural and engineering design, permits, traffic control, and mobilization). The payment for this Type 4 Agreement will be made as a one-time reimbursement.
- **9.** Conditions Precedent to CCDC's Payment Obligation. CCDC agrees to reimburse Participant in the amount as determined in compliance with Sections 7 and 8 no later than sixty (60) days after completion of all of the following:
 - a. Project Certificate of Occupancy is issued, and construction is complete and meets
 the specifications as described in the Recitals section of this Agreement and as
 shown in Exhibit C.
 - CCDC has accepted the Cost Documentation as described in Section 7 in a format acceptable to CCDC and CCDC has determined the Actual Eligible Expenses to be reimbursed.
 - c. CCDC provides written confirmation to the Participant that the Public Improvements have been constructed in compliance with this Agreement.
- 10. Subordination of Reimbursement Obligations. The Parties agree this Agreement does not provide Participant with a security interest in any CCDC revenues for the Urban Renewal District Area or any other urban renewal plan area, including but not limited to revenue from any "Revenue Allocation Area" (as defined in Title 50, Chapter 29 of the Idaho Code) or any revenue from CCDC's parking garages. Notwithstanding anything to the contrary in this Agreement, the obligation of CCDC to make the payments as specified in this Agreement shall be subordinate to all CCDC obligations that have committed or in the future commit available CCDC revenues, including but not limited to revenue from any Revenue Allocation Area or any revenue from CCDC's parking garages, and may be subject to consent and approval by CCDC lenders.
- 11. Default. Neither Party shall be deemed to be in default of this Agreement except upon the expiration of thirty (30) days (or such longer period as agreed to by the Parties in writing in the event the default cannot be cured in 20 days and the defaulting Party is diligently pursuing the same to completion; provided, however, the reasonable period to cure the default form the date of the written notice of default shall not exceed a total of sixty (60) days, unless further agreed to by the Parties in writing), or ten (10) days in the event of failure to pay money, from receipt of written notice from the other Party specifying the particulars in which such Party has failed to perform its obligations under this Agreement; unless such Party, prior to expiration of said 30-day period (or such longer period as agreed to by Parties in writing) (ten-days in the event of failure to pay money), has rectified the particulars specified in said notice of default. In the event of a default, the non-defaulting Party may do the following:
 - a. The non-defaulting Party may terminate this Agreement upon written notice to the defaulting Party and recover from the defaulting Party all direct damages incurred by the non-defaulting Party.

- b. The non-defaulting Party may seek specific performance of those elements of this Agreement which can be specifically performed, in addition, recover all damages incurred by the non-defaulting Party. The Parties declare it to be their intent that elements of this Agreement requiring certain actions be taken for which there are not adequate legal remedies may be specifically enforced.
- c. The non-defaulting Party may perform or pay any obligation or encumbrance necessary to cure the default and offset the cost thereof from monies otherwise due the defaulting Party or recover said monies from the defaulting Party.
- d. The non-defaulting Party may pursue all other remedies available at law, it being the intent of the Parties that remedies be cumulative and liberally enforced so as to adequately and completely compensate the non-defaulting Party.
- e. In the event Participant defaults under this Agreement, CCDC (the non-defaulting Party) shall have the right to suspend or terminate its payment under this Agreement, as more specifically defined in this Agreement, for so long as the default continues and if not cured, CCDC's obligation for payment may be deemed extinguished in its sole discretion. In addition, if CCDC funds shall have been paid pursuant to this Agreement, Participant shall reimburse CCDC for any such funds Participant received.
- **12.** Captions and Headings. The captions and headings in this Agreement are for reference only and shall not be deemed to define or limit the scope or intent of any of the terms, covenants, conditions, or agreements contained herein.
- 13. No Joint Venture or Partnership. CCDC and Participant agree that nothing contained in this Agreement or in any document executed in connection with this Agreement shall be construed as making CCDC and Participant a joint venture or partners.
- **14. Successors and Assignment.** This Agreement is not assignable except that the Participant may assign Participant's rights or obligations under this Agreement to a third party only with the written approval of CCDC, at CCDC's sole discretion which cannot be reasonably denied.
- **15. Notices and Receipt.** All notices given pursuant to this Agreement shall be in writing and shall be given by personal service, by United States mail, or by United States express mail or other established express delivery service (such as Federal Express), postage or delivery charge prepaid, return receipt requested, addressed to the appropriate Party at the address set forth below, and with a courtesy copy by email:

If to Participant:

Broadstone Saratoga, LP Attn: Brady Shinn 1900 Northlake, Suite 237 Seattle, Washington 98103 208-861-3322 bshinn@allresco.com Registered Agent: CT Corporation System

1555 W. Shoreline Dr. Suite 100

Boise, Idaho 83702

If to CCDC: John Brunelle, Executive Director

Capital City Development Corporation

121 N. 9th Street, Suite 501

Boise, Idaho 83702 (208) 384-4264

jbrunelle@ccdcboise.com

With a copy to: Mary Watson, General Counsel

mwatson@ccdcboise.com

The persons and addresses to which notices are to be given may be changed at any time by any Party upon written notice to the other Party. All notices given pursuant to this Agreement shall be deemed given upon receipt. For the purpose of this Agreement, the term "receipt" shall mean the earlier of any of the following:

- a. Date of delivery of the notice or other document to the address specified above as shown on the return receipt;
- b. Date of actual receipt of the notice or other document by the person or entity specified above; or
- c. In the case of refusal to accept delivery or inability to deliver the notice or other document, the earlier of:
 - (1) date of the attempted delivery or refusal to accept delivery,
 - (2) date of the postmark on the return receipt, or
 - date of receipt of notice of refusal or notice of non-delivery by the sending Party.
- 16. Applicable Law; Attorney Fees. This Agreement shall be construed and enforced in accordance with the laws of the State of Idaho. Should any legal action be brought by either Party because of breach of this Agreement or to enforce any provision of this Agreement, the prevailing Party shall be entitled to reasonable attorney fees, court costs, and such other costs as may be found by the court.
- 17. Inspection of Books and Records. CCDC has the right, upon not less than seventy-two (72) hours' notice, at all reasonable times, to inspect the books and records of Participant pertaining to the Public Improvements. No inspection by CCDC shall, however, cause any document, information, or record of Participant to become a public record subject to public disclosure pursuant to Title 74, Chapter 1 of the Idaho Code, unless such document, information, or record is actually delivered to CCDC by Participant. Except as set forth in this Agreement or other agreement executed by the Parties, recorded by the Parties, or made part of the records of CCDC, the Parties acknowledge that the Participant's documents, records, plans, and information in any form related to the Public Improvements shall be confidential unless and until such documents are provided to CCDC, and then CCDC shall take such action as is permissible under Title 74, Chapter 1 of the Idaho Code to protect the confidentiality of documents provided by Participant that have been clearly marked as confidential with reference to the applicable section

of Idaho Code under which the documents are deemed not subject to public disclosure.

18. Indemnification. Participant shall indemnify, defend, and hold harmless CCDC and its officers, agents, and employees from and against all liabilities, obligations, damages, penalties, claims, costs, charges, and expenses, including reasonable architect and attorney fees (collectively referred to in this section as "Claim"), which may be imposed upon or incurred by or asserted against CCDC or its respective officers, agents, and employees relating to the construction or design of the Public Improvements, any additional Linen Blocks on Grove Street scope, or otherwise arising out of Participant's actions or inactions.

In the event an action or proceeding is brought against CCDC or its respective officers, agents, and employees by reason of any such Claim, Participant, upon written notice from CCDC shall, at Participant's expense, resist or defend such action or proceeding. Notwithstanding the foregoing, Participant shall have no obligation to indemnify, defend, or hold CCDC and its respective officers, agents, and employees harmless from and against any matter to the extent it arises from the active negligence or willful act of CCDC or its respective officers, agents, or employees. The indemnification provisions set forth herein are intended to, and shall, survive the termination or completion of this Agreement.

- 19. Insurance Requirements. Participant shall, or through its contractor, agents, representatives, employees or subcontractors, at its sole cost, obtain and maintain in force for the duration of the construction, insurance of the following types, with limits not less than those set forth below and in a form reasonably acceptable to CCDC, against claims for injuries to persons or damages to property which may arise from, or in connection with, the performance of the services hereunder by Participant, its agents, representatives, employees, or subcontractors:
 - a. Commercial General Liability Insurance ("Occurrence Form") with a minimum combined single limit liability of \$2,000,000 each occurrence for bodily injury and death and \$2,000,000 property damage; with a minimum limit of liability of \$2,000,000 each person for personal and advertising injury liability. Such policy shall have a general aggregate limit of not less than \$5,000,000, which general aggregate limit will be provided on a per project basis. The policy shall be endorsed to name CCDC and City as additional insureds.
 - b. Workers' Compensation Insurance, including occupational illness or disease coverage, in accordance with the laws of the nation, state, territory, or province having jurisdiction over Participant's employees, and Employer's Liability Insurance. Participant shall not utilize occupational accident or health insurance policies, or the equivalent, in lieu of mandatory Workers' Compensation Insurance or otherwise attempt to opt out of the statutory Workers' Compensation system.
 - c. Automobile Liability Insurance covering use of all owned, non-owned, and hired automobiles with a minimum combined single limit of liability for bodily injury and property damage of \$1,000,000 per occurrence. This policy shall be endorsed to name CCDC, including its respective affiliates, directors, and employees, as additional insureds.
 - d. All insurance provided by Participant under this Agreement shall include a waiver of subrogation by the insurers in favor of CCDC. Participant hereby releases CCDC, including its respective affiliates, directors, and employees, for losses or

- claims for bodily injury, property damage covered by Participant's insurance or other insured claims arising out of Participant's performance under this Agreement or construction of the Coordinated Improvements.
- e. Certificates of insurance satisfactory in form to CCDC (ACORD form or equivalent) shall be supplied to CCDC evidencing that the insurance required above is in force, that, to the extent commercially reasonable, not less than thirty (30) days' written notice will be given to CCDC prior to any cancellation or restrictive modification of the policies, and that the waivers of subrogation are in force. Participant shall also provide, with its certificate of insurance, executed copies of the additional insured endorsements and dedicated limits endorsements required in this Agreement. At CCDC's request, Participant shall provide a certified copy of each insurance policy required under this Agreement.
- f. The foregoing insurance coverage shall be primary and noncontributing with respect to any other insurance or self-insurance that may be maintained by CCDC. The fact that Participant has obtained the insurance required in this Section shall in no manner lessen or affect Participant's other obligations or liabilities set forth in this Agreement.
- **20. Antidiscrimination During Construction.** Participant, for itself and its successors and assigns, agrees that in the rehabilitation and/or construction of improvements on the Project Site provided for in this Agreement, the Participant and its agents will not discriminate against any person on the basis of race, color, religion, sex, sexual orientation, gender identity, gender expression, national origin or ancestry, marital status, age, or handicap.
- **21. Anti-Boycott Against Israel Certification.** In accordance with Idaho Code Section 67-2346, Participant, by entering into this Agreement, hereby certifies that it is not currently engaged in, or for the duration of this Agreement will not engage in, a boycott of goods or services from the State of Israel or territories under its control.
- **22. Maintenance.** Participant acknowledges and agrees CCDC has no obligations to maintain the Public Improvements, or any improvements constructed by Participant and that no agreement has been reached with CCDC to accept any maintenance obligations for such improvements.
- **23. Promotion of Project.** Participant agrees CCDC may promote the Project and CCDC's involvement with the Project. Such promotion includes reasonable signage at the Project Site notifying the public of CCDC's involvement with the Project in the type and location designated by Participant, in its reasonable discretion.
- **24. Time is of the Essence.** CCDC and Participant acknowledge and agree that time is of the essence in the performance of this Agreement and that timely completion is vital to the Project. The Parties agree to use their best efforts to expedite performance of all applicable services and obligations under this Agreement.
- **25. Severability.** The determination by any court that any one or more provisions of this Agreement is unlawful, void, or unenforceable shall not affect the validity of any other provisions hereof, but this Agreement shall be construed and enforced as if such unlawful, void, or unenforceable provision had not been contained herein.

- **26. Warranty.** Participant warrants that the materials and workmanship employed in the construction of the Public Improvements, if applicable, shall be new and of good quality and conform to generally accepted standards within the construction industry. Such warranty shall extend for a period of two (2) years after Completion.
- 27. Dispute Resolution. In the event that a dispute arises between CCDC and Participant regarding the application or interpretation of any provision of this Agreement, the aggrieved Party shall promptly notify the other Party to this Agreement of the dispute within ten (10) days after such dispute arises. If the Parties shall have failed to resolve the dispute within forty-five (45) days after delivery of such notice, the Parties agree to first endeavor to settle the dispute in an amicable manner by mediation or other process of structured negotiation under the auspices of a nationally or regionally recognized organization providing such services in the Northwestern States or otherwise, as the Parties may mutually agree before resorting to litigation. Should the Parties be unable to resolve the dispute to their mutual satisfaction within forty-five (45) days after such completion of mediation or other process of structured negotiation, each Party shall have the right to pursue any rights or remedies it may have at law or in equity.
- 28. Amendments to this Agreement. CCDC and Participant agree to mutually consider reasonable requests for amendments to this Agreement and any exhibits hereto, provided said requests are consistent with this Agreement and would not alter the basic business purposes included herein. Any such amendments shall be in writing and agreed to by the Parties. All waivers of the provisions of this Agreement must be in writing and signed by the appropriate authorities of CCDC and Participant, and all amendments hereto must be in writing and signed by the appropriate authorities of CCDC and Participant.
- Forced Delay; Extension of Times of Performance. In addition to the specific provisions of this Agreement, performance by any Party hereunder shall not be deemed to be in default where delays or defaults are due to: war; insurrection; strikes; lock-outs; riots; floods; earthquakes; fires; casualties; acts of God; acts of the public enemy; epidemics; quarantine restrictions; freight embargoes; lack of transportation; lack of materials or labor at commercially reasonable prices or in commercially reasonable quantities; governmental restrictions or priority; litigation; unusually severe weather; acts of another party; environmental analysis or removal of hazardous or toxic substances; acts or the failure to act of any public or governmental agency or entity (except that acts or the failure to act of CCDC shall not excuse performance by CCDC); or any other causes beyond the control or without the fault of the Party claiming an extension of time to perform. An extension of time for any such cause shall only be for the period of the forced delay, which period shall commence to run from the time of the commencement of the cause, if notice is delivered by the Party claiming such extension no later than forty-five (45) days after the commencement of the cause. If, however, notice by the Party claiming such extension is sent to the other Party more than forty- five (45) days after the commencement of the cause, the period shall commence to run only forty-five (45) days prior to the giving of such notice.
- **30. Entire Agreement.** This Agreement, including the following listed Exhibits, inclusive and incorporated herein by reference, constitutes the entire understanding and agreement of the Parties.

Exhibit A Project Site Depiction
Exhibit B Project Depiction

Exhibit C Public Improvement Plan

Exhibit D Schedule of Eligible Expenses

End of Agreement | Signatures appear on the following page.

IN WITNESS WHEREOF, the Parties hereto have signed this Agreement the day and year below written to be effective as first indicated above.

FOR CCDC:

| Ву: | | | | |
|---------------|-----------|---------------------------------------|---------------|--------------------------|
| John Bru | nelle, E | xecutive Director | CCDC Budge | et Info / For Office Use |
| | | | Fund | 302 / RMOB |
| Date: | | | Account | 7001 |
| | | | Contract Term | September 30, 2025 |
| Approved as | to form | : | | |
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| Mary Watsor | Gene | ral Counsel | | |
| mary water | ., 001101 | | | |
| Date: | | | | |
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| | | a Delaware limited liability company, | | |
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A: Project Site Depiction

B: Project Depiction

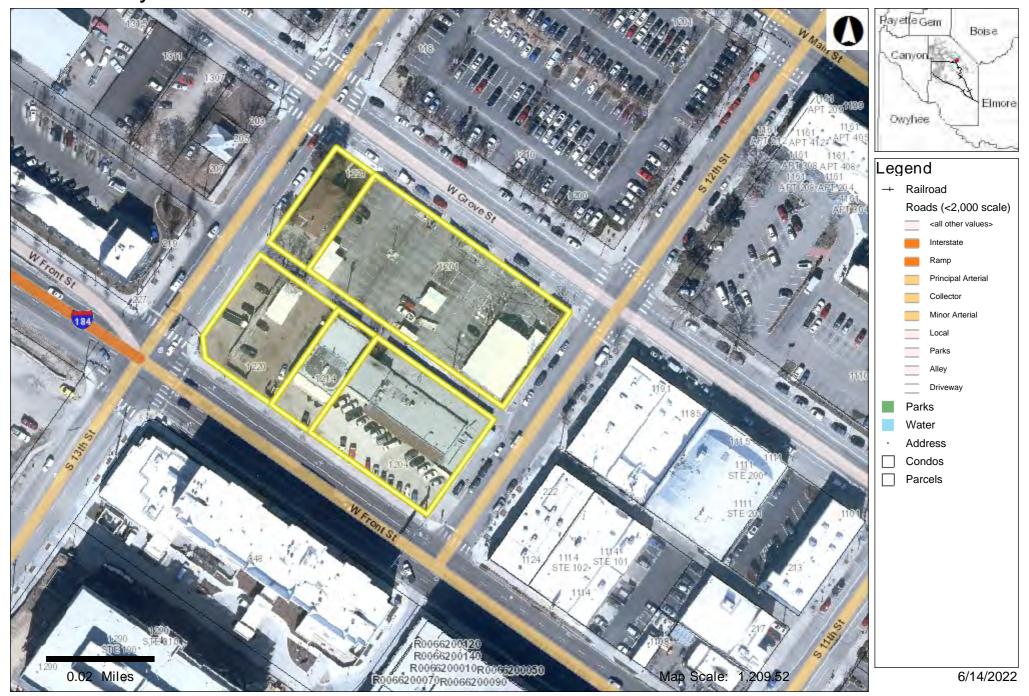
C: Public Improvement Plan

D: Schedule of Eligible Expenses

| Exhibit A: Project Site Depic | ibit A: Project Site Depiction | | |
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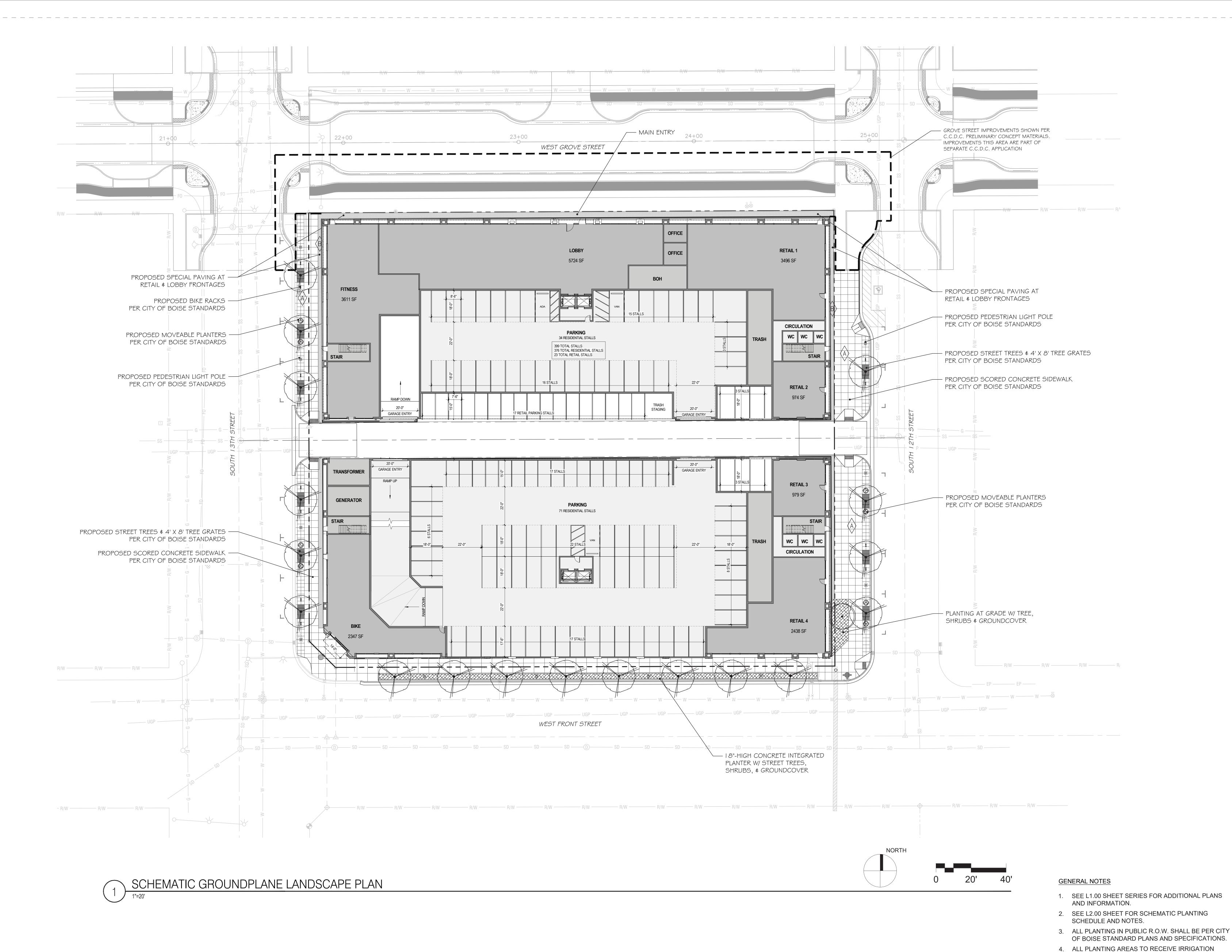
Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



| Exhibit | B: | Pro | ect | Dei | pict | ion |
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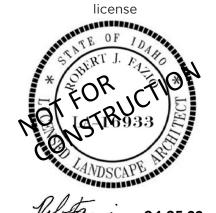
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URBAL ARCHITECTURE URBAN RURAL

1938 Fairview Avenue East SUITE 100 Seattle, WA 98102

info@urbalarchitecture.com www.urbalarchitecture.com т 206-257-0972



Polifanjo 04.05.22

consultant logo

FAZIO 102 NW Canal Street Seattle, WA 98107

T: 206-774-9490 www.fazioassociates.com

project name

ALLIANCE - BOISE BROADSTONE

1201 WEST GROVE BOISE, ID

SARATOGA **APARTMENTS** 1201 W. GROVE STREET BOISE, ID NOVEMBER 02 2021

DEVELOPER



key plan

submittals/revisions

| | DESIGN REVIEW | 11.02.21 |
|-----|---------------|----------|
| | DESIGN REVIEW | 11.22.21 |
| | 30% DD | 12.01.21 |
| | DESIGN REVIEW | 12.28.21 |
| | 60% DD | 01.10.22 |
| | DESIGN REVIEW | 04.05.22 |
| - 1 | | |

drawing title

SCHEMATIC GROUNDPLANE LANDSCAPE PLAN

drawing information

SCALE PER PLAN DRAWN VW JOB # 21-009

SYSTEM THAT INCLUDES TRADITIONAL IRRIGATION

LATERALS, CONTROL VALVES, GATE VALVES AND

5. MASTER CONTROLLER TO BE LOCATED IN BUILDING DURING CONSTRUCTION DOCUMENT PHASE.

HEADS AND/OR DRIP IRRIGATION, SLEEVING,

QUICK COUPLERS.

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PAGE 5

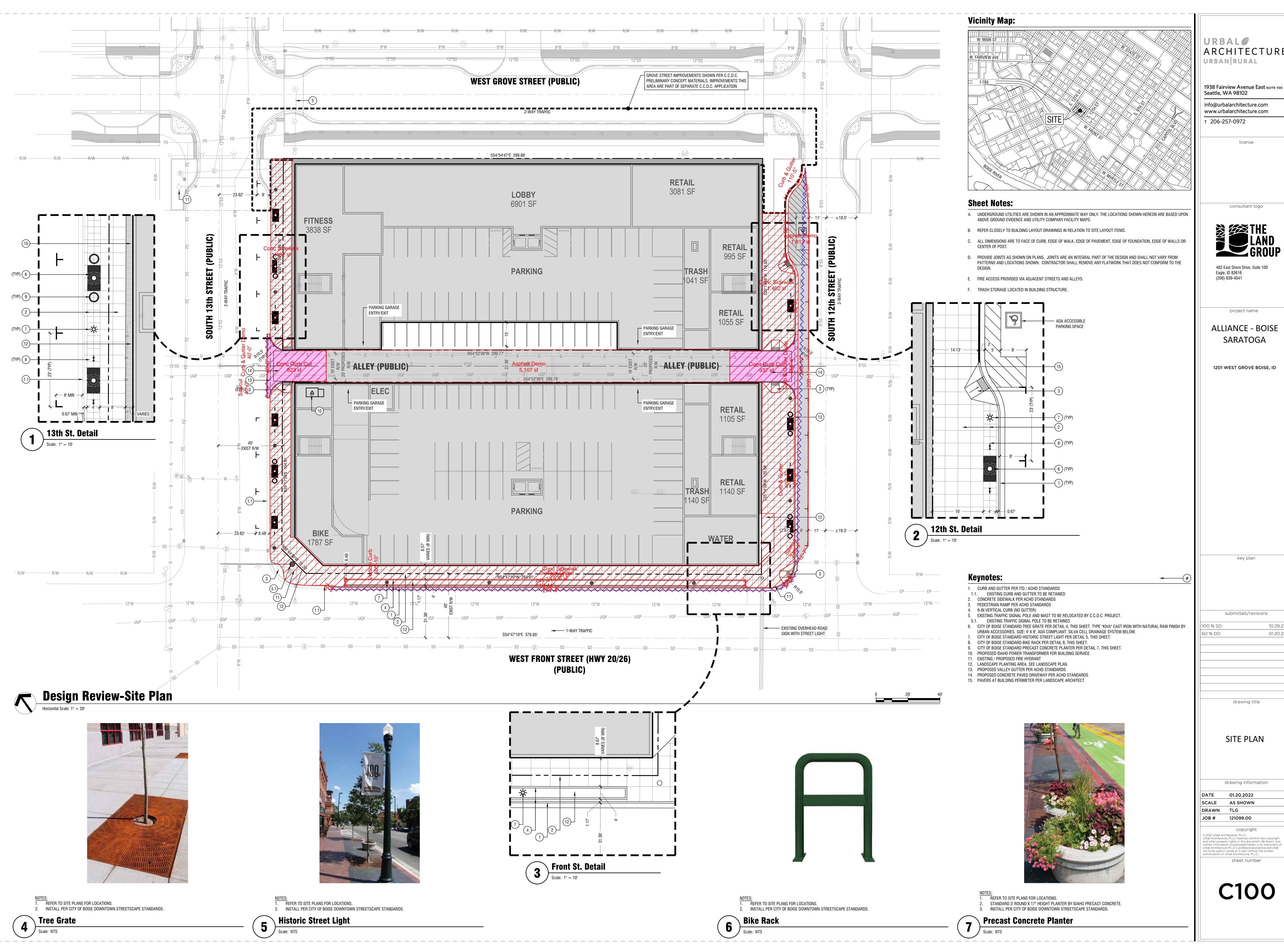








| Exhibit C: Public Improvement Plan |
|------------------------------------|
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| [Appears on the following page] |
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| |



URBAL ARCHITECTURE

info@urbalarchitecture.com www.urbalarchitecture.com

license



462 East Shore Drive, Suite 100 Eagle, ID 83616

project name

ALLIANCE - BOISE SARATOGA

1201 WEST GROVE BOISE, ID

key plan

01.20.22

drawing title

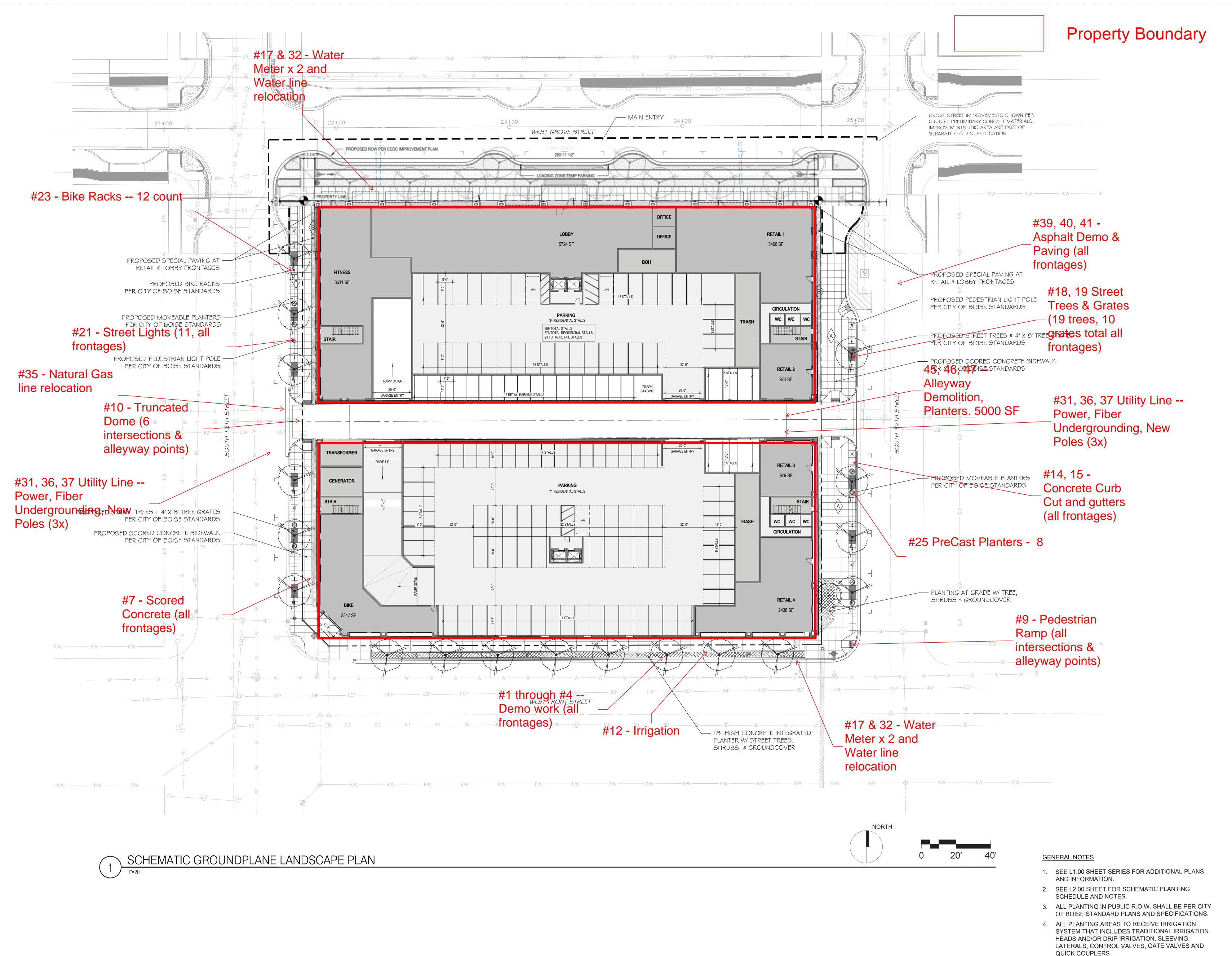
SITE PLAN

drawing information DATE 01.20.2022

JOB # 121099.00 copyright

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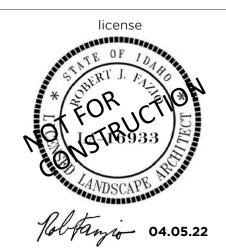
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URBAL ARCHITECTURE URBAN RURAL

1938 Fairview Avenue East SUITE 100 Seattle, WA 98102

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FAZIO

consultant logo

102 NW Canal Street Seattle, WA 98107 T: 206-774-9490 www.fazioassociates.com

project name

ALLIANCE - BOISE BROADSTONE

1201 WEST GROVE BOISE, ID

SARATOGA
APARTMENTS
1201 W. GROVE STREET
BOISE, ID
NOVEMBER 02 2021

DEVELOPER



key plan

submittals/revisions

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| 30% DD | 12.01.21 |
| DESIGN REVIEW | 12.28.21 |
| 60% DD | 01.10.22 |
| DESIGN REVIEW | 04.05.22 |
| | |

drawing title

SCHEMATIC GROUNDPLANE LANDSCAPE PLAN

drawing information

TE 04.05.22

DATE 04.05.22

SCALE PER PLAN

DRAWN VW

JOB # 21-009

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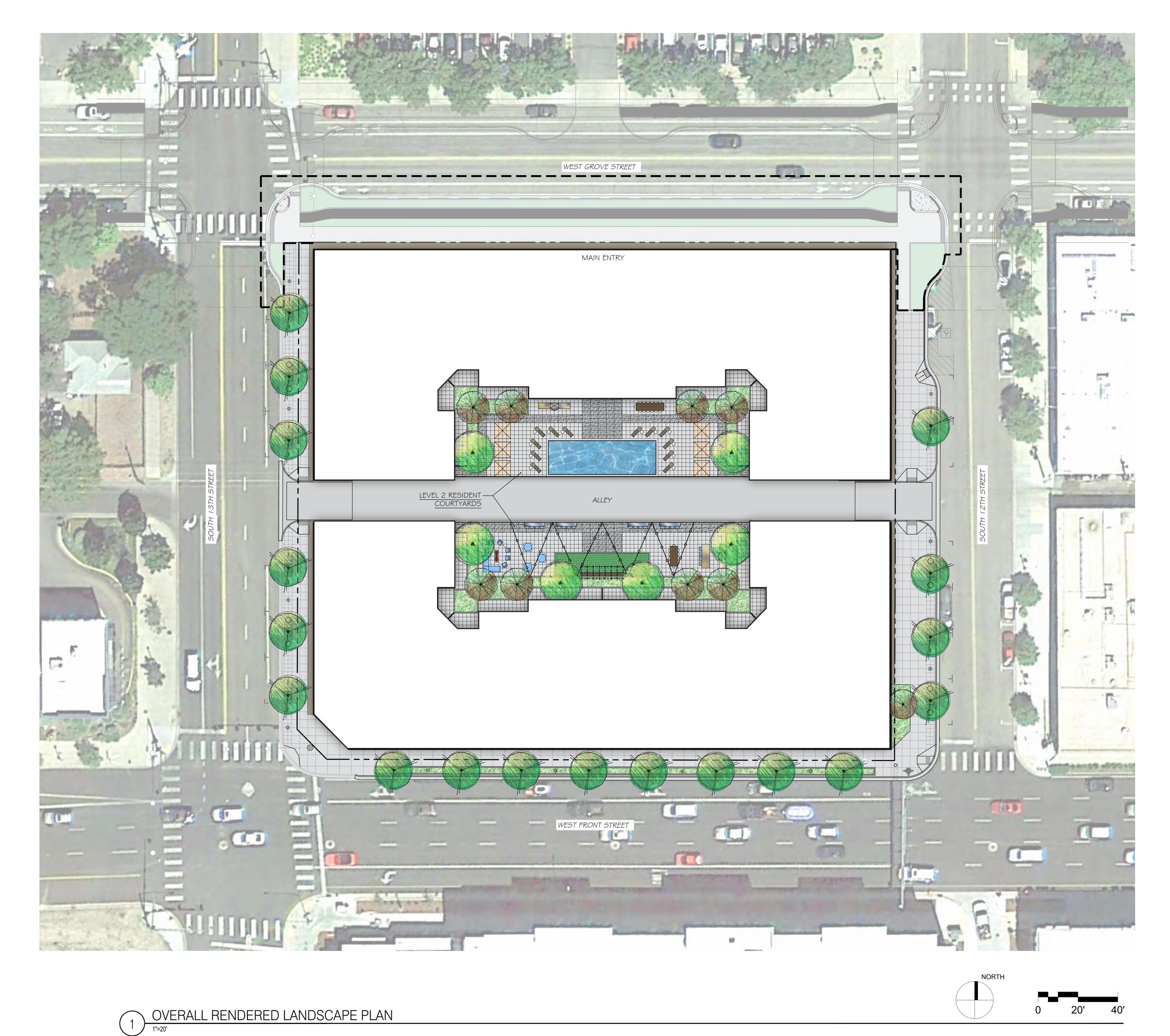
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Sheet number

L1.00

5. MASTER CONTROLLER TO BE LOCATED IN BUILDING DURING CONSTRUCTION DOCUMENT PHASE.

PAGE 5



GENERAL NOTES

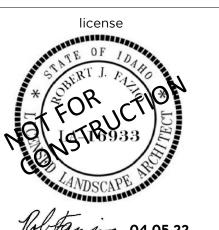
- SEE L1.00 SHEET SERIES FOR ADDITIONAL PLANS AND INFORMATION.
- 2. SEE L2.00 SHEET FOR SCHEMATIC PLANTING SCHEDULE AND NOTES.
- 3. ALL PLANTING IN PUBLIC R.O.W. SHALL BE PER CITY OF BOISE STANDARD PLANS AND SPECIFICATIONS.
- 4. ALL PLANTING AREAS TO RECEIVE IRRIGATION SYSTEM THAT INCLUDES TRADITIONAL IRRIGATION HEADS AND/OR DRIP IRRIGATION, SLEEVING, LATERALS, CONTROL VALVES, GATE VALVES AND QUICK COUPLERS.
- 5. MASTER CONTROLLER TO BE LOCATED IN BUILDING DURING CONSTRUCTION DOCUMENT PHASE.

URBAL ARCHITECTURE URBAN RURAL

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ALLIANCE - BOISE

project name

BROADSTONE

1201 WEST GROVE BOISE, ID

key plan

submittals/revisions

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|---------------|----------|
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| 30% DD | 12.01.21 |
| DESIGN REVIEW | 12.28.21 |
| 60% DD | 01.10.22 |
| DESIGN REVIEW | 04.05.22 |
| | |

drawing title

OVERALL RENDERED LANDSCAPE PLAN

drawing information

SCALE PER PLAN DRAWN VW JOB # 21-009

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Scope of Grove street Improvements to be completed by Broadstone Saratoga shown on the following 12 pages. Includes:

Demo of existing sidewalk from PL to back of curb

Final landscape plantings – trees, shrubs, perennials, and grasses

Final irrigation zones

Installation of CCDC supplied benches (2), trash receptacles (2), and pet rails (6)

GENERAL NOTES

- (1) All Saw Cutting, Asphalt Removal, Gravel Removal, Landscaping/Sod Removal Shall Be Incidental To Excavation Unless Otherwise
- 2 Salvage All Removed Tree Grates To City Of
- 3 Remove And Salvage Existing Signal Poles, Signal Mastarms, Signal Heads, Cabinet, And Other Signal Equipment To ACHD.
- (4) Removal Of All Signal Conduit And Wiring Is Incidental to 201.4.1.F.1.C
- (5) Relocated Water Line Is Shown On These Plans. Removal Of Existing Water Line Shall Be Coordinated With Veolia.
- (6) Monument Data Not Specifically Identified Below Are Provided In The Special
- 7 Salvage All Removed Parking Meters To The City Of Boise—Parking Services.
- 8 Existing Storm Drain Pipe Facility To South Is Not Believed To Exist. If Facility Is Located In Field, Contact Engineer For

KEYNOTES

- $\langle 2 \rangle$ Removal Of Obstructions, Item 201.4.1.C.1
- Removal Of Sidewalk, Driveways, And Pedestrian Ramps, Item 201.4.1.D.1
- Reference And Reset Monument, Item 2020.4.1.F.1
- Removal Of Street Light, Including Power Decommission, Salvage To City Of Boise, Item 201.4.1.F.1.A
- Removal Of Parking Meter, Item 201.4.1.F.1.B
- 7 Removal Of Signal, Item 201.4.1.F.1.C
- Remove & Salvage Roadside Sign, Item 1135.01.06
- (25) Remove Tree 6'+, Item SSP 29093
- (38) Retain & Protect

LEGEND

- G Intermountain Gas
- P Idaho Power
- S Boise City Public Works
- T Lumen
- W Veolia
- FON Syringa Networks
- FOV Verizon Wireless
- FOZ Zayo Fiber Solutions
- FOU Unknown Utility
- GEQ Boise City Public Works Geothermal

MONUMENTS

CP - 73 - 5/8" Pin Sta. 21+00.13, 40.0' Lt. N. 711586.92 E. 2503267.81 Elev. 2688.53

CP - 76 - 5/8" Pin Sta. 21+80.15, 40.0' Lt. N. 715540.80 2503333.21 Elev. 2688.93

CP - 75 - 5/8" Pin Sta. 24+80.15, 40.1' Lt. N. 711367.93 2503578.39

CP-66 - AC LS1029 Sta. 25+20.23, 0.1' Lt. N. 711312.13 E. 2503588.06 Elev. 2690.84

Elev. 2690.77

CP-77 - 1/2" W/CapLS4347 Laying 50* +/-Sta. 25+60.18, 40.2' Lt. N. 711321.87 E. 2503643.83 Elev. 2692.40

CP-65 - AC LS1029 Sta. 21+40.50, 0.7' Rt. N. 711530.39 E. 2503277.318 Elev. 2688.54

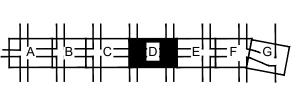
CP-78 BC Boise City BM Sta. 24+80.69, 36.4' Rt. N. 711305.10 E. 2503534.72 Elev. 2690.71

APPROVAL STAMP



FJS

412 E. PARKCENTER BLVD. SUITE 100 BOISE, ID 83706



Linen Blocks on Grove St



PROJECT ADDRESS: **BETWEEN 9TH STREET & 16TH WEST GROVE STREET BOISE, ID 83702**

BOISE CAPITAL CITY DEVELOPMENT CORPORATION 121 N 9th St

Boise, ID 83702

12/15/2022 BID ADDENDUM NO. 1

MARK DATE DESCRIPTION **REVISIONS**

F 12/06/2022 GMP 2 - BID SET 10/28/2022 GMP 2 - BID SET

09/23/2022 PERMIT SUBMITTAL C 8/30/2022 95% DESIGN DEV REVIEW

B 05/16/2022 60% DD REVIEW A 12/10/2021 DESIGN REVIEW SUBMITTAL

MARK DATE DESCRIPTION **ISSUE INFORMATION**

2021031.01 PROJECT NO.: DRAWN BY: T. Mills CHECKED BY:

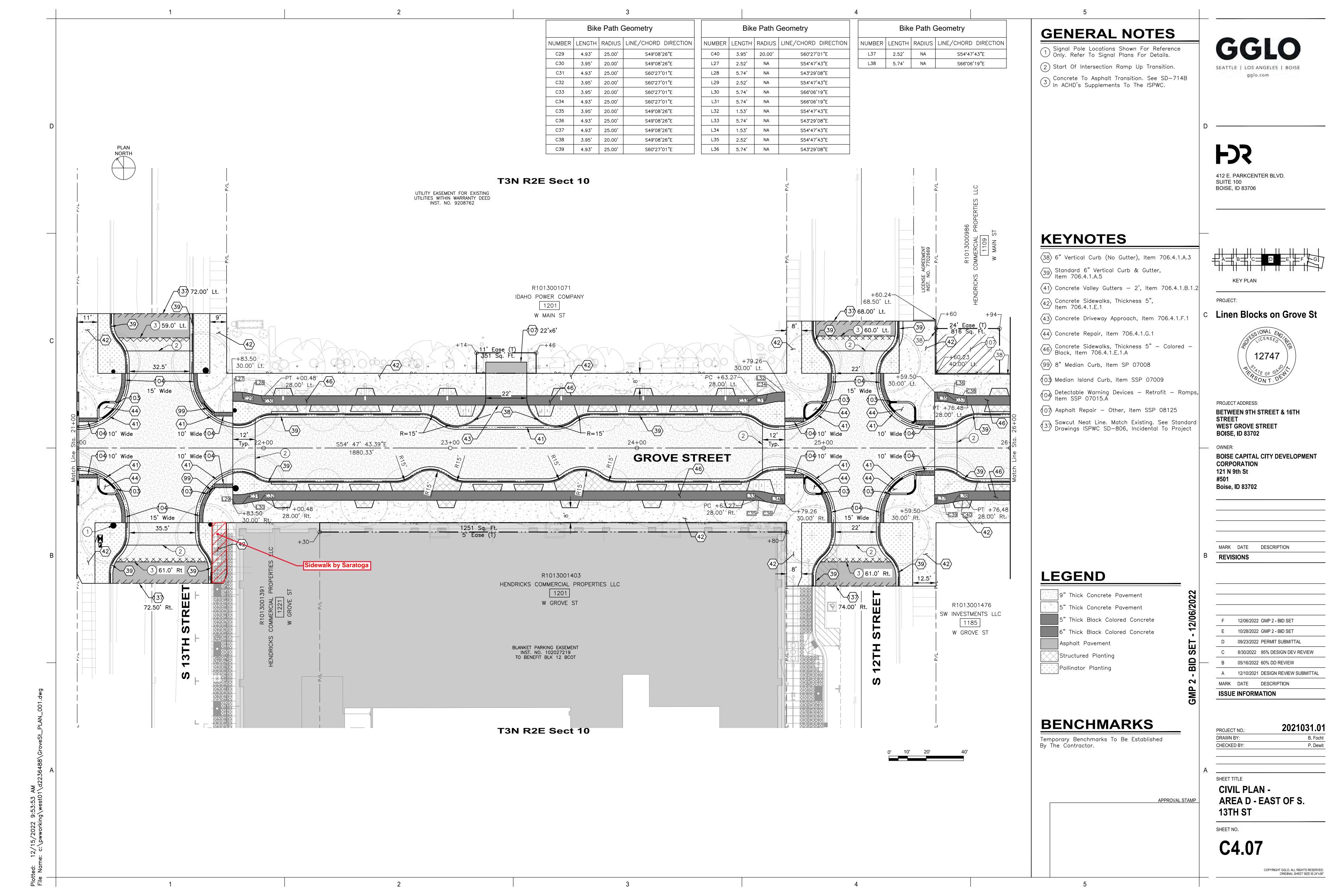
SHEET TITLE **REMOVAL/UTILITY PLAN -**AREA D - EAST OF S.

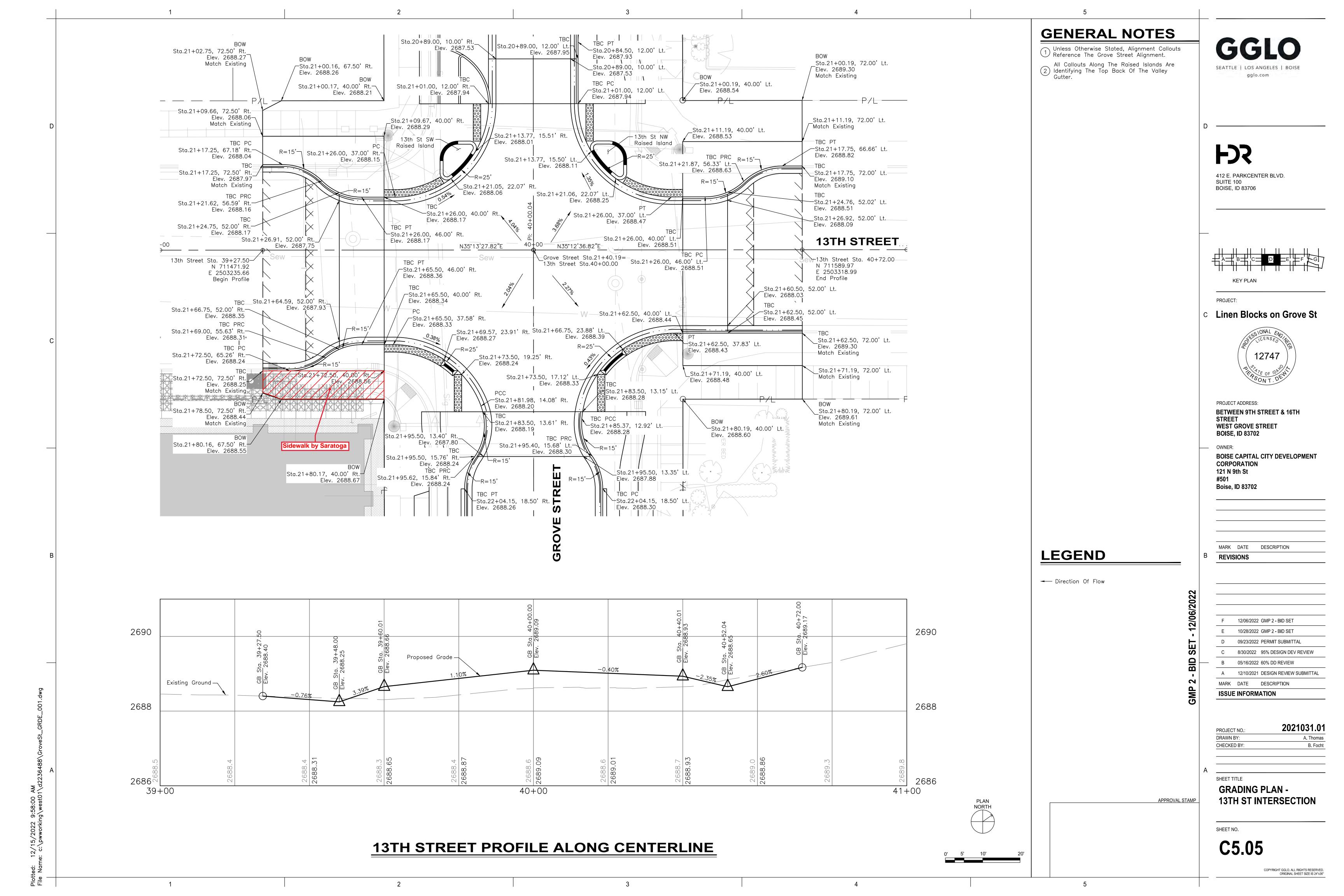
SHEET NO.

13TH ST

COPYRIGHT GGLO. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 24"x36"

R1013001071 IDAHO POWER COMPANY 1201 W MAIN ST GROVE STREET Grate Curbing & / Curbing & Curbing & Grate Curbing & 2 Landscaping \ Landscaping 🗠 Landscaping \(\daggerightarrow{1}{2} Curbing & 2 R1013001403 HENDRICKS COMMERCIAL PROPERTIES LLC 1201 Sidewalk Demo from PL to back of Curb by W GROVE ST R1013001476 _ Curb & | Saratoga / Gutter SW INVESTMENTS LLC 1185 ്3∥Hydrant W GROVE ST BLANKET PARKING EASEMENT INST. NO. 102027219 TO BENEFIT BLK 12 BCOT STR 3TH T3N R2E Sect 10

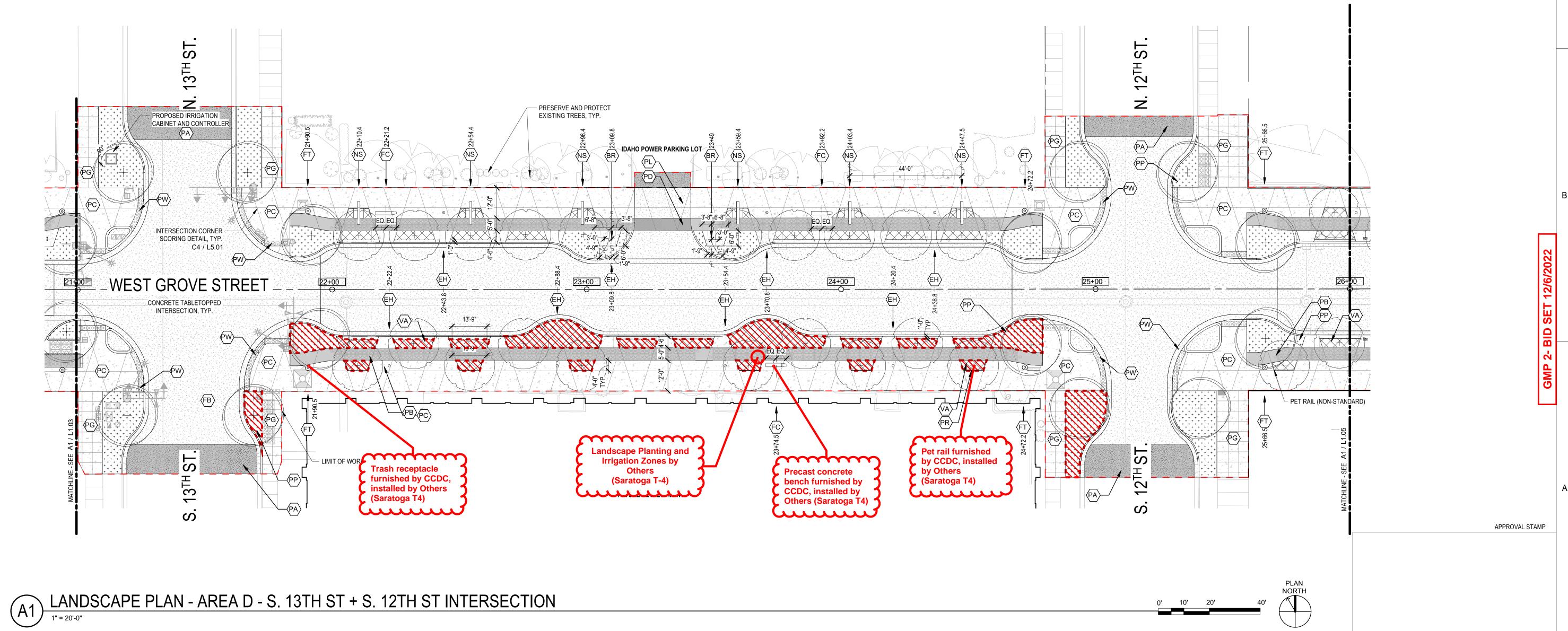




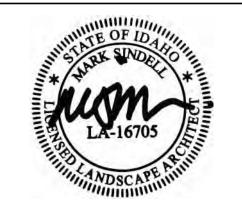
LAYOUT AND MATERIALS LEGEND SPEC SECTION DESCRIPTION DETAIL VISUAL LINEN BLOCK DECORATIVE CONCRETE BROOM FINISH WITH SEE CIVIL 321316 SAWCUT V-GROOVE JOINTS - VEHICULAR DEPTH - TYPE 1 LINEN BLOCK DECORATIVE CONCRETE BROOM FINISH WITH 321316 SEE CIVIL SAWCUT V-GROOVE JOINTS - PEDESTRIAN DEPTH - TYPE 2 CIP CONCRETE - VEHICULAR DEPTH - TYPE 3 SEE CIVIL 321316 CIP CONCRETE - PEDESTRIAN DEPTH - TYPE 4 SEE CIVIL 321316 SEE CIVIL CIP CONCRETE - BIKE LANE - COLORED, STANDARD DEPTH - TYPE 5 321316 (PL) SEE CIVIL 321316 CIP CONCRETE - BIKE LANE - COLORED, VEHICULAR DEPTH - TYPE 6 (PA) SEE CIVIL TRUNCATED DOMES SEE CIVIL 321316 STRUCTURED PLANTING - SEE PLANTING PLANS 329113 A2 / L5.51 A1 / L5.51 POLLINATOR PLANTING - SEE PLANTING PLANS 323300 STANDARD BIKE RACK. SURFACE MOUNT. B4 / L5.02 SEE SHEET EG-5 STANDARD HISTORIC PEDESTRIAN LIGHT LITTER RECEPTICLE 323300 B5 / L5.02 PRE-CAST CONCRETE BENCH A1 / L5.03 323300 PET RAIL - SIDEWALK SIDE PLANTERS A1 / L5.02 323300 PARKING METER - SINGLE METER STANDARD PARKING METER - DOUBLE METER STANDARD SEE SHEET S0.02 AND S0.03 SEE SHEET S0.02 NEON SIGN FOUNDATION 1 / S5.11 AND S0.03 4' X 8' TREE GRATE A4 / L5.02

NOTE: DEEPROOT BARRIER (OR APPROVED EQUAL) THAT EXTENDS 18" BELOW THE SUBGRADE ON ALL SIDEWALKS AND 24" BELOW THE SUBGRADE ON CURB SIDE. SEE DETAIL

NORTH



GGLO gglo.com



KEY PLAN

Linen Blocks on Grove St



PROJECT ADDRESS: **BETWEEN 9TH STREET & 16TH** STREET **WEST GROVE STREET**

BOISE, ID 83702

BOISE, ID 83702

BOISE CAPITAL CITY DEVELOPMENT CORPORATION 121 N 9TH ST

MARK DATE DESCRIPTION **REVISIONS**

GMP 2- BID SET 12/6/2022

10/28/2022 GMP 2 - BID SET 09/23/2022 PERMIT SUBMITTAL 08/30/2022 95% DESIGN DEV REVIEW

05/16/2022 60% DD REVIEW A 12/10/2021 DESIGN REVIEW SUBMITTAL MARK DATE DESCRIPTION

2021031.01 PROJECT NO.: GGLO PRINCIPAL IN CHARGE: GGLO PROJECT MANAGER:

SHEET TITLE

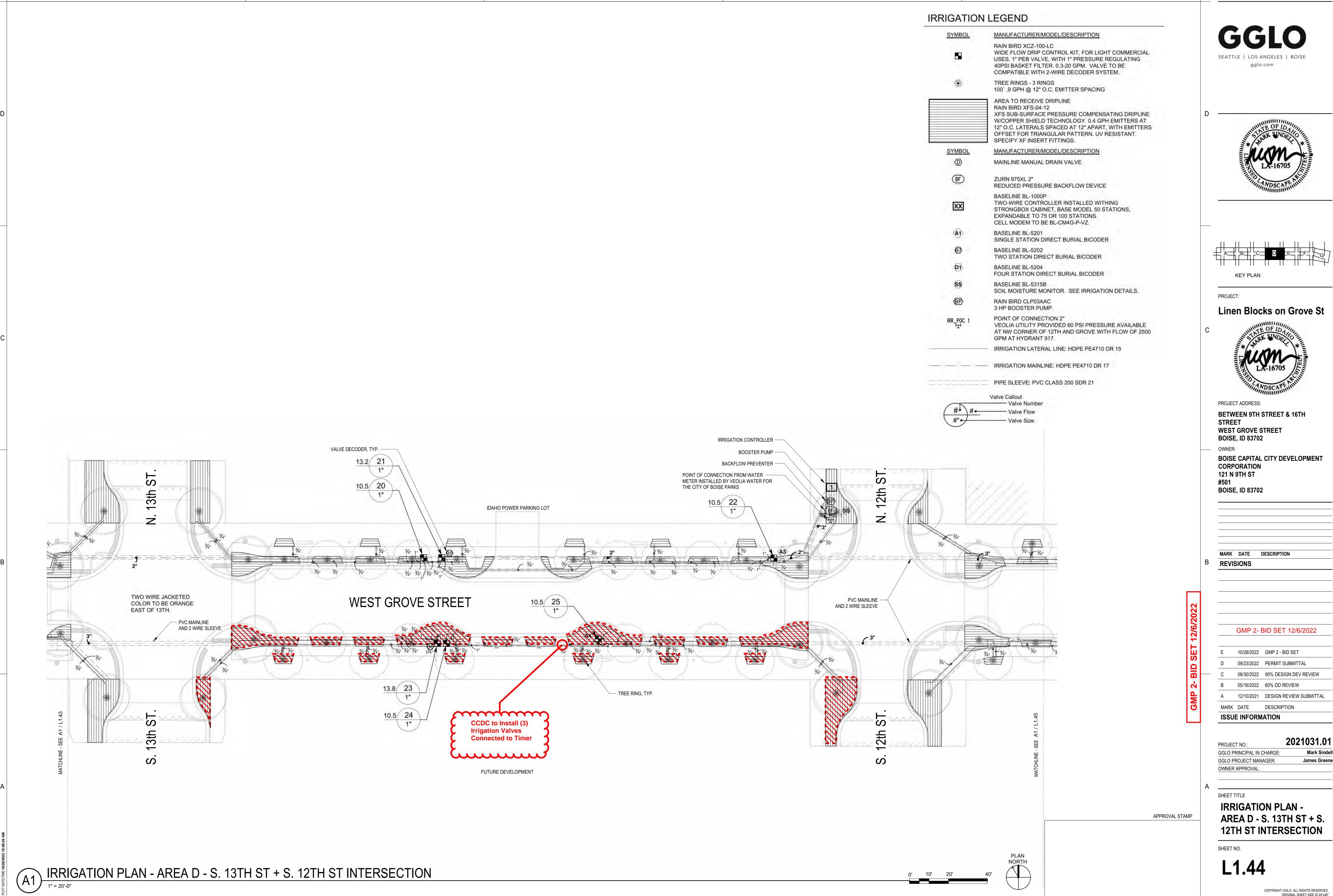
ISSUE INFORMATION

LANDSCAPE PLAN -AREA D - S. 13TH ST + S. 12TH ST INTERSECTION

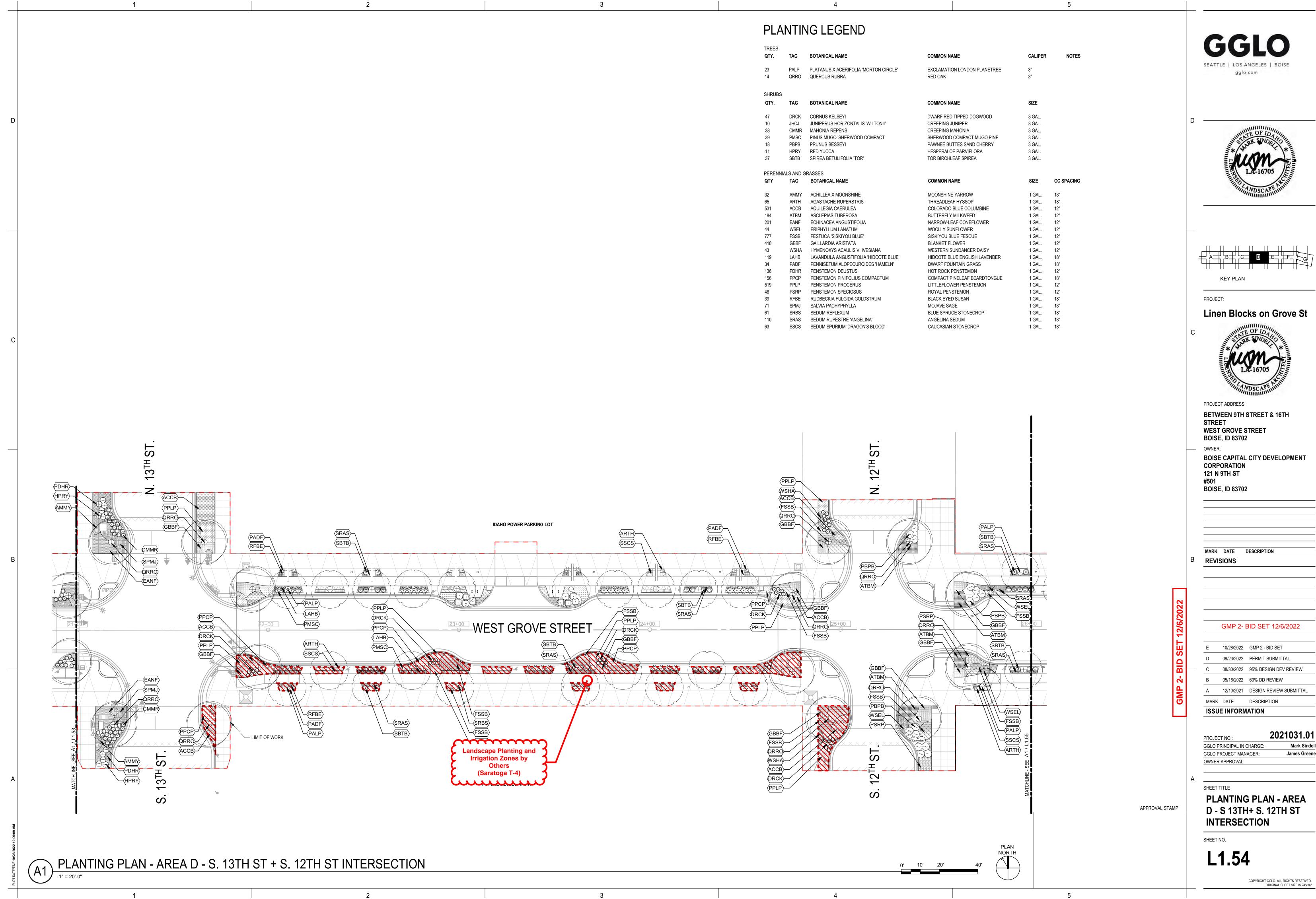
SHEET NO.

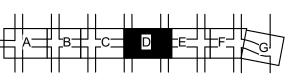
L1.04

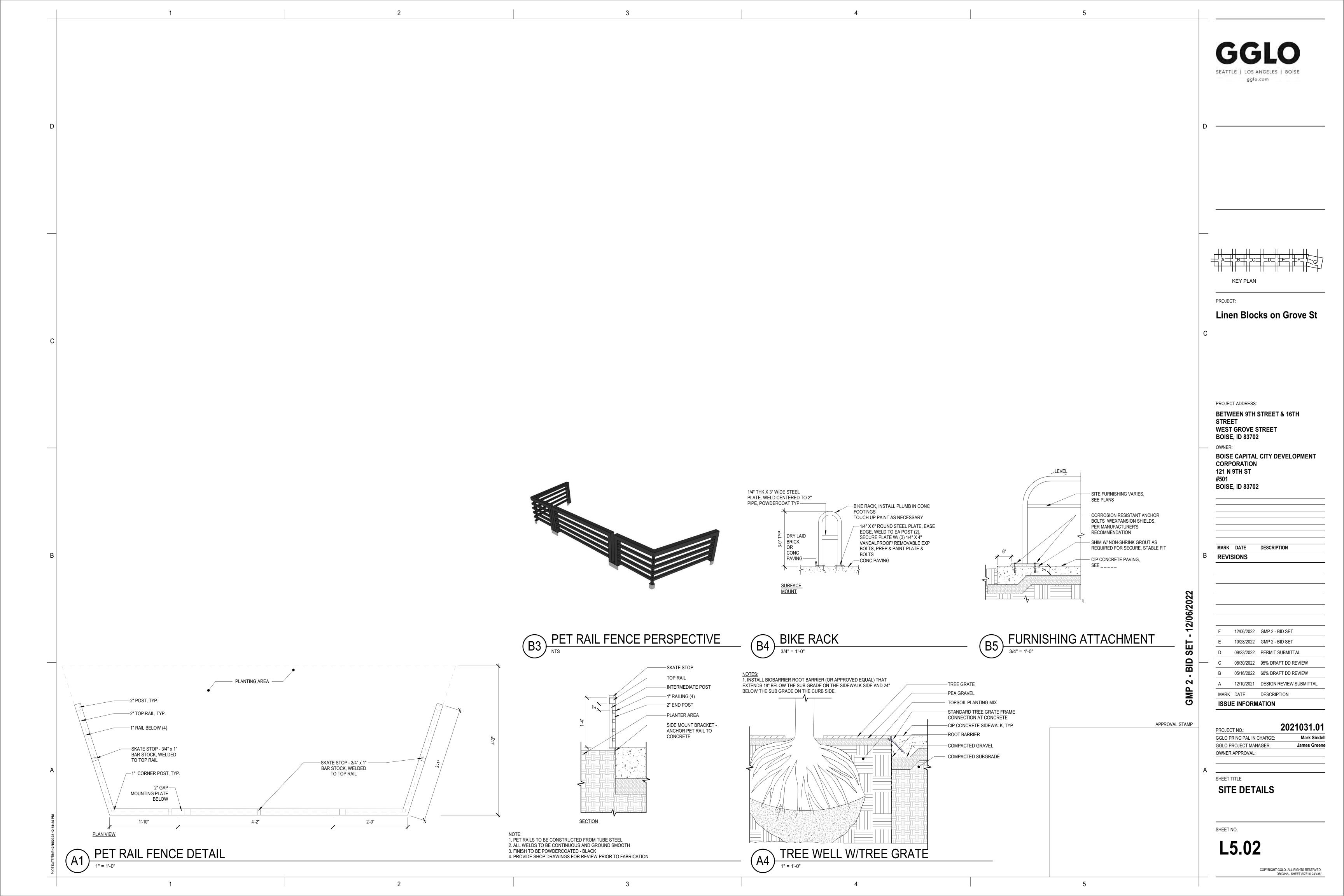
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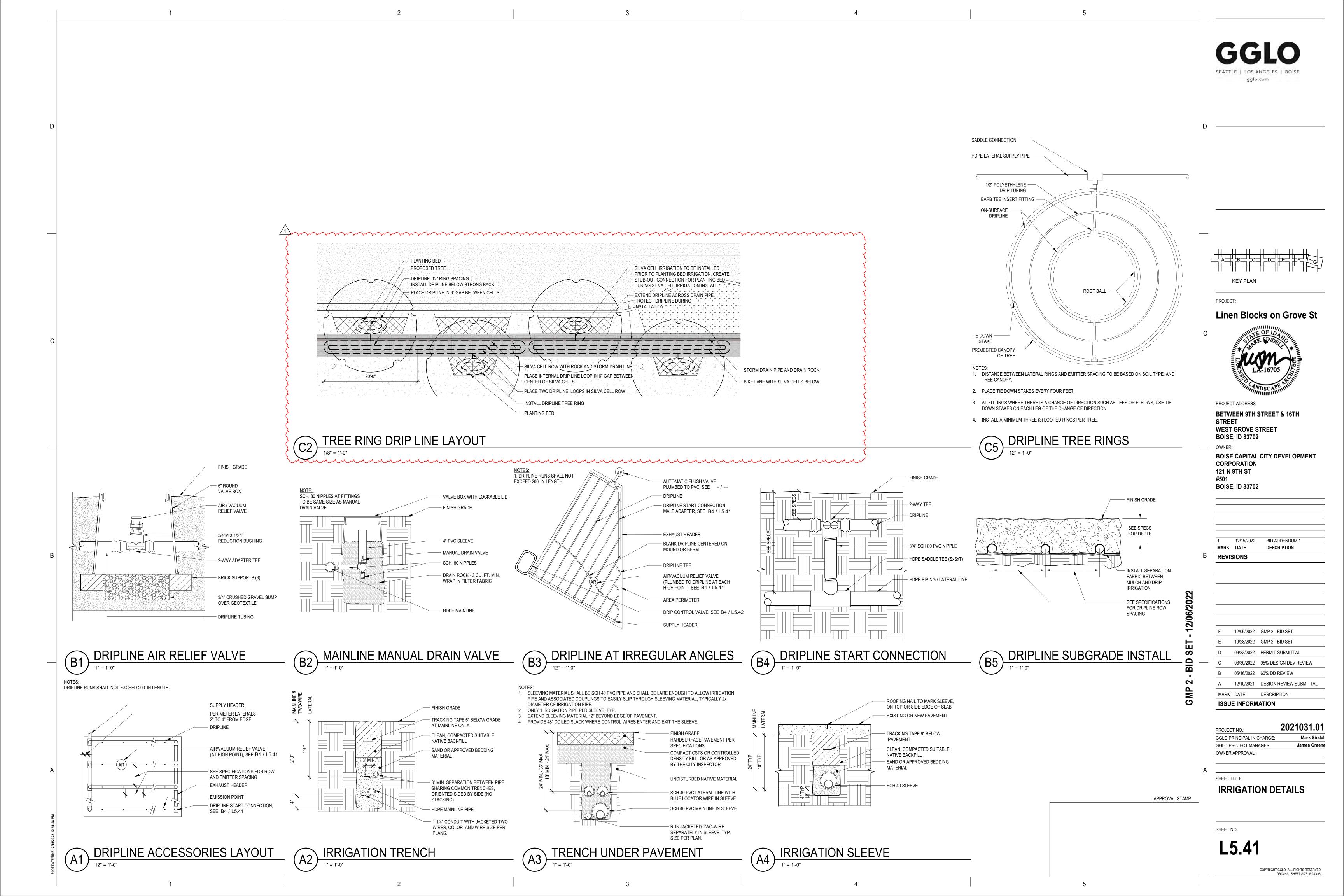


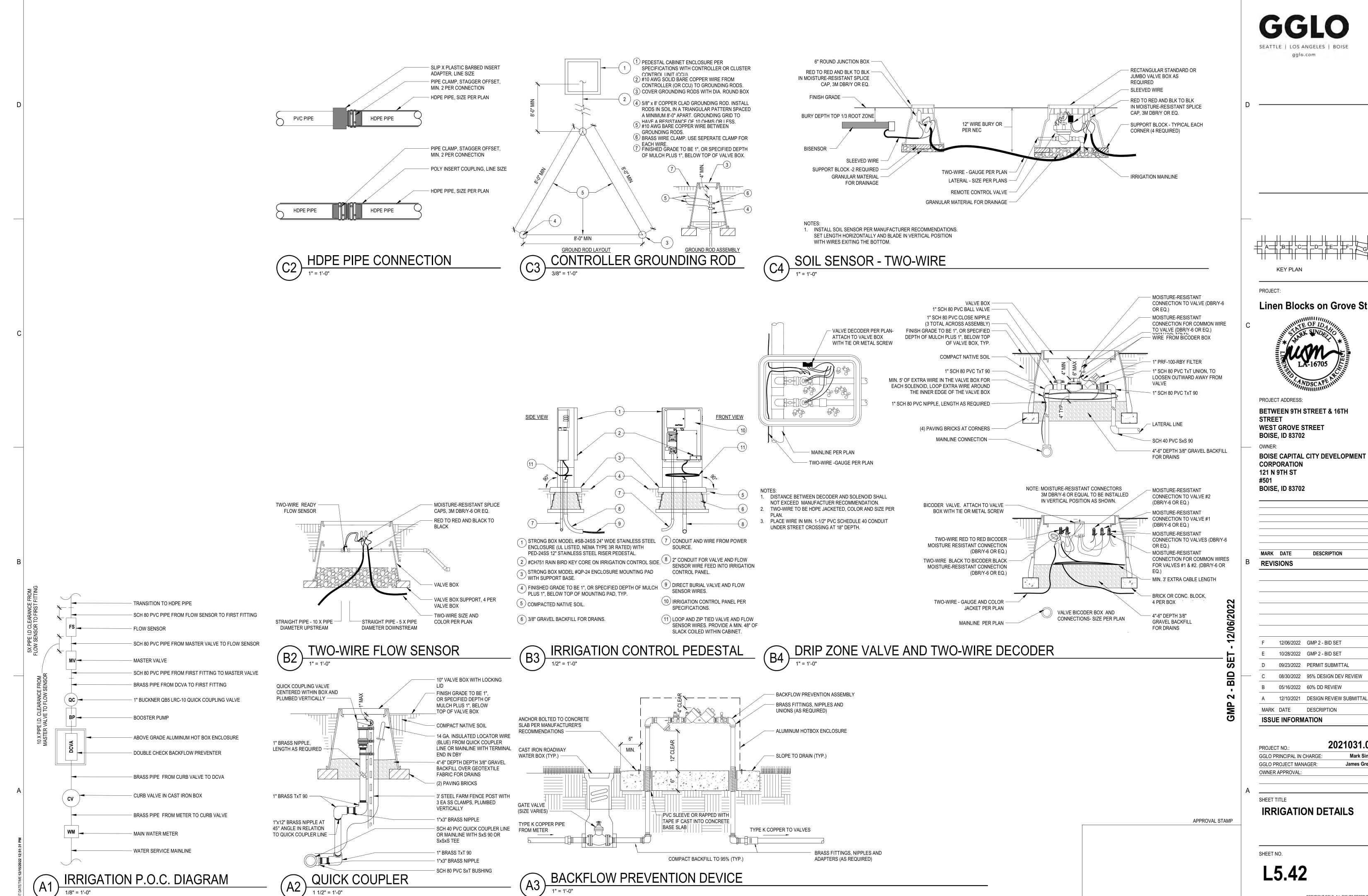
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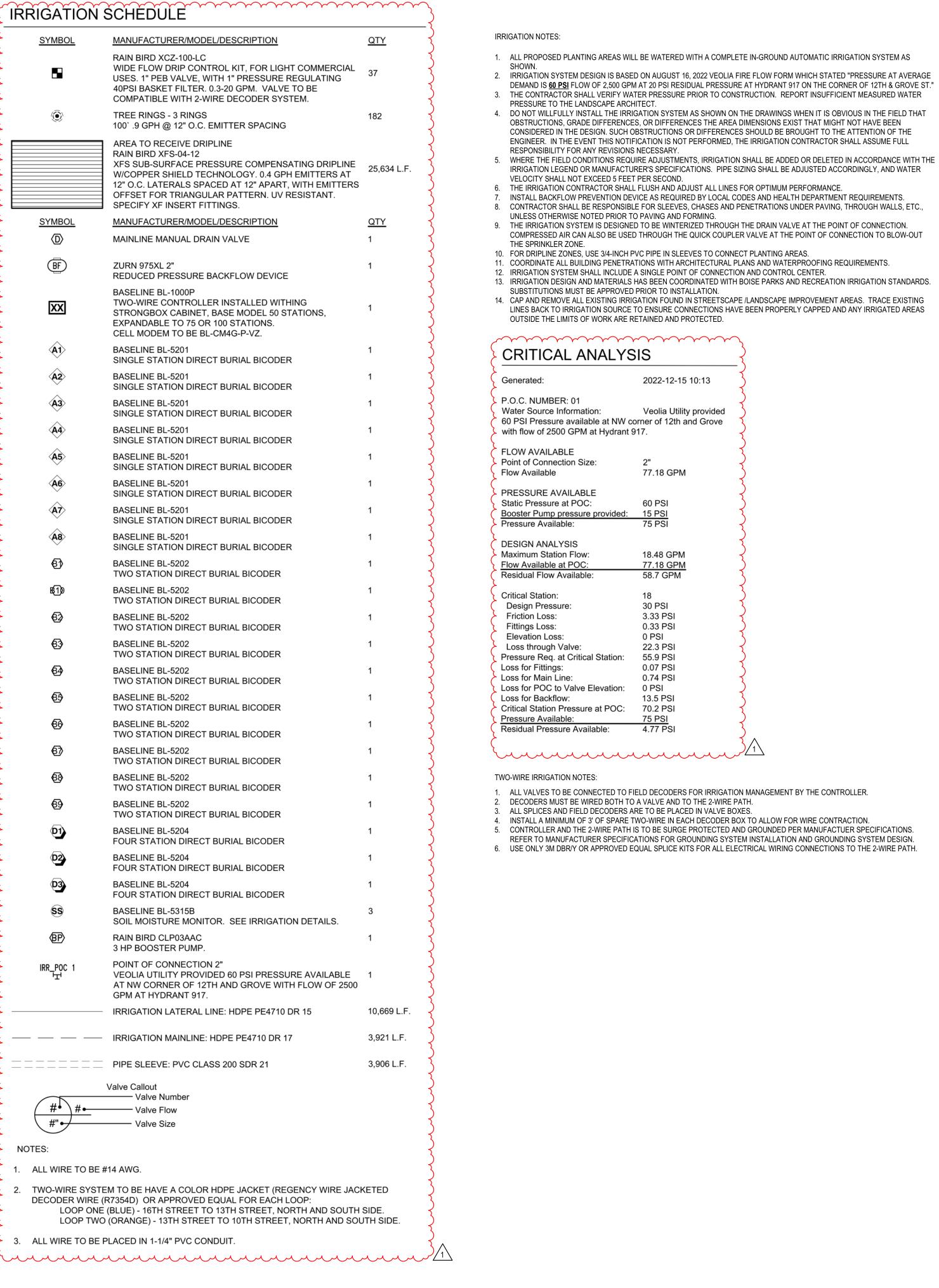
Linen Blocks on Grove St



BOISE CAPITAL CITY DEVELOPMENT

2021031.01 Mark Sindell

ORIGINAL SHEET SIZE IS 24"x36"



GGLO
SEATTLE | LOS ANGELES | BOIS

A B C D E F G

KEY PLAN

PROJECT:

Linen Blocks on Grove St

LA-16705

LA-16705

ANDSCAPE ACTION

AND SCAPE A

PROJECT ADDRESS:

BETWEEN 9TH STREET & 16TH STREET

WEST GROVE STREET BOISE, ID 83702

BOISE CAPITAL CITY DEVELOPMENT CORPORATION 121 N 9TH ST #501

#501 BOISE, ID 83702

12/15/2022 BID ADDENDUM 1

DESCRIPTION

REVISIONS

MARK DATE

F 12/06/2022 GMP 2 - BID SET

S

BID

APPROVAL STAMP

10/28/2022 GMP 2 - BID SET

09/23/2022 PERMIT SUBMITTAL

 C
 08/30/2022
 95% DESIGN DEV REVIEW

 B
 05/16/2022
 60% DD REVIEW

 A
 12/10/2021
 DESIGN REVIEW SUBMITTAL

MARK DATE DESCRIPTION

ISSUE INFORMATION

ISSUE INFORMATION

PROJECT NO.:

GGLO PRINCIPAL IN CHARGE:

GGLO PROJECT MANAGER:

OWNER APPROVAL:

Mark Sindell

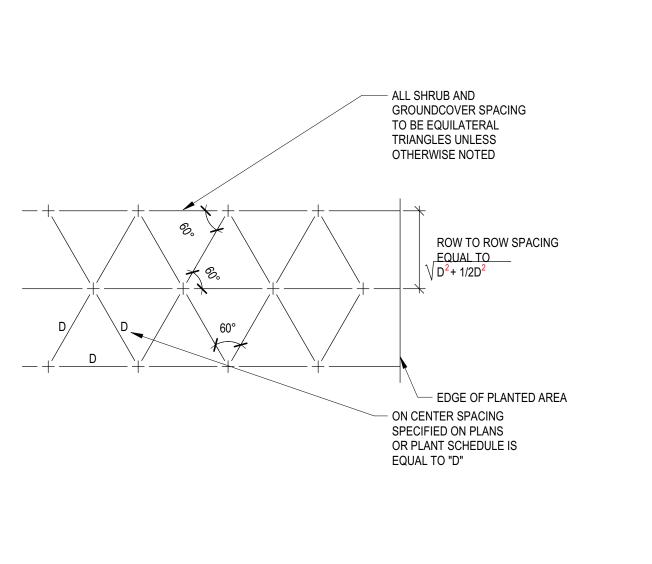
James Greene

IRRIGATION SCHEDULE
AND NOTES

SHEET NO.

L5.45

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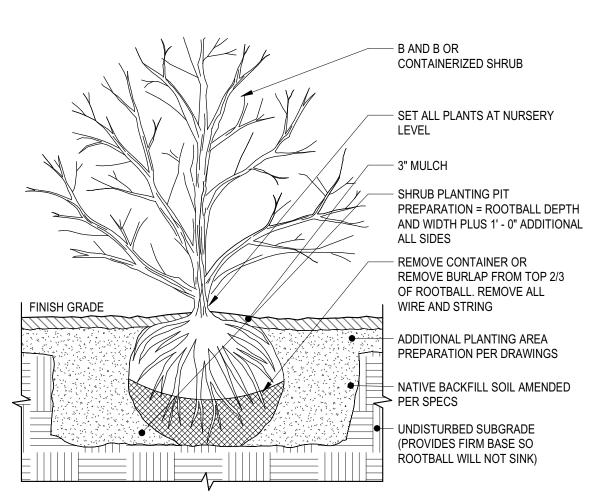


CONTINUOUS OUTER ROW AT X FEET ON CENTER. 2/3X FEET SETBACK FROM EDGE OF PLANTING BED WITH TRIANGULAR SPACING INSIDE BED, TYP. EDGE OF PLANTING BED OR PAVEMENT X = RECOMMENDED SPACING (SEE PLANTING SCHEDULE) \oplus = ACTUAL PLANT LOCATION

TYP. PLANTING PATTERN

TRIANGULAR PLANT SPACING

GROUND COVER PLANTING



TYPICAL GROUND COVER PLANTED AT NURSERY LEVEL - MIN. 2" MULCH — FINISH GRADE REMOVE ALL BURLAP, WIRE, STRING, AND CONTAINERS. SPREAD ROOTS PLANTING SOIL SCARIFIED SUBGRADE

SHRUB PLANTING

DECIDUOUS TREE IN PLANTER STRIP

3/4" = 1'-0"

NOTES:

1. INSTALLATION INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION 2. SHAPE SOIL SURFACE TO PROVIDE 3' DIAMETER WATERING RING - STAKE TREE WITH (2) TREATED 2" DIAMETER LODGEPOLE PINE DOWELED TREE STAKES (8'-0" LENGTH) LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH "CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" WIDTH) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY. LOOP EACH TIE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH - SET TOP OF ROOT CROWN 2" ABOVE SEE NOTE 1 ADJACENT CURB AND SIDEWALK GRADE - 2"-3" MULCH DEPTH (TAPERED AT MULCH TREE PIT MIN 5'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE.) PROVIDE 5'-0" MULCH RING FOR PLANTING STRIPS 1'-6", SEE WIDER THAN 6'-0" NOTE 2 - REMOVE ALL WIRE AND STRING, AND REMOVE ALL BURLAP FROM TOP 2/3 OF ROOTBALL SIDEWALK ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION) - 18" DEEP ROOT BARRIER TYP. WITHIN 10' OF PAVING * DRIVE STAKES 6" TO 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL

GGLO SEATTLE | LOS ANGELES | BOISE

KEY PLAN

PROJECT:

Linen Blocks on Grove St



PROJECT ADDRESS: **BETWEEN 9TH STREET & 16TH**

STREET **WEST GROVE STREET BOISE, ID 83702**

BOISE CAPITAL CITY DEVELOPMENT CORPORATION 121 N 9TH ST

BOISE, ID 83702

MARK DATE DESCRIPTION **REVISIONS**

> 12/06/2022 GMP 2 - BID SET 10/28/2022 GMP 2 - BID SET

09/23/2022 PERMIT SUBMITTAL 08/30/2022 95% DESIGN DEV REVIEW

05/16/2022 60% DD REVIEW A 12/10/2021 DESIGN REVIEW SUBMITTAL

MARK DATE DESCRIPTION **ISSUE INFORMATION**

2021031.01 PROJECT NO.: GGLO PRINCIPAL IN CHARGE: Mark Sindell GGLO PROJECT MANAGER: OWNER APPROVAL:

SHEET TITLE

PLANTING DETAILS

SHEET NO.

S

BID

APPROVAL STAMP

L5.51

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MIN WIDTH OF TREE PIT = 2TIMES ROOTBALL

DIAMETER OR 5'-0", WHICHEVER IS GREATER

MULCH AREA TO BE CLEAR OF GRASS, WEEDS,

ETC. TO REDUCE COMPETITION WITH TREE ROOTS

NOT SINK)

- DRIVE STAKE AT ROOTBALL EDGE (TYP)

- NATIVE BACKFILL SOIL AMENDMENT

DECOMPOSED ORGANIC MULCH

AMENDMENT FOR ENTIRE TREE PIT

- UNDISTURBED SUBGRADE (PROVIDES

FIRM BASE SO THAT ROOTBALL WILL

WITH 25% (AT1/3 CU YD)

AREA X ROOTBALL DEPTH

| ES | TAG | BOTANICAL NAME | COMMON NAME | CALIPER | NOTES | TREES QTY. | TAG | BOTANICAL NAME | COMMON NAME | CALIPER | NOTES |
|-------------------------|---|--|--|---|--|--|---|---|--|--|---|
| | | | | | | | | | | | |
| | PALP QRRO | PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA | EXCLAMATION LONDON PLANETREE RED OAK | 3" 3" | | 18 39 14 | AGSP PALP QRRO | AMELANCIER X GRANDIFLORA PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA | SERVICEBERRY EXCLAMATION LONDON PLANETREE RED OAK | 0" 3" 3" | 10 GALLON SIZE, 5 STEM MIN. |
| 38 | | | | | | SHRUBS | | | | | |
| | TAG | BOTANICAL NAME | COMMON NAME | SIZE | | QTY. | TAG | BOTANICAL NAME | COMMON NAME | SIZE | |
| | DRCK | CORNUS KELSEYI | DWARF RED TIPPED DOGWOOD | 3 GAL. | | 24 | DRCK | CORNUS KELSEYI | DWARF RED TIPPED DOGWOOD | 3 GAL. | |
| | JHCJ CMMR | JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS | CREEPING JUNIPER CREEPING MAHONIA | 3 GAL. 3 GAL. | | 20 48 | JHCJ PMSC | JUNIPERUS HORIZONTALIS 'WILTONII' PINUS MUGO 'SHERWOOD COMPACT' | CREEPING JUNIPER SHERWOOD COMPACT MUGO PINE | 3 GAL. 3 GAL. | |
| | PMSC | PINUS MUGO 'SHERWOOD COMPACT' | SHERWOOD COMPACT MUGO PINE | 3 GAL. | | 20 | PBPB | PRUNUS BESSEYI | PAWNEE BUTTES SAND CHERRY | 3 GAL. | |
| | PBPB | PRUNUS BESSEYI | PAWNEE BUTTES SAND CHERRY | 3 GAL. | | 10 | SBTB | SPIREA BETULIFOLIA 'TOR' | TOR BIRCHLEAF SPIREA | 3 GAL. | |
| | HPRY SBTB | RED YUCCA SPIREA BETULIFOLIA 'TOR' | HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA | 3 GAL. 3 GAL. | | | | | | | |
| NN | ALS AND (| GRASSES | | | | PERENN | IALS AND (| GRASSES | | | |
| • • | TAG | BOTANICAL NAME | COMMON NAME | SIZE | OC SPACING | QTY | TAG | BOTANICAL NAME | COMMON NAME | SIZE | OC SPACING |
| | AMMY | ACHILLEA X MOONSHINE | MOONSHINE YARROW | 1 GAL. | 18" | 59 | AMMY | ACHILLEA X MOONSHINE | MOONSHINE YARROW | 1 GAL. | 18" |
| | ARTH | AGASTACHE RUPERSTRIS | THREADLEAF HYSSOP | 1 GAL. | 18" | 117 | ARTH | AGASTACHE RUPERSTRIS | THREADLEAF HYSSOP | 1 GAL. | 18" |
| | ACCB | AQUILEGIA CAERULEA ASCLEPIAS TUBEROSA | COLORADO BLUE COLUMBINE BUTTERFLY MILKWEED | 1 GAL. 1 GAL. | 12" 12" | 430 95 | ACCB ATBM | AQUILEGIA CAERULEA ASCLEPIAS TUBEROSA | COLORADO BLUE COLUMBINE BUTTERFLY MILKWEED | 1 GAL. 1 GAL. | 12" 12" |
| | ATBM EANF | ASCLEPIAS TUBEROSA ECHINACEA ANGUSTIFOLIA | NARROW-LEAF CONEFLOWER | 1 GAL. 1 GAL. | 12" 12" | 95 143 | EANF | ASCLEPIAS TUBEROSA ECHINACEA ANGUSTIFOLIA | NARROW-LEAF CONEFLOWER | 1 GAL. 1 GAL. | 12" 12" |
| | EPSF | ERIGERON PUMILUS | SHAGGY FLEABANE | 1 GAL. | 12" | 71 | EPEP | ECHINACEA PURPUREA | EASTERN PURPLE CONEFLOWER | 1 GAL. | 18" |
| 9 | WSEL | ERIPHYLLUM LANATUM | WOOLLY SUNFLOWER | 1 GAL. | 12" | 149 450 | EPSF | ERIGERON PUMILUS ERIPHYLLUM LANATUM | SHAGGY FLEABANE WOOLLY SUNFLOWER | 1 GAL. | 12" |
| , | FSSB GBBF | FESTUCA 'SISKIYOU BLUE' GAILLARDIA ARISTATA | SISKIYOU BLUE FESCUE BLANKET FLOWER | 1 GAL. 1 GAL. | 12" 12" | 450 1062 | WSEL FSSB | FESTUCA 'SISKIYOU BLUE' | WOOLLY SUNFLOWER SISKIYOU BLUE FESCUE | 1 GAL. 1 GAL. | 12" 12" |
| | WSHA | HYMENOXYS ACAULIS V. IVESIANA | WESTERN SUNDANCER DAISY | 1 GAL. | 12" | 913 | GBBF | GAILLARDIA ARISTATA | BLANKET FLOWER | 1 GAL. | 12" |
| | LAHB | LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' | HIDCOTE BLUE ENGLISH LAVENDER | 1 GAL. | 18" | 183 | HAIS | HELIANTHUS ANNUUS | IDAHO SUNFLOWER | 1 GAL. | 18" |
| | PADF PDHR | PENNISETUM ALOPECUROIDES 'HAMELN' PENSTEMON DEUSTUS | DWARF FOUNTAIN GRASS HOT ROCK PENSTEMON | 1 GAL. 1 GAL. | 18" 12" | 154 212 | WSHA LAHB | HYMENOXYS ACAULIS V. IVESIANA LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' | WESTERN SUNDANCER DAISY HIDCOTE BLUE ENGLISH LAVENDER | 1 GAL. 1 GAL. | 12" 18" |
| | PPCP | PENSTEMON PINIFOLIUS COMPACTUM | COMPACT PINELEAF BEARDTONGUE | 1 GAL. | 18" | 44 | PADF | PENNISETUM ALOPECUROIDES 'HAMELN' | DWARF FOUNTAIN GRASS | 1 GAL. | 18" |
| | PPLP | PENSTEMON PROCERUS | LITTLEFLOWER PENSTEMON | 1 GAL. | 12" | 99 | PPCP | PENSTEMON PINIFOLIUS COMPACTUM | COMPACT PINELEAF BEARDTONGUE | 1 GAL. | 18" |
| | PSRP RFBE | PENSTEMON SPECIOSUS RUDBECKIA FULGIDA GOLDSTRUM | ROYAL PENSTEMON BLACK EYED SUSAN | 1 GAL. 1 GAL. | 12" 18" | 464 440 | PPLP PSRP | PENSTEMON PROCERUS PENSTEMON SPECIOSUS | LITTLEFLOWER PENSTEMON ROYAL PENSTEMON | 1 GAL. 1 GAL. | 12" |
| | SPMJ | SALVIA PACHYPHYLLA | MOJAVE SAGE | 1 GAL. | 18" | 48 | RFBE | RUDBECKIA FULGIDA GOLDSTRUM | BLACK EYED SUSAN | 1 GAL. | 18" |
| | SRBS SRAS | SEDUM REFLEXUM SEDUM RUPESTRE 'ANGELINA' | BLUE SPRUCE STONECROP ANGELINA SEDUM | 1 GAL. 1 GAL. | 18" 18" | 107 113 | SPMJ SRBS | SALVIA PACHYPHYLLA SEDUM REFLEXUM | MOJAVE SAGE BLUE SPRUCE STONECROP | 1 GAL. 1 GAL. | 18" 18" |
| | | | MINOLLINA OLDUNI | i GAL. | 11.7 | | | | 10 10 .50 000 0 .50 000 0 .50 000 | LITHI | 11.7 |
| 17 | SSCS | SEDUM SPURIUM 'DRAGON'S BLOOD' | CAUCASIAN STONECROP | 1 GAL. | 18" | 349 112 | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' | ANGELINA SEDUM CAUCASIAN STONECROP | 1 GAL. 1 GAL. | 18" 18" |
| | | SCHEDULE - SARATO | | 1 GAL. | 18" | 349 112 | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' | ANGELINA SEDUM CAUCASIAN STONECROP | 1 GAL. 1 GAL. | |
| LÆ | | | | 1 GAL. | 18" | 349 112 | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' | ANGELINA SEDUM CAUCASIAN STONECROP | 1 GAL. 1 GAL. | |
| L A | | | | 1 GAL. | 18" | 349 112 | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' | ANGELINA SEDUM CAUCASIAN STONECROP | 1 GAL. 1 GAL. | |
| L A | TAG PALP | SCHEDULE - SARATO BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' | OGA BLOCK (13TH TO COMMON NAME EXCLAMATION LONDON PLANETREE | 1 GAL. | ST. SOUTH) | 349 112 PLA TREES | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE | 1 GAL. 1 GAL. TO 107 CALIPER 3" | TH ST. SOUTH) |
| | NT S | SCHEDULE - SARATO BOTANICAL NAME | OGA BLOCK (13TH TO | 1 GAL. O 12TH CALIPER | ST. SOUTH) | 349 112 PLA TREES | SRAS SSCS | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME | 1 GAL. 1 GAL. | TH ST. SOUTH) |
| ES . | TAG PALP QRRO | SCHEDULE - SARATO BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA | OGA BLOCK (13TH TO COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK | 1 GAL. CALIPER 3" 3" | ST. SOUTH) | TREES QTY. 10 4 SHRUBS | SRAS SSCS TAG PALP QRRO | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK | 1 GAL. 1 GAL. 2 GALIPER 3" 3" | TH ST. SOUTH) |
| L A | TAG PALP QRRO | SCHEDULE - SARATO BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' | OGA BLOCK (13TH TO COMMON NAME EXCLAMATION LONDON PLANETREE | 1 GAL. O 12TH CALIPER | ST. SOUTH) | 349 112 TREES QTY. 10 4 | SRAS SSCS TAG PALP QRRO | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE | 1 GAL. 1 GAL. TO 107 CALIPER 3" | TH ST. SOUTH) |
| EES 7. | TAG PALP QRRO TAG DRCK | SCHEDULE - SARATO BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA | OGA BLOCK (13TH TO COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. | ST. SOUTH) | TREES QTY. 10 4 SHRUBS | SRAS SSCS TAG PALP QRRO TAG CMMR | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK | 1 GAL. 1 GAL. 1 GAL. TO 107 CALIPER 3" 3" SIZE 3 GAL. | TH ST. SOUTH) |
| EES Y. RUBS Y. | TAG PALP QRRO TAG DRCK JHCJ | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) | TREES QTY. 10 4 SHRUBS QTY. | TAG PALP QRRO TAG CMMR PMSC | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE | 1 GAL. 1 GAL. 1 GAL. TO 107 CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. | TH ST. SOUTH) |
| EES Y. RUBS Y. | TAG PALP QRRO TAG DRCK | SCHEDULE - SARATO BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. | ST. SOUTH) | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 | SRAS SSCS TAG PALP QRRO TAG CMMR | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA | 1 GAL. 1 GAL. 1 GAL. TO 107 CALIPER 3" 3" SIZE 3 GAL. | TH ST. SOUTH) |
| EES 7. | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 | TAG PALP QRRO TAG CMMR PMSC HPRY | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA | 1 GAL. 1 GAL. 1 GAL. 3 " 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. | TH ST. SOUTH) |
| ES, | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 | TAG PALP QRRO TAG CMMR PMSC HPRY | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA | 1 GAL. 1 GAL. 1 GAL. 3 " 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. | TH ST. SOUTH) |
| ES | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB HPRY | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI RED YUCCA SPIREA BETULIFOLIA 'TOR' | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY HESPERALOE PARVIFLORA | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 | TAG PALP QRRO TAG CMMR PMSC HPRY SBTB | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA | 1 GAL. 1 GAL. 1 GAL. 3 " 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. | TH ST. SOUTH) |
| ES . UBS | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB HPRY SBTB ALS AND 0 | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI RED YUCCA SPIREA BETULIFOLIA 'TOR' | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) NOTES | TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 PERENN | TAG PALP QRRO TAG CMMR PMSC HPRY SBTB | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA | 1 GAL. 1 GAL. 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 1 GAL. | OC SPACING |
| EES Y. | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB HPRY SBTB | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI RED YUCCA SPIREA BETULIFOLIA 'TOR' | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY HESPERALOE PARVIFLORA | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 PERENN QTY 74 24 | TAG PALP QRRO TAG PMSC HPRY SBTB HALS AND C TAG AMMY ARTH | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' GRASSES BOTANICAL NAME ACHILLEA X MOONSHINE AGASTACHE RUPERSTRIS | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA COMMON NAME MOONSHINE YARROW THREADLEAF HYSSOP | 1 GAL. 1 GAL. 1 GAL. 1 GAL. 3 " 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 1 GAL. 1 GAL. 1 GAL. | OC SPACING 18" 18" |
| EES Y. RUBS Y. | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB HPRY SBTB ALS AND G TAG ARTH | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI RED YUCCA SPIREA BETULIFOLIA 'TOR' GRASSES BOTANICAL NAME AGASTACHE RUPERSTRIS | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA COMMON NAME THREADLEAF HYSSOP | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. | ST. SOUTH) NOTES OC SPACING 18" | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 PERENN QTY 74 | TAG PALP QRRO TAG CMMR PMSC HPRY SBTB HALS AND CO TAG AMMY | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' GRASSES BOTANICAL NAME ACHILLEA X MOONSHINE | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA COMMON NAME MOONSHINE YARROW | 1 GAL. 1 GAL. 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 1 GAL. | OC SPACING |
| EES Y. | TAG PALP QRRO TAG DRCK JHCJ CMMR PMSC PBPB HPRY SBTB ALS AND C TAG ARTH ACCB | BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME CORNUS KELSEYI JUNIPERUS HORIZONTALIS 'WILTONII' MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' PRUNUS BESSEYI RED YUCCA SPIREA BETULIFOLIA 'TOR' GRASSES BOTANICAL NAME AGASTACHE RUPERSTRIS AQUILEGIA CAERULEA | COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME DWARF RED TIPPED DOGWOOD CREEPING JUNIPER CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE PAWNEE BUTTES SAND CHERRY HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA COMMON NAME THREADLEAF HYSSOP COLORADO BLUE COLUMBINE | 1 GAL. CALIPER 3" 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 3 GAL. 1 GAL. 1 GAL. | ST. SOUTH) NOTES OC SPACING 18" 12" | 349 112 PLA TREES QTY. 10 4 SHRUBS QTY. 33 11 3 17 PERENN QTY 74 24 174 | TAG PALP QRRO TAG CMMR PMSC HPRY SBTB HALS AND CANNEL AMMY ARTH EANF EPSF FSSB | SEDUM RUPESTRE 'ANGELINA' SEDUM SPURIUM 'DRAGON'S BLOOD' SCHEDULE - PENNBR BOTANICAL NAME PLATANUS X ACERIFOLIA 'MORTON CIRCLE' QUERCUS RUBRA BOTANICAL NAME MAHONIA REPENS PINUS MUGO 'SHERWOOD COMPACT' RED YUCCA SPIREA BETULIFOLIA 'TOR' GRASSES BOTANICAL NAME ACHILLEA X MOONSHINE AGASTACHE RUPERSTRIS ECHINACEA ANGUSTIFOLIA ERIGERON PUMILUS FESTUCA 'SISKIYOU BLUE' | ANGELINA SEDUM CAUCASIAN STONECROP RIDGE BLOCK (11TH COMMON NAME EXCLAMATION LONDON PLANETREE RED OAK COMMON NAME CREEPING MAHONIA SHERWOOD COMPACT MUGO PINE HESPERALOE PARVIFLORA TOR BIRCHLEAF SPIREA COMMON NAME MOONSHINE YARROW THREADLEAF HYSSOP NARROW-LEAF CONEFLOWER | 1 GAL. 1 GAL. 1 GAL. 3 " 3" SIZE 3 GAL. 3 GAL. 3 GAL. 3 GAL. 1 GAL. 1 GAL. 1 GAL. 1 GAL. 1 GAL. | OC SPACING 18" 18" 12" |
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PLANTING GENERAL NOTES:

1. SEE SPECIFICATION SECTION 329300 PLANTS.

 PLANTING ACTIVITIES AND MATERIALS SHALL COMPLY WITH ALL LOCAL CODES AND REGULATIONS.

3. ALL PLANTS SELECTIONS AND SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCUREMENT.

4. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE

INSTALLATION.
5. ALL PLANTS SHALL BE LAID OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE

INSPECTION AND APPROVAL OF TREE PLANTING AT FIRST TREE INSTALLATION.

ARCHITECT BEFORE INSTALLATION.

6. OLIANTITIES ARE FOR INFORMATION ONLY. CONTRACTOR TO VERIEV AND ASSUME

 QUANTITIES ARE FOR INFORMATION ONLY. CONTRACTOR TO VERIFY AND ASSUME RESPONSIBILITY FOR ALL PLANT MATERIAL QUANTITIES.
 CONTRACTOR TO COORDINATE WITH CITY OF BOISE URBAN FORESTRY TO ENSURE

SOIL PREPARATION NOTES:

1. SEE SPECIFICATION SECTION 329113 SOIL PREPARATION FOR SOIL MIXES, PLACEMENT, AND

PROCEDURES.
2. EXCAVATE SOIL TO DEPTH OF 3' IN ALL PLANTING AREAS. INSTALL IMPORTED AMENDED TOP SOIL PER SPECIFICATIONS.

3. SCARIFY PLANTING PIT SIDES AND BOTTOMS WITH TOOTHED BUCKET PRIOR TO SOIL

4. SOIL PREPARATION ACTIVITIES AND MATERIALS SHALL COMPLY WITH ALL LOCAL CODES AND REGULATIONS.

SEATTLE | LOS ANGELES | BOISE gglo.com

A B C D E F G

KEY PLAN

PROJECT:

Linen Blocks on Grove St



PROJECT ADDRESS:

BETWEEN 9TH STREET & 16TH STREET WEST GROVE STREET BOISE, ID 83702

OWNER:

BOISE CAPITAL CITY DEVELOPMENT
CORPORATION

121 N 9TH ST #501 BOISE, ID 83702

12/15/2022 BID ADDENDUM 1

MARK DATE DESCRIPTION
REVISIONS

REVISIONS

F 12/06/2022 GMP 2 - BID SET

E 10/28/2022 GMP 2 - BID SET

D 09/23/2022 PERMIT SUBMITTAL

 C
 08/30/2022
 95% DESIGN DEV REVIEW

 B
 05/16/2022
 60% DD REVIEW

A 12/10/2021 DESIGN REVIEW SUBMITTAL

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.:

GGLO PRINCIPAL IN CHARGE:

GGLO PROJECT MANAGER:

OWNER APPROVAL:

Mark Sindell

James Greene

PLANTING SCHEDULE

SHEET NO.

APPROVAL STAMP

L6.51

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TYPE 4 CAPITAL IMPROVEMENT REIMBURSEMENT AGREEMENT

Exhibit D: Schedule of Eligible Expenses

CCDC Participation Program

Type 2 Eligible Expenses Application Form

Actual Eligible Costs To Be Determined by CCDC

| | Project Name: | P | lan Date: | tual Eligible Costs To Be | Determined by CCDC | | By: Brady Shinn | |
|--|--|--|---|---|---|---|--|---|
| | Broadstone Saratoga | Buil | ding Permit | | | | | |
| | | | | | _ | THE PUBLIC RIGHT OF WAY | | |
| # | ITEM DESCRIPTION | UNIT | UNIT PRICE | GROVE ST QTY | GROVE ST COST | OTHER ROW QTY | OTHER ROW COST | TOTAL PROJECT COST |
| 1 | SITE PREPARATION: DIVISIONS 2 and 31 Surface demolition | SF | 2.00 | 8,900 | 17,800 | 13,926 | 27,852 | 45,652 |
| | Asphalt demolition | 31 | 0.00 | 8,500 | 0 | 13,920 | 0 | 0 |
| | Curb and dutter demolition Saw cut | LF LF | 4.00 7.50 | 385 450 | 1,540 3,375 | 550 290 | 2,200 2,175 | 3,740 5,550 |
| | Replace subbase | SF | 2.00 | 8,900 | 17,800 | 0 | 0 | 17,800 |
| 6 | Stand alone tree removal | EA | 0.00 | 0 | 0 | 0 | 0 | 0 |
| | SIDEWALK WORK: DIVISION 32 | | | | 0 | | 0 | 0 |
| | Scored concrete sidewalk Dry laid brick | SF | 8.50 25.00 | 0 | 0 | 9,150 0 | 77,775 0 | 77,775 |
| | Pedestrian ramp | EA | 1,200.00 | 0 | 0 | 6 | 7,200 | 7,200 |
| | Truncated dome | EA | 500.00 0.00 | 0 | 0 | 6 | 3,000 | 3,000 |
| | Lawn parkway Irrigation | LS | 85,000.00 | 1 | 17,000 | 1 | 85,000 | 102,000 |
| | OTHER DIVISION 22 | | | | 0 | | 0 | 0 |
| 13 | OTHER: DIVISION 32 Asphalt repair | | 0.00 | 0 | 0 | 0 | 0 0 | 0 |
| | Concrete curb cut Vertical curb and gutter (6") [ISPWC SD-701] | SF LF | 7.50 | 0 | 0 | 1,760 | 13,200 | 13,200 |
| 15 | Vertical curb and gutter (6°) [ISPWC SD-701] Vertical curb (6") [ISPWC SD-701A] | LF | 28.00 20.00 | 0 | 0 | 513 506 | 14,364 10,120 | 14,364 10,120 |
| | Meyers cabinet | EA | 0.00 | 0 | 0 | 0 | 0 | 0 |
| 17 | Water meter | EA | 1,500.00 | 0 | 0 | 4 | 6,000 0 | 6,000 0 |
| | SITUATIONAL FURNISHINGS: DIVISION 32 | | | | 0 | | 0 | 0 |
| | Grove St Landscape Trees & Plantings Street Trees, Silva Cells and Planters (12th,13th, Front) | EA | 0 28,500 | 1 | 200,000 | 0 10 | 0 285,000 | 200,000 285,000 |
| 19 | Tree grates & frames (12th, 13th, Front) | 0 | 5,800 | 0 | 0 | 10 | 58,000 | 58,000 |
| | Historic street light 30' Roadway Light | EA EA | 9,000 7,000 | 0 | 0 | 13 2 | 117,000 14,000 | 117,000 14,000 |
| 22 | Bench Installation | EA | 400 | 2 | 800 | 0 | 0 | 800 |
| | Bike rack Litter receptacle | EA EA | 750 1,000 | 0 | 0 | 12 0 | 9,000 | 9,000 |
| | Pre-cast planter | EA | 2,500 | 0 | 0 | 8 | 20,000 | 20,000 |
| | Pet Rail Installation Pre-cast planter Installation | EA EA | 160 250 | 6 1 | 960 250 | 0 | 0 | 960 250 |
| | Trash Receptacle Installation | EA | 150 | 2 | 300 | 0 | 0 | 300 |
| | Total Streetscape Costs: | | | \$ | 259,825.00 | | \$ 751,886.00 | \$ 1,011,711.00 |
| | | | | | | | | |
| | INFRASTRUCTURE & UTILITIES: (In right-of-way) | | | | | | | |
| | INFRASTRUCTURE & UTILITIES: (In right-of-way) | UNIT | UNIT PRICE | GROVE ST QTY | GROVE ST COST | OTHER ROW QTY | OTHER ROW COST | TOTAL PROJECT COST |
| 29 | UTILITIES: DIVISION 33 | | | GROVE ST QTY | GROVE ST COST | | | |
| 30 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) | LS LS | 401,992 115,000 | GROVE ST QTY | GROVE ST COST | 1 1 | 401,992 125,800 | 401,992 125,800 |
| 30 31 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) | LS | 401,992 | GROVE ST QTY | GROVE ST COST | 1 1 1 | 401,992 125,800 50,000 | 401,992 |
| 30 31 32 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) | LS LS LS | 401,992 115,000 | GROVE ST QTY | GROVE ST COST | 1 1 | 401,992 125,800 50,000 0 5,000 | 401,992 125,800 50,000 0 5,000 |
| 30 31 32 33 34 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines | LS LS LS | 401,992 115,000 50,000 0 5,000 54,368 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 | 401,992 125,800 50,000 0 5,000 54,368 |
| 30 31 32 33 34 35 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) | LS LS LS | 401,992 115,000 50,000 0 5,000 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 | 401,992 125,800 50,000 0 5,000 | 401,992 125,800 50,000 0 5,000 |
| 30 31 32 33 34 35 36 37 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) Lumen Fiber line (new/relocation/extension) | LS LS LS LS LS LS LS | 401,992 115,000 50,000 0 5,000 54,368 78,750 50,000 33,156 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 |
| 30 31 32 33 34 35 36 37 38 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) | LS LS LS LS LS LS | 401,992 115,000 50,000 0 5,000 54,368 78,750 50,000 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 |
| 30 31 32 33 34 35 36 37 38 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) Lumen Fiber line (new/relocation/extension) Sparklight Fiber line (new/relocation/extension) ACHD power box relocation | LS LS LS LS LS LS LS | 401,992 115,000 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 |
| 30 31 32 33 34 35 36 37 38 39 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) Lumen Fiber line (new/relocation/extension) Sparklight Fiber line (new/relocation/extension) ACHD power box relocation STREET: DIVISIONS 2, 31 and 32 Asphalt demolition | LS LS LS LS LS LS LS LS | 401,992 115,000 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 1 1 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 | 401,992 125,800 50,000 0 5,000 5,400 5,4368 78,750 50,000 33,156 44,000 0 0 |
| 30 31 32 33 34 35 36 37 38 39 | UTILITIES: DIVISION 33 Power line (new/relocation/extension) Water line (new/relocation/extension) Sewer line (new/relocation/extension) Geothermal Line (new/relocation/extension) Natural gas line (new/relocation/extension) Natural gas line (new/relocation/extension) Joint Trench and directional boring for fiber lines Zayo Fiber line (new/relocation/extension) Involta Fiber line (new/relocation/extension) Lumen Fiber line (new/relocation/extension) Sparklight Fiber line (new/relocation/extension) ACHD power box relocation STREET: DIVISIONS 2, 31 and 32 Asphalt demolition Road sub-base and prep | LS LS LS LS LS LS SF SF | 401,992 115,000 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 | GROVE ST QTY | GROVE ST COST | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 | 401,992 125,800 50,000 0 5,000 54,368 78,750 50,000 33,156 44,000 0 0 4,200 |
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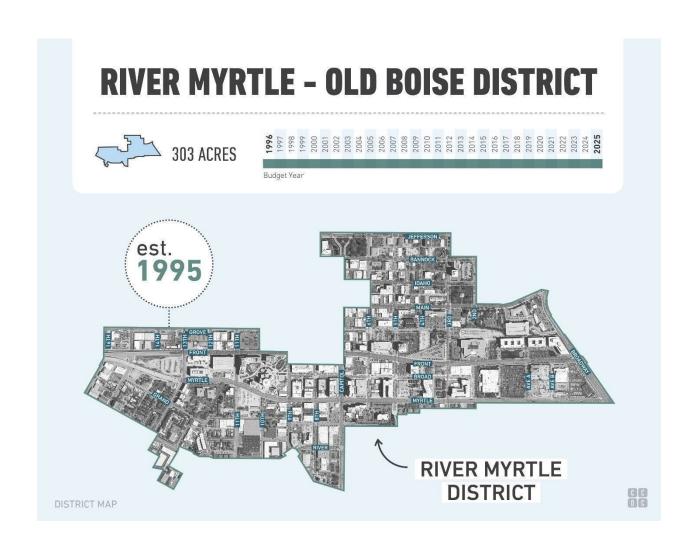
DATE: June 12, 2023

TO: Latonia Haney Keith, Chair

Board of Commissioners

FM: John Brunelle, Executive Director

RE: CCDC Monthly Report





Economic Development

150 S. 5th St. - CW Moore Park Improvements - PP Type 4
Partnership with Boise Parks: This partnership with Boise
Parks and Recreation will upgrade CW Moore Park. The Agency
is working with the Parks Department to help fund the
improvements, not to exceed \$200,000. The Board approved the
project in March for T4 Agreement Designation. Staff are
awaiting further information while the city reviews the project's
scope. Project Lead: Karl Woods

210 W. Main St. - US Assay Office Pathway & Landscaping - PP Type 1: Landscaping and historical improvements on the US Assay Office. The Board approved an agreement in August 2022, and the project is expected to be complete early this Summer. *Project Lead: Kassi Brown*

1201 W. Grove St. - The Broadstone Saratoga - PP Type 4: A 334 unit, mixed-use development with 377 parking spaces and ground floor retail. With \$100 million in total development costs, the Agency expects a \$1.9 million reimbursement for alley improvements, streetscapes, and utility work. The project coordinates overlapping public improvements with the Rebuild Linen Blocks on Grove Street capital project between 12th and 13th Streets. The Board designated the project for Type 4 Capital Improvement Project Coordination participation in August. The Agency will present a final agreement for Board approval in June. *Project Lead: Kevin Holmes*

200 N. 4th St. - ICCU Plaza - PP Type 2: BVA Development is constructing a 13-story commercial/office space tower, and an 11-story residential/multi-family tower. which includes 125

PARTICIPATION PROGRAM

Type 1: One-time assistance. Reimbursements up to \$200k for eligible expenses. Developer-matched.

Type 2: General assistance. Reimbursed by project-generated tax increment revenue. Scorecard dependent.

Type 3: Transformative Assistance. Large-scale or unproven projects. Often includes public parking. \$6 private to \$1 public minimum investment required.

Type 4: Capital Improvement Coordination. Most often used for public/public projects.

Type 5: Disposition of CCDC-owned property.

apartments and 150,000 square feet of Class A office space. The public improvements eligible for CCDC reimbursement include streetscapes along 4th, Main, and Bannock streets. Utility upgrades and expansion work includes upgrading and undergrounding power lines, new underground fiber, and the sewer expansion mainline. Total development costs are estimated at \$124 million, and Eligible Expenses at \$2.2 million. The project is requesting the use of Capital Improvement Plan funds dedicated to housing developments, which will be completed before the expiration of the RMOB District. The Board designated the project for Type 2 Participation in January 2023. The Agency is negotiating a final agreement for Board approval this summer. *Project Lead: Kevin Holmes*

1110 W. River St. - 11th & River - PP Type 2: deChase Miksis is constructing a six-story, mixed-use building with 126 residential units and 1,000 square feet of ground-floor retail. The project includes a workforce housing component, with 10 percent of the units proposed to be rent restricted and reserved for income-qualified residents. Public improvements submitted for CCDC reimbursement include streetscapes along 11th, River, and Ash streets and the reconstruction of a public alley. Submitted public utility work includes upgraded water lines, additional stormwater management infrastructure along the streets, and rerouting gas, sewer, and fiber lines out of the alley. Total Development Costs are estimated at \$50 million, and Eligible Expenses are \$1.1 million. The project is requesting the use of CIP funds dedicated to housing developments to be completed before the expiration of the RMOB District. The Board designated the project for Type 2 Participation in March. The Agency is negotiating a final agreement for Board approval this summer. *Project Lead: Kevin Holmes*

1011 W. Grove St. - Marriot AC/Element Hotel - PP Type 4: Pennbridge Lodging, a hotel developer and manager, is building a 15-story, dual-branded hotel with 296 rooms and ground-floor office space. The project has an estimated total development cost of \$100 million and has requested approximately \$1.1 million in reimbursement for streetscape and utility work. The project coordinates two overlapping capital projects, the Rebuild Linen Blocks on Grove Street between 10th and 11th Streets and Rebuild 11th Street Blocks between Grove and Front Streets. The Board designated the project for Type 4 Participation in



March. The Agency is negotiating a final agreement for Board approval this summer. *Project Lead: Kevin Holmes*

212 S. 16th St. - Fire Station #5 - PP Type 4: Partnership with City of Boise to assist with streetscape, alley and utility improvements associated with redevelopment of Fire Station #5. The Board designated the project on May 8. The Agency is anticipating bringing the final agreement to the Board on July 10. *Project Lead: Karl Woods*

Infrastructure

<u>"Rebuild 11th Street Blocks"</u> - Redevelopment of the 11th Street Corridor - State Street to Grove Street: This project combines the installation of bikeway infrastructure, streetscape improvements, ACHD-planned pavement rehabilitation, and stormwater infrastructure upgrades. A full report is located under the <u>Westside District</u>. *Project Lead: Amy Fimbel*

River Myrtle – Old Boise Closeout Inventory and Analysis: This project identified locations where streetscape infrastructure repairs or upgrades are needed to address minor deficiencies, deterioration, or hazards within the streetscapes of existing rights-of-way. CCDC contracted with Stack Rock Group to perform the district-wide assessment of current conditions and identify locations needing improvements. Sites identified through this effort will be prioritized to inform the programming of closeout project work prior to RMOB sunset. *Project Lead: Zach Piepmeyer*

3rd Street Streetscape Improvements, Front to Jefferson Streets: This project will make streetscape improvements and road intersection adjustments to 3rd Street and Main Street to improve safety and functionality of the rights-of-way for pedestrians, cyclists, and vehicles. The design will be coordinated with ACHD's Bannock Street Neighborhood Bikeway project. In May 2023, a competitive RFQ was released, with responses due on June 5. The design is anticipated to be completed in spring 2024 with construction to start later that year. *Project Lead: Karl Woods*

Mobility

5th & 6th Streets Two-Way Conversion: CCDC is assisting the City of Boise with this high-priority project to convert the two existing one-way corridors to two-way vehicle travel. ACHD previously conducted feasibility studies, performed a concept analysis, and initiated final design work before putting the project on hold in early 2019. CCDC will assist the City by managing the remainder of the Final Design, Agency approval, and construction processes. In December 2022, CCDC entered an Interagency Cost Share Agreement with ACHD to complete the design and outreach of the project. The Board approved Task Order 19-005 for preliminary and final design at the January 2023 Board Meeting. The Design Team is currently conducting topographic surveys, assessing stormwater facilities and ADA compliance of pedestrian facilities, and performing traffic analyses. Staff anticipates that the final construction documents will be complete midway through FY2024. At that time, an additional Interagency Cost Share Agreement with ACHD will be negotiated, and the project will be bid for construction. Recent passage of House Bill 25 requires additional project approvals through the State of Idaho for this project as it will impact 6th Street (Jefferson to State) for more than 7 days. *Project Lead: Zach Piepmeyer*

South 5th & Myrtle Streets - Signalized Crossing: This project anticipates installing a traffic signal on Myrtle Street at the 5th Street intersection to provide a safe crossing between Julia Davis Park and the Central Addition and to extend the signal-coordinated traffic calming of Myrtle Street. CCDC will incorporate traffic signal improvements in the 5th & 6th Two-Way Conversion project listed above. *Project Lead: Zach Piepmeyer*

Place Making

Grove Street Old Boise Blocks - Multi-Block Improvement Project: CCDC conducted an inclusive, community-driven visioning process to develop a place-making strategy for this site. The process began in June 2020 with a series of stakeholder visioning meetings to create a community-supported vision for the area. The public had multiple opportunities to engage in the visioning process through the summer and fall of 2020. The Agency presented the visioning documents to the Board at its December 14, 2020, meeting. The Agency selected Jensen Belts Associates as the Landscape Architect of Record for the project in



February. The Board approved the ranking of Guho Corp. as the selected Construction Manager/General Contractor (CM/GC) for the project at the April Board meeting. Stakeholder meetings are complete, and the project was presented to the City Council in July 2021. CCDC received a draft memo from the City, which proposed tasks and a road map to gain design review approval for the project. CCDC has responded to the memo.

CCDC submitted a DR package for review on March 4 and met with the City on April 11 to discuss the submittal. CCDC received a letter regarding the submittal on April 15 and had a follow-up meeting with the City on April 25. CCDC revised and resubmitted the drawings on June 10, 2022. CCDC has worked with the City and ACHD to gain approval for a city-directed curbless street design. CCDC has completed construction documents. The construction documents were submitted to ACHD and City of Boise on March 15 for permit review. *Project Lead: Karl Woods*

<u>Linen Blocks – West Grove Street Improvements:</u> This project will catalyze infrastructure improvements on Grove Street between 10th and 16th Streets. CCDC conducted an inclusive, community-driven visioning process for the project from September 2020 to June 2021. The process included a series of stakeholder visioning meetings and public surveys and resulted in a final visioning document. GGLO started design in July 2021 and submitted draft final design plans to ACHD and the City of Boise in September 2022. The Board approved Guho Corp. as the selected CM/GC for the project at the October 2021 Board Meeting. Guho started construction of the full improvements in June 2023. *Project Lead: Amy Fimbel*

Boise Canal Multi-Use Pathway - 3rd Street to Broadway: As identified in the 2022 City of Boise Pathway Master Plan and the 2020 Old Boise Blocks Visioning Report, this project anticipates constructing a non-motorized, multi-use pathway generally aligned with the Grove Street corridor, connecting 3rd Street to Broadway Avenue at the recently installed enhanced pedestrian crossing to Dona Larsen Park. Because no continuous public right-of-way exists within which to construct the pathway, close coordination and cooperation with property owners will be essential. CCDC selected The Land Group to assist with design and construction administration services through a competitive RFQ process. The consultant has completed a topographic survey of the project area and is currently working on preliminary alternative pathway designs and coordinating proposed improvements with the Boise City Canal Company and adjacent property owners. *Project Lead: Zach Piepmeyer*

<u>Fulton Street Improvements - 9th Street to Capitol Boulevard</u>: This project includes streetscape enhancements on Fulton Street between 9th Street and Capitol Boulevard. Improvements include widened sidewalks, expanded tree canopies, fiber optic upgrades and full right-of-way repaving. Idaho Site Works, LLC will begin construction in June. *Project Lead: Kassi Brown*

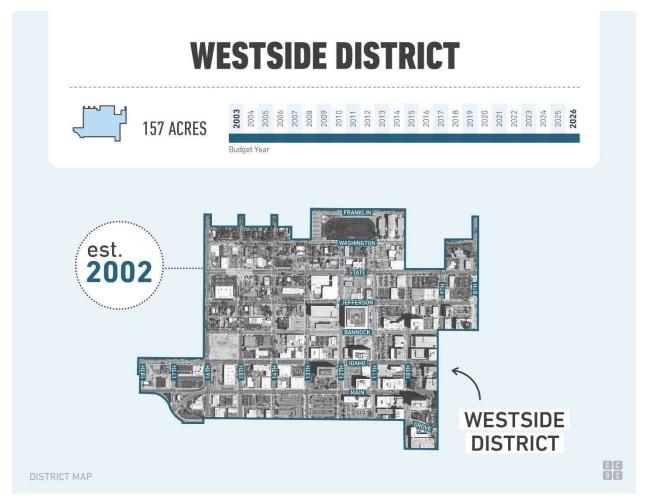
521 W. Grove St. - Public Space

This project will develop an Agency-owned parcel at 521 W. Grove St. into a public space that celebrates the neighborhood's multicultural history, provides additional event space to support street festivals on the adjacent Basque Block, and catalyzes placemaking with adjacent private investment and overall neighborhood investment strategy. This project is in collaboration with Boise Parks Department, which will assume ownership, operation, and maintenance. A Design Team was selected through an RFQ process. Staff received Board approval for the selection of the Design Team in October. A CMGC was selected through an RFQ process, and the selection was approved by the Board in December. Staff issued a public programming survey for the project on January 9. The survey closed on January 25, and the results were analyzed to prepare concepts for the design alternatives public open house which occurred on April 6 to gather feedback on the designs. The feedback is being analyzed to prepare a preferred design which will be revealed in June. *Project Lead: Karl Woods*

Special Projects

RMOB Public Art - City of Boise Broad Street Sculpture - PP Type 4: The Arts & History Commission approved the design in October 2020. CCDC supported the project through funding and involvement in the selection process. Fabrication of the sculpture is complete, and Arts & History has decided to store the sculpture until the completion of the Ovation Apartment construction to avoid potential damage to the sculpture. *Project Lead: Karl Woods*





Economic Development

9th and Bannock Streets Intersection Geothermal Repairs - Type 4 Partnership with Boise City: This partnership with the City of Boise will provide upgrades to its geothermal system adjacent to the intersection of 9th & Bannock Streets. The Agency is working with Public Works Engineering to help fund the geothermal upgrade costs, not to exceed \$250,000. The Board approved the T4 Agreement on February 14, 2022. The project is complete. *Project Lead: Karl Woods*

1721 W. Idaho St. - The Martha - Agency-Owned Property: The Agency negotiated a Disposition and Development Agreement (DDA) with SMR Development LLC as approved at its July 12, 2021, Board Meeting. In accordance with the terms of the Agreement, the sale of the property closed on October 15, 2021. The Developer worked with Surel's Place to select artist Laurel Rau to create the building's mural, whose concept was approved by the Board on August 8, 2022. The project was completed in February 2023 and is actively leasing. The Agency has issued reimbursement for public improvements, soil remediation, and the land value discount as described in the DDA, and the project's lease up is going well. The City of Boise has agreed to monitor compliance of the Agency's Affordability Covenant as the City's Housing and Community Development department has expertise in compliance monitoring and will be monitoring compliance on its own Affordability Covenant with The Martha for its use of the Housing Bonus Ordinance. *Project Lead: Alexandra Monjar*

Block 68 Catalytic Redevelopment Project: At its December 2021 meeting, the Board selected Edlen & Company's proposal for the disposition of Agency owned property at 1010 W. Jefferson Street and 421 N. 10th Street through a competitive Request for Proposals ("RFP") process. The proposal included a land exchange with the YMCA of Agency-owned property at 421 N 10th St for the YMCA's property on Block 69 N, which Amended and Restated Land Exchange was executed in October 2022 as well as the. The Disposition and Development Agreement ("DDA") for the Workforce Housing Project on Block 69 North for



which the exchange is necessary. The Board approved the Block 68 South DDA for disposition of 1010 W Jefferson St and the development of a Mixed Use Residential and Mobility Hub Project at its December 2022 meeting. The Developer submitted Schematic Design Documentation for both projects to the Agency on April 28, 2023, on which the Agency provided an update on to the Board at its May meeting. The Board established a Project Review Committee to assist the agency in analyzing requests for revised assistance and deadline extensions that accompanied these design submissions. This committee, Agency staff, and the Agency's consultant SB Friedman are reviewing these requests and expect to bring a recommendation for response to the Board this summer. In June, the Agency plans to recommend approval of the Schematic Design Documentation for the Block 69 North project. *Project Lead: Alexandra Monjar*

1010 W. Jefferson St. - 10Ten Building - Agency Owned Property: McAlvain Construction Companies utilizes 60 parking spaces for staging items for Rebuild 11th Street Blocks, as well as a small office space on the second floor for a construction field office. All leases are now expired as of May 31, 2023, and the building is now vacant. The building signs will be updated to show there are no tenants. The Car Park will convert the lot to \$5 public parking, add signage, and a payment system through ParkMobile. No significant maintenance items to report. *Project Lead: Amy Fimbel/ Aaron Nelson*

1700 W. Main St. - Rock Hard Granite Renovation - PP Type 1: Approval of the final Agreement for this commercial building renovation occurred in February and demolition has begun. Unexpected environmental remediation has slowed progress, though work continues and is expected to be completed within 2023. *Project Lead: Kevin Holmes*

1110 W. Grove St. - Renegade Hotel - PP Type 4: The Agency continues its coordination with Hendricks Commercial Properties on the streetscape and infrastructure improvements as part of the Linen Blocks on Grove Street and Rebuild 11th Street Blocks projects with the planned development of this 7-story, 122-key boutique hotel. The Board designated the project for Type 4 Capital Improvement Project Coordination participation in May, and its Type 4 Agreement was approved by the Board in September 2022. An amendment to the agreement was executed in May 2023 coordinating construction involving Hendricks' placement of a geothermal snowmelt system in the sidewalk. This amendment does not impact the project's estimated expenses eligible for reimbursement. *Project Lead: Alexandra Monjar*

<u>1015 Main St. - Smith Block Building - PP Type 1:</u> This restoration project includes extensive facade renovation work sensitive to the historic nature of the building. The first-floor retail space will be renovated with the exterior of the building into a new bar, including replacing windows, historically accurate awnings, and new storefront display windows and entry doors. The Board approved the final Type 1 Agreement at its January 11, 2023, meeting, and construction is underway. *Project Lead: Kassi Brown*

1522 W. State St. - 16th & State - PP Type 2: Developer Johnson & Carr is constructing a seven-story mixed-use building with 104 residential units and 1,600 square feet of ground-floor retail on the site of an old gas station. The project includes workforce housing with 10 percent of the units reserved for rent-restricted, income-qualified residents. Public improvements eligible for CCDC reimbursement include streetscapes along 16th and State Streets. Utility upgrades include water line relocations and stormwater management infrastructure. Total Development Costs are estimated at \$25 million, and Eligible Expenses at \$657,655. The project is requesting the use of CIP funds dedicated to housing developments which are to be completed before the expiration of the Westside District. The Board approved the final agreement in March and construction is anticipated to begin this summer. *Project Lead: Kevin Holmes*

120 N. 12th St. - 12th & Idaho - PP Type 2: The Board designated this 26-story mixed-use development on the corner of 12th and Idaho Street(s) at its January 2023 meeting. The Agency is requesting Board approval of a Type 2 General Assistance agreement with 12th and Idaho Owner LLC, a joint venture between White Oak Realty Partners, Ponsky Capital Partners, and Oppenheimer Development Corp. in June. *Project Lead: Alexandra Monjar*

Infrastructure

"Rebuild 11th Street Blocks" - Redevelopment of the 11th Street Corridor - State Street to Grove

Street: This project combines the installation of bikeway infrastructure with streetscape improvements to realize plans by the City and ACHD for 11th Street as a corridor that prioritizes cyclists, pedestrians, retail business, and residents while accommodating existing vehicular use. The project spans two URDs, with the improvements extending into RMOB with the continuation from Grove Street to River Street. ACHD's bikeway facility improvements for 11th Street from Heron Street to State Street are under construction and



are anticipated to be complete by the end of summer 2023. To maximize public investment, the Agency entered into an Interagency Agreement with ACHD to include in the project scope ACHD's planned pavement rehabilitation, stormwater upgrades, and the replacement of the underground Boise City Canal Bridge crossing on 11th Street. Jensen Belts Associates lead the design effort, and McAlvain Construction Companies is the Construction Manager/General Contractor (CM/GC). Construction started in June 2022. *Project Lead: Amy Fimbel*

State Street Streetscape & Fiber-Optic Conduit: This is a cost-share project with an ACHD Downtown Boise Implementation Program (DBIP) project to rehabilitate State Street between 2nd & 16th Streets. CCDC-funded improvements include the installation of a fiber-optic conduit bank between 8th and 15th Streets and streetscape improvements between 12th and 14th Streets. Streetscape components include wider sidewalks, street trees, furnishing zones, and suspended pavement systems (Silva cells) for tree root growth and stormwater retention. The project also anticipates green stormwater infrastructure features in the form of bioretention planters and a landscaped median at select locations throughout the project area. CCDC anticipates a Type 4 participation agreement with the City of Boise for landscaping within the bioretention planters and potential landscaped median features between 12th and 14th Streets. ACHD bid on this project in August but rejected all bids due to high pricing. ACHD re-bid the project in January 2023, and bids were again rejected. The ACHD Commission has asked its design team to re-examine the western portion of the project design from 8th to 14th Street for ways to improve safety for bike and pedestrian modes. Agency continues to coordinate with ACHD, and development teams associated with YMCA and Block 68/69. *Project Lead: Zach Piepmeyer*

Bannock Street Streetscape Improvements, 12th to 16th Streets: This project will make streetscape improvements on both sides of Bannock St. between 12th and 16th Streets to improve pedestrian connectivity from the West Downtown neighborhood into downtown. The design will be coordinated with ACHD's Bannock Street Neighborhood Bikeway project. In March 2023, a competitive RFQ process resulted in CCDC selecting CSHQA as the project's design professional. The design is anticipated to be completed in spring 2024 with construction to start later that same year. *Project Lead: Amy Fimbel*

Mobility

8th Street Improvements, State to Franklin Streets: This project will improve mobility and safety between the North End Neighborhood and Boise State University. The proposed 8th Street bike facilities will connect to a future east west ACHD Franklin Street Bikeway, and ACHD is leading a companion project to extend 8th Street bike facility improvements north of Franklin Street to Union Street. The CCDC project proposes undergrounding overhead power and telecommunication lines as well as streetscape and transit improvements along the frontage of several properties. The ACHD Commission adopted a modified Concept A as the preferred alternative for the CCDC section (State to Franklin) and for the ACHD section of the project (Franklin to Union). The Board approved Task Order 19-006 for final design services with Kittelson & Associates at its March 2023 Meeting and final design work is underway. Design Review submittal to the city anticipated in early June 2023 with Final Design anticipated to be complete in early 2024. Construction to begin spring 2024. CCDC anticipates use of the Construction Manager/General Contractor (CM/GC) model for construction of the project. *Project Lead: Zach Piepmeyer*





Economic Development

2724 W. Fairview Ave. - The Avens - PP Type 2: A development from Roundhouse to build 189 apartments with Passive House certification, ground floor commercial/retail space, and an extension of North 28th Street connecting Main Street and Fairview Avenue. Future phases could add more apartments and commercial space. Construction is anticipated to begin this spring/summer. The Board designated the project for Type 2 General Assistance participation in September. The project is currently on hold as the developer navigates a complicated market environment. *Project Lead: Kevin Holmes*

2618 W. Fairview Ave. - LOCAL Fairview - PP Type 2: Subtext is constructing this seven-story 271-unit, mixed-use project. The development will have approximately 8,500 square feet of ground floor commercial and the existing Capri Restaurant on site to be retained and incorporated into the design. The public improvements eligible for CCDC reimbursement include streetscapes along Fairview Avenue and 27th Street. Utility upgrades and expansion work includes upgrading and undergrounding power, new underground fiber and phone lines, and the expansion of the sewer mainline. Total Development Costs are estimated at \$81 million, and Eligible Expenses at \$1.2 million. The Board approved a final agreement in April and construction is anticipated to begin this summer. *Project Lead: Kevin Holmes*



2216 W. Fairview Ave. - New Path 2 - PP Type 3: New Path 2 is a permanent supportive housing development comprised of 96 multi-family units and space for ancillary support services. This project is being developed by Pacific West Communities, Inc. with Low-Income Housing Tax Credits (LIHTC) and support from the city. This development will provide affordable housing for individuals and couples who are homeless or facing homelessness and earning less than 60% of the area median income for Ada County, though residents will likely be earning substantially below this. There is an estimated \$250,000 in eligible expenses for streetscape and public utility upgrades. The Board designated the project for Type 3 Transformative Assistance participation in May. The Agency plans to bring a final agreement to the Board in late summer. *Project Lead: Kevin Holmes*

Infrastructure

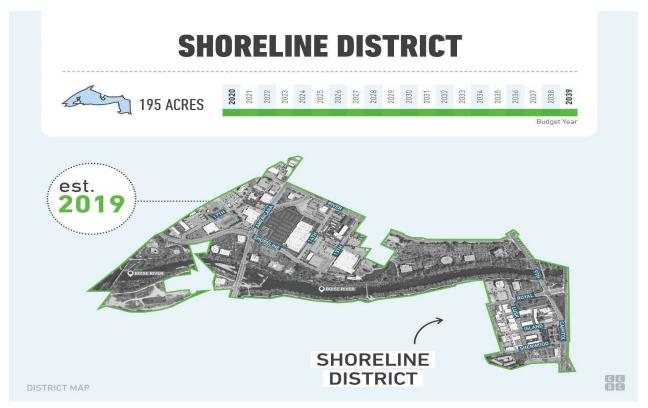
West End Water Renewal Infrastructure- PP Type 4: The City of Boise is undertaking the construction of a new lift station and pressure discharge pipe needed to serve multiple incoming mixed-use developments in the 27th Street and Fairview Avenue area. These improvements will provide the backbone to replace miles of substandard gravity sewer lines as further development happens at the western end of the 30th Street District. The city has requested a 50/50 cost share for funding this important project and CCDC has committed approximately \$1.6 million. The Board approved the final agreement in April and construction has already begun on the lift station site. *Project Lead: Kevin Holmes*

Mobility

2525 W. Fairview St. - St. Luke's Transit Station - PP Type 4: The construction of St. Luke's project at 27th Street and Fairview Avenue overlaps with CCDC's Main and Fairview Transit Station at the intersection, and the Board approved a Type 4 Participation Agreement to subcontract for the construction of this platform in March 2022. Construction of the transit station is nearing completion. *Project Lead: Alexandra Monjar*

101 S. 27th St. - KDP Corporate Headquarters - PP Type 1: The Agency received an application from West End Holdings, LLC requesting One-Time assistance for streetscape improvements along the frontage of their newly renovated building at the corner of 27th and Main Streets. Public improvements eligible for CCDC reimbursement include streetlights, trees, and irrigation systems. A new 8-foot-wide concrete sidewalk will provide the missing link for continuous pedestrian access along Main Street. The Board approved the final agreement at the April 10, 2023, meeting and construction of these improvements is anticipated to begin this Summer. *Project Lead: Kassi Brown*



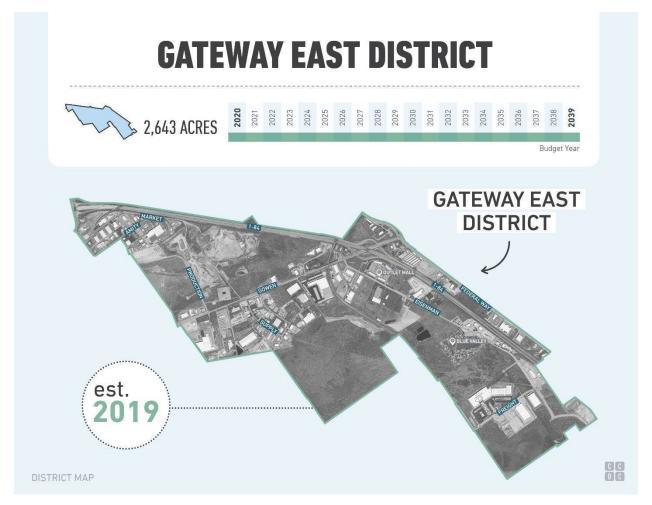


Economic Development

17th Street Interim Streetscape Improvements, Shoreline Drive to Cul-de-Sac: Pedestrian improvements to address the current gaps in the sidewalk and install additional overhead lighting on 17th Street between Shoreline Drive and the east end of 17th Street (cul-de-sac). The goal of this effort is to improve safety and mobility within the public right-of-way on 17th Street. Final plans were submitted to ACHD for approval on March 3, 2023. Project Lead: Kassi Brown

818 W. Ann Morrison Park Dr. - Capitol Student Housing - PP Type 2: The Gardner Company is constructing a new five-story mixed-use residential building with 91 units (278 BR) and ground-floor commercial space with associated site improvements. Public improvements eligible for CCDC reimbursement include streetscapes along Ann Morrison Park Drive, Lusk Street, and Sherwood Street. Utility upgrades and expansion work includes upgrading and undergrounding power, new underground fiber, and the expansion of the sewer and water mainlines. Total Development Costs estimated at \$44 million, and Eligible Expenses at \$600,000. The Board approved an agreement in January, and work is underway with a target completion date of June 2024. *Project Lead: Kevin Holmes*





Economic Development

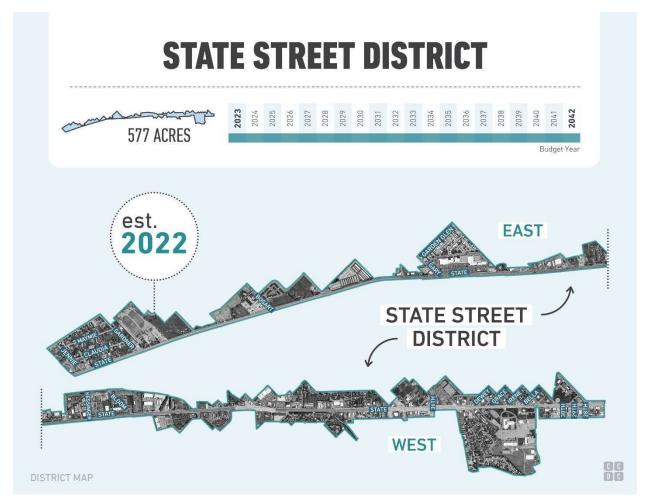
951 E. Gowen Rd. - Red River Logistics and Commerce Centers - PP Type 2: The Board approved this Agreement at its February meeting to participate in the extension and public dedication of Production Street and associated utility and streetscape improvements. This street extension is included in the Gateway East District Plan and will open opportunities for additional development on adjacent vacant parcels. Construction is underway. *Project Lead: Kevin Holmes*

2500 W. Freight St. - Boise Gateway 3 - PP Type 2: In December 2022, the Board designated this Boyer Company project to receive Type 2 Participation to assist with utility and roadway improvements. The project is a 185,000 square foot speculative warehouse building designed to accommodate up to four tenants on a lot bound by Eisenman Road, Winco Court, and Freight Street. The Agency expects to request the Board's approval of a final agreement in Summer 2023. *Project Lead: Alexandra Monjar*

Mobility

Eisenman Road Interim Improvements, Blue Sage Lane to Blue Valley Lane: Construct a five-foot-wide asphalt pathway along the frontage of the Blue Valley Estates Mobile Home Park with a new retaining wall at Five Mile Creek. Coordination of the final design is in progress, and the formal bid process is anticipated for Summer 2023. *Project Lead: Kassi Brown*





New District – State Street: The State Street Plan to promote compact, mixed-use, mixed-income, neighborhood-oriented development supportive of and supported by transit and other alternative transportation along the State Street corridor, established on October 26, 2021. The State Street District has a base valuation date of January 1, 2021; a District sunset date of December 31, 2041; and tax increment revenue to the district terminating by September 30, 2042. Agency and ACHD staff have negotiated an interagency agreement as required by recent legislation to receive increment revenue on the highway district levy. Under the Agreement, the Agency will receive this increment (approximately \$5 million over the 20-year term of the district) and commit it exclusively to transportation components identified in the ACHD Cost Share Policy. The Agency Board and ACHD Commission approved the Agreement, and legal counsel transmitted it to the State Tax Commission in July, ahead of the September 1 deadline. *Project Lead: Zach Piepmeyer*

3912 W. State St. - State & Arthur Apartments - PP Type 3: The State and Arthur Apartments is a mixed-use affordable housing development comprised of 102 multi-family units and ground floor commercial space. This project is being developed by Pacific West Communities, Inc. with Low-Income Housing Tax Credits (LIHTC) and through the City of Boise's Housing Land Trust program. This unique model allows the developer to enter into a below market long-term lease with the City of Boise, which owns the underlying land. With this financial structure the project can maintain affordable rental rates for residents earning 30 to 80 percent of the area median income (AMI). There are an estimated \$925,000 in eligible expenses for streetscape and public utility upgrades. The Board designated the project for Type 3 Transformative Assistance in April. The Agency plans to present a final agreement for Board approval this summer.



AGENCY WIDE - ALL DISTRICTS

Parking & Mobility

421 N. 10th St. Property: The Agency initiated its vision to transform Block 68 and nearby parcels in its Westside District by acquiring this property in early 2018. The property includes an aging commercial building and small surface lot, which The Agency has converted to a public parking opportunity at the low rate of \$5 per day. The Car Park manages the lot and has added signage and a payment system through ParkMobile. Agency is improving the lighting in the lot. DBA will be alerting downtown service workers to this inexpensive parking option. This property is currently subject to a land exchange agreement with the Treasure Valley YMCA. *Project Lead: Aaron Nelson*

9th & Main Garage: Twenty-one stairwell lights will be replaced in both stairwells at the 9th & Main garage. The existing lights do not provide sufficient lighting and need upgrading. The lights will also move to an above-head position to protect from vandalism and provide better light for the stairs and landings and provide better visibility to all customers. The work will be performed by Quality Electric and the lights are on order and will be installed in June. Project cost is \$14,920. Project Lead: Aaron Nelson

City GO: Formerly known as the Downtown Mobility Collaborative, downtown Boise's Transportation Management Association is up and running. This partnership of Valley Regional Transit, the City of Boise, ACHD Commuteride, Boise State University, St Luke's Hospital, Downtown Boise Association, and CCDC involves marketing its transportation products and services to the downtown community. The CCDC Board approved a renewed Memorandum of Understanding for City Go at its October 2020 meeting. In response to a request from VRT, the Agency has included a \$60,000 contribution to City Go in the proposed FY2023 budget for CCDC. An overview is located at citygoboise.com. City Go recently appointed a new Mobility Integration Director, Duane Wakan, to replace the former Director. *Project Lead: Zach Piepmeyer*

10th & Front Garage Structural Concrete Repairs - Phase 2: The Agency received board approval at the December meeting to award the contract to Consurco, the lowest bidder on this project. The scope of work consists of partial depth repairs on level four across the entire length of the beams, removal/replacement of concrete, installation of anodes, and the removal and replacement of any damaged rebar with epoxy-coated rebar. The Agency's budget includes sufficient funds and will start in April 2023. The contract amount is \$790,997. *Project Lead: Aaron Nelson*

10th & Front Garage Waterproofing Repairs Phase 2

The Agency has sent out an invitation to bid for this project published on May 31, 2023. Bids are due June 22, 2023, at 3pm. The project consists of applying membrane to all repair areas on level 4 of the garage for added protection to prevent corrosion to the concrete and repair structures. This project will follow immediately after the repairs are completed by Consurco.



Condominium Associations

| Building Eight Condominiums Association CCDC Contact: Aaron Nelson | | | | |
|--|---|-------------------|--|--|
| Member | Unit | Percent Interest | | |
| CCDC | Capitol & Myrtle Parking Garage (Unit 2) | 35% | | |
| Raymond Management | Hampton Inn & Suites (Unit 1) | 62.5% | | |
| Hendricks | Retail Units (Units 3 & 4) | 2.5% | | |
| | Condo Board Meetings | | | |
| Last Meeting | Next Meeting | Next Report Due | | |
| December 14, 2022 | December 2023 | December 31, 2023 | | |
| Issues/Comments: | A meeting was held, and the main topic of discussion was to update procedure in the event of another insurance claim. Power was lost to the Hotel due to an electrical issue; it has since been repaired. | | | |

| | Front Street Condominium Association CCDC Contact: Aaron Nelson | on |
|---------------------|---|-------------------|
| Member | Unit | Percent Interest |
| CCDC | 9 th & Front Parking Garage | 25.76% |
| GBAD | | 2.00% |
| Aspen Condominiums | Aspen Lofts | 52.17% |
| Hendricks | BoDo Retail Units | 20.07% |
| | Condo Board Meetings | |
| Last Meeting/Report | Next Meeting | Next Report Due |
| September 20, 2022 | TBD | November 30, 2023 |
| Issues/Comments: | | |

| U.S. Bank Plaza Condominium Association CCDC Contact: Zach Piepmeyer | | | | | |
|--|---|------------------|--|--|--|
| Member | Unit | Percent Interest | | | |
| LN City Center Plaza/ Clearwater Analytics | A, 1A, 1B, 1C, 1H, 1K, 1L, 2C, 3C, 5A, 6A, 7A, 8A, 9A | 77.372% | | | |
| CCDC | 1F, 1G, 1J, 2B, 4B, 5B | 6.861% | | | |



| GBAD | 4A | 3.040% |
|----------------------------------|----------------------|------------------------------|
| Boise State University | 1D, 1E, 2A, 3A, 3B | 6.131% |
| Valley Regional Transit | B1, B2, B3 | 6.429% |
| Sawtooth Investment Mgmt. | 10A | 0.167% |
| | Condo Board Meetings | |
| | Condo Board Weetings | |
| Last Meeting/Report | Next Meeting | Next Report Due |
| Last Meeting/Report October 2022 | | Next Report Due August 2023 |

| Capitol Terrace Condominium Association CCDC Contact: Aaron Nelson | | | | | |
|--|-------------------------------|------------------|--|--|--|
| Member | Unit | Percent Interest | | | |
| CCDC | Capitol & Main Parking Garage | 50% | | | |
| Hawkins Companies | Main + Marketplace | 50% | | | |
| | Condo Board Meetings | | | | |
| Last Meeting/Report | Next Meeting | Next Report Due | | | |
| October 25, 2022 | TBD | October, 2023 | | | |
| Issues/Comments: | | | | | |

| Downtown Parking Condominiums Association CCDC Contact: Aaron Nelson | | | | | |
|--|---------------------------------------|--------------------|--|--|--|
| Member | Unit | Percent Interest | | | |
| CCDC | 9 th & Main Parking Garage | 93.51% | | | |
| Les Bois Holdings, LLC | Commercial, Main Street side | 2.03% | | | |
| Eastman Building, LLC | Commercial, Idaho Street side | 4.46% | | | |
| | Condo Board Meetings | | | | |
| Last Meeting/Report | Next Meeting | Next Report Due | | | |
| September 28, 2022 | TBD | September 30, 2023 | | | |
| Issues/Comments: | | | | | |



| ACME Fast Freight Condominium Association CCDC Contact: Zach Piepmeyer | | |
|--|--|------------------|
| Member | Unit | Percent Interest |
| CCDC | 11th & Front Parking Garage, 30.1% (Units 402, 403, 501, 502) | 28.485% |
| Ball Ventures Ahlquist | 11th & Front Parking Garage, 69.9% (Units 104, 015, 201, 202, 301, 302, 401) | 66.490% |
| Boise Metro Chamber | Boise Chamber Offices (Units 101, 102, 203) | 5.025% |
| Condo Board Meetings | | |
| Last Meeting/Report | Next Meeting | Next Report Due |
| January 3, 2022 | TBD | TBD |
| Issues/Comments: | | |

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V. ADJOURN



END