



Professional Seals

Key Plan

NOT FOR CONSTRUCTION

	Description	Date
Project No:	25-004	
	No:	
PFF Project		
Drawn By:		
KPFF Project Drawn By: Checked By: Date:	07.23.2025	
Drawn By: Checked By:	07.23.2025 50% SCHEMATIC DESIGN	

Original is 42 x 30. Do not scale contents of this drawing. Sheet Number

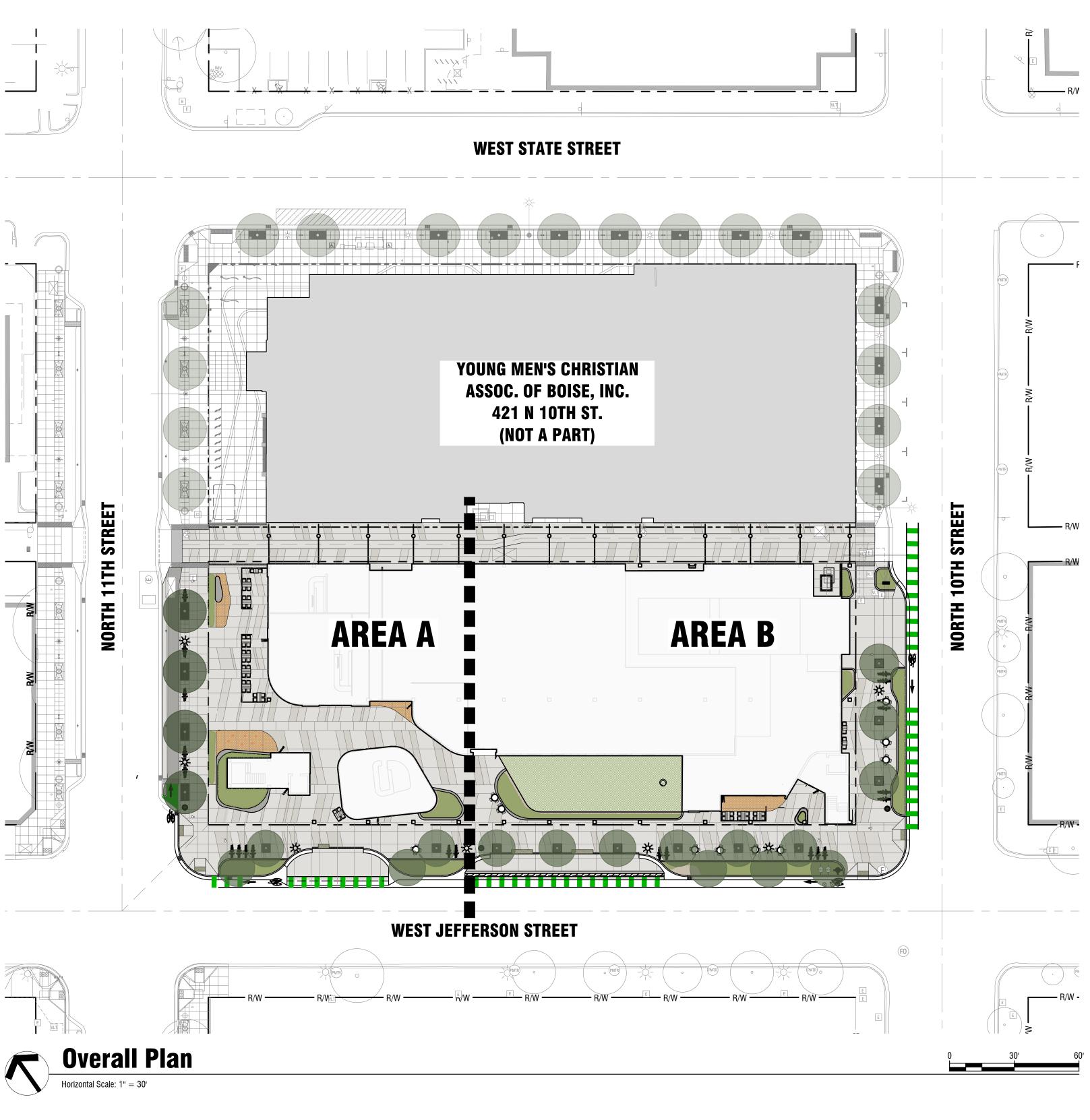
CAPITAL CITY DEVELOPMENT CORPORATION 1010 W JEFFERSON COMMERCIAL SPACE AND PARKING FACILITY 1010 W JEFFERSON ST, BOISE, ID 83702

Property Owner:

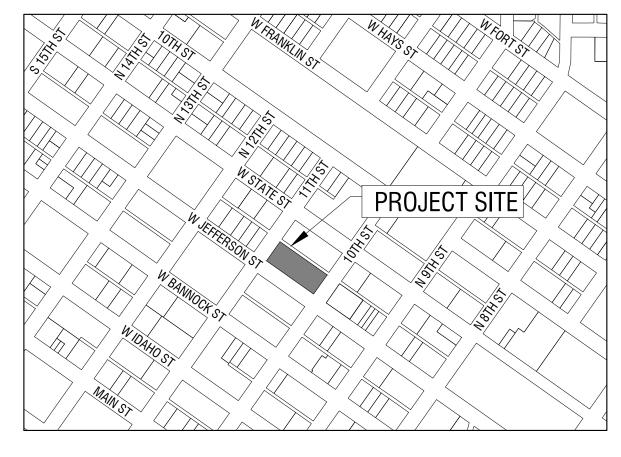
CAPITAL CITY DEVELOPMENT CORPORATION 121 N 9TH STREET, STE 501 BOISE, ID 83702

Engineer, Landscape Architect, Surveyor:

THE LAND GROUP, INC. CONTACT: BOB SCHAFER (LANDSCAPE ARCHITECT) CONTACT: JASON DENSMER (CIVIL ENGINEER) CONTACT: MICHAEL FEMENIA (SURVEYOR) 462 E. SHORE DR., SUITE 100 EAGLE, ID 83616 PH: 208.939.4041



Vicinity Map:



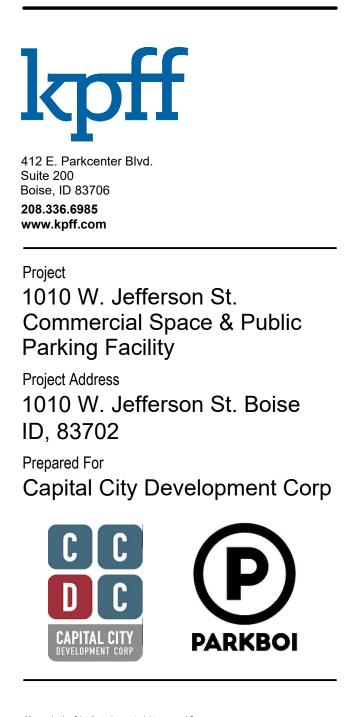
Project Details:

ASSESSOR'S PARCEL: ZONING	R1013004558 MX-5
ADDRESS:	1010 W. JEFFERSON STREET, BOISE
Sheet Inde	X
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS PLAN - AREA A
C1.01	EXISTING CONDITIONS PLAN - AREA B
C2.00	SITE PLAN - AREA A
C2.01	SITE PLAN - AREA B
C2.50	SITE DETAILS
C5.00	DRAINAGE AND UTILITY PLAN - AREA A
C5.01	DRAINAGE AND UTILITY PLAN - AREA B

LANDSCPE PLAN - AREA A

LANDSCPE PLAN - AREA B

L1.00 L1.01



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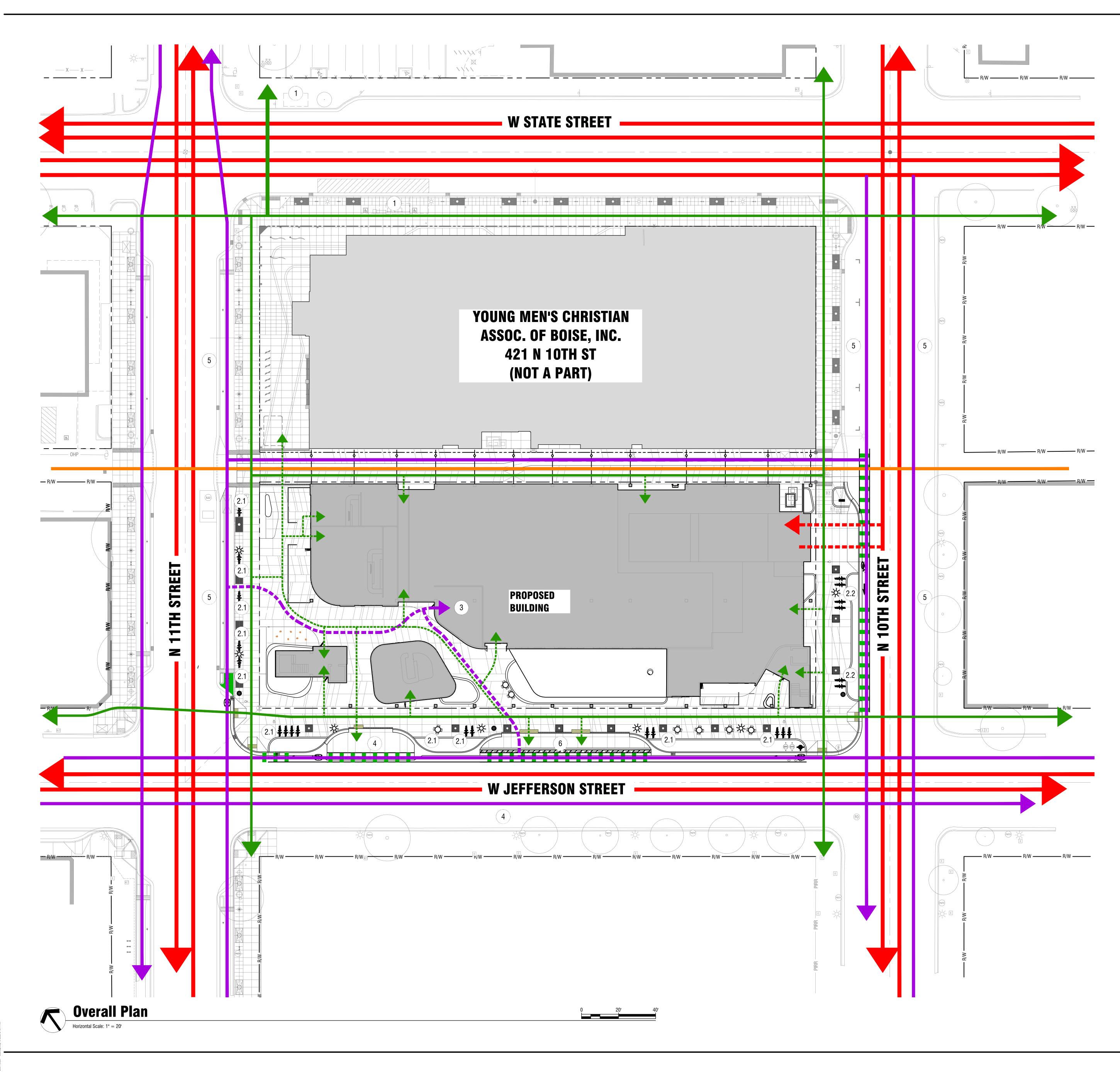
NOT FOR CONSTRUCTION No. Description

Project No: 25-004 KPFF Project No: 10212400187 DRW Drawn By: Checked By: CHK 07/02/2025 Phase: Sheet Title

DESIGN REVIEW **Cover Sheet**

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Mobility Legend

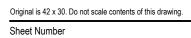
Keynotes:	CALLOUT NUMBERS COORDINATED # TO NUMBERED NOTES BELOW.
	PEDESTRIAN CIRCULATION - ONSITE MIN. 7.5' WIDE
	PEDESTRIAN CIRCULATION - PUBLIC MIN. 8.5' WIDE
	Bike Circulation - Onsite, "Walk your wheels zone" Min. 7.5' wide
	BIKE CIRCULATION - DEDICATED PUBLIC BIKE LANE MIN. 5' WIDE
	VEHICULAR CIRCULATION - LIMITED ALLEY SERVICES AND EMERGENCY VEHICLES MIN. 16' WIDE
	VEHICULAR CIRCULATION - ONSITE \sim 13' WIDE
	VEHICULAR CIRCULATION - PUBLIC MIN. 11' WIDE

1. EXISTING OR FUTURE BUS STOP. 2. BIKE PARKING - SHORT TERM. BIKE RACK PER DOWNTOWN BOISE STREETSCAPE STANDARD. FOR MORE INFORMATION SEE SITE PLAN AND DETAILS C2.00-C2.50. 2.1. STANDARD BIKE PARKING. IN MOST INSTANCES, THE END SPACE ON MOST BIKE RACK GROUPS MEET THE DIMENSIONAL STANDARDS FOR CARGO BIKE

PARKING. 2.2. CARGO BIKE PARKING.

3. BIKE PARKING - LONG TERM. REFER TO ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.

4. ADA PARKING SPACE PER PROWAG STANDARDS. 5. ON-STREET PARKING. 6. LOADING ZONE.



DESIGN REVIEW Mobility Plan

C0.50

Project No: 25-004 KPFF Project No: 10212400187

Checked By: CHK

Drawn By:

Phase:

Sheet Title

DRW

07/02/2025

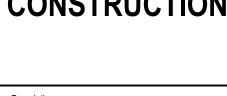
No. Description

Professional Seals

Kev Plan

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116 S 6th St, Boise, ID 83702 (208) 690-3108 pivotnorth 420 S Orchard St, #1238 Boise, ID 83705 (208) 343-3663 CATOR RUMA & ASSOCIATES, CO.



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412 E. Parkcenter Blvd. Suite 200 Boise, ID 83706

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CAPITAL CIT

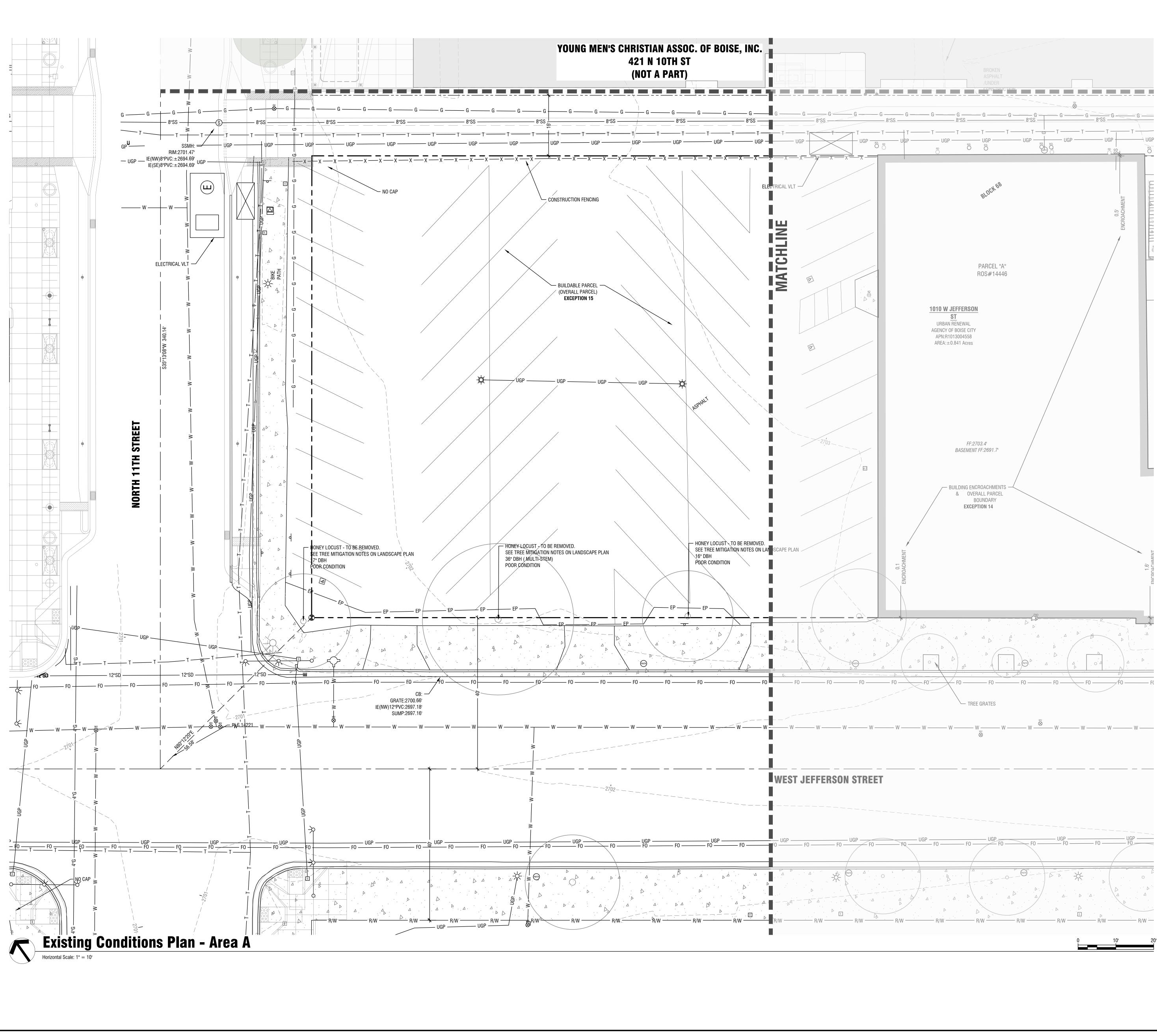
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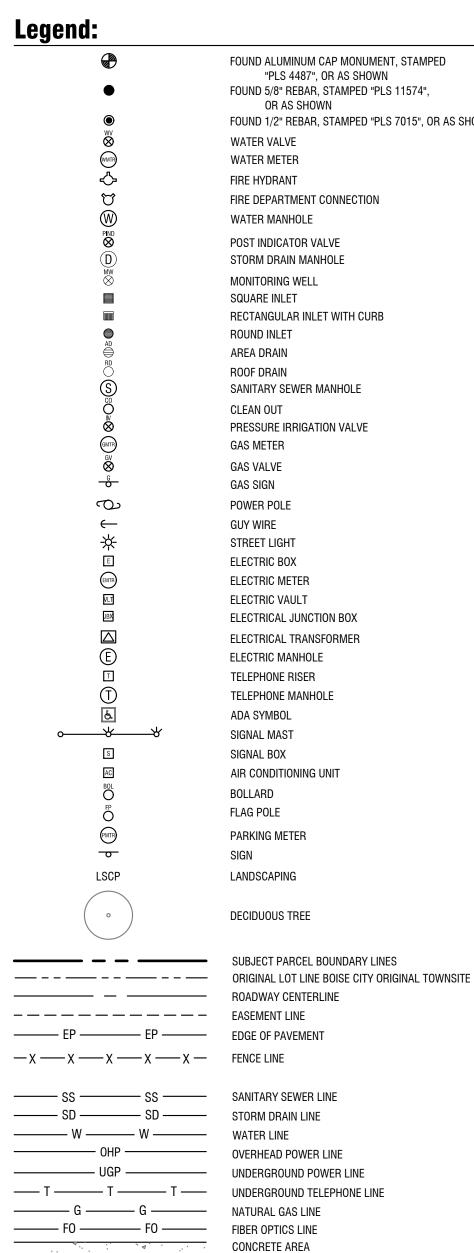
208.336.6985

www.kpff.com Project 1010 W. Jefferson St. Commercial Space & Public Parking Facility Project Address 1010 W. Jefferson St. Boise ID, 83702 Prepared For Capital City Development Corp

Ρ

PARKBOI





FOUND ALUMINUM CAP MONUMENT, STAMPED "PLS 4487", OR AS SHOWN FOUND 5/8" REBAR, STAMPED "PLS 11574", OR AS SHOWN FOUND 1/2" REBAR, STAMPED "PLS 7015", OR AS SHOWN WATER VALVE WATER METER FIRE HYDRANT FIRE DEPARTMENT CONNECTION WATER MANHOLE POST INDICATOR VALVE STORM DRAIN MANHOLE MONITORING WELL SQUARE INLET RECTANGULAR INLET WITH CURB ROUND INLET AREA DRAIN ROOF DRAIN SANITARY SEWER MANHOLE CLEAN OUT PRESSURE IRRIGATION VALVE GAS METER GAS VALVE GAS SIGN POWER POLE GUY WIRE STREET LIGHT ELECTRIC BOX ELECTRIC METER ELECTRIC VAULT ELECTRICAL JUNCTION BOX ELECTRICAL TRANSFORMER ELECTRIC MANHOLE TELEPHONE RISER TELEPHONE MANHOLE ADA SYMBOL SIGNAL MAST SIGNAL BOX AIR CONDITIONING UNIT BOLLARD FLAG POLE PARKING METER SIGN LANDSCAPING DECIDUOUS TREE

CURB AND GUTTER EXISTING BUILDING 2704 EXISTING GROUND CONTOUR

Project Addre 1010 W. ID, 8370	Jefferso	on St. Boise
Prepared For Capital C	City Dev	elopment Corp
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CAPITAL DEVELOPMENT	CITY	PARKBOI
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ATOR RUN ASSOCIATES,	Boise (208)	S Orchard St, #1238 e, ID 83705 9 343-3663
TH LA GR	ND Eagle,	. Shore Dr. Suite 100 Idaho 83616 939-4041
OKLAN	Meridi t+120	S Navigator Drive, Suite 305 an, ID 83642 8 576 6077 okland.com
Key Plan		
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No. Descript	ion	Date
KPFF Project No:	25-004 10212400187	
Checked By:	ORW CHK	
	07/02/2025 DESIGN REVIEV	١
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Area A		
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1010 W. Jefferson St.

Parking Facility

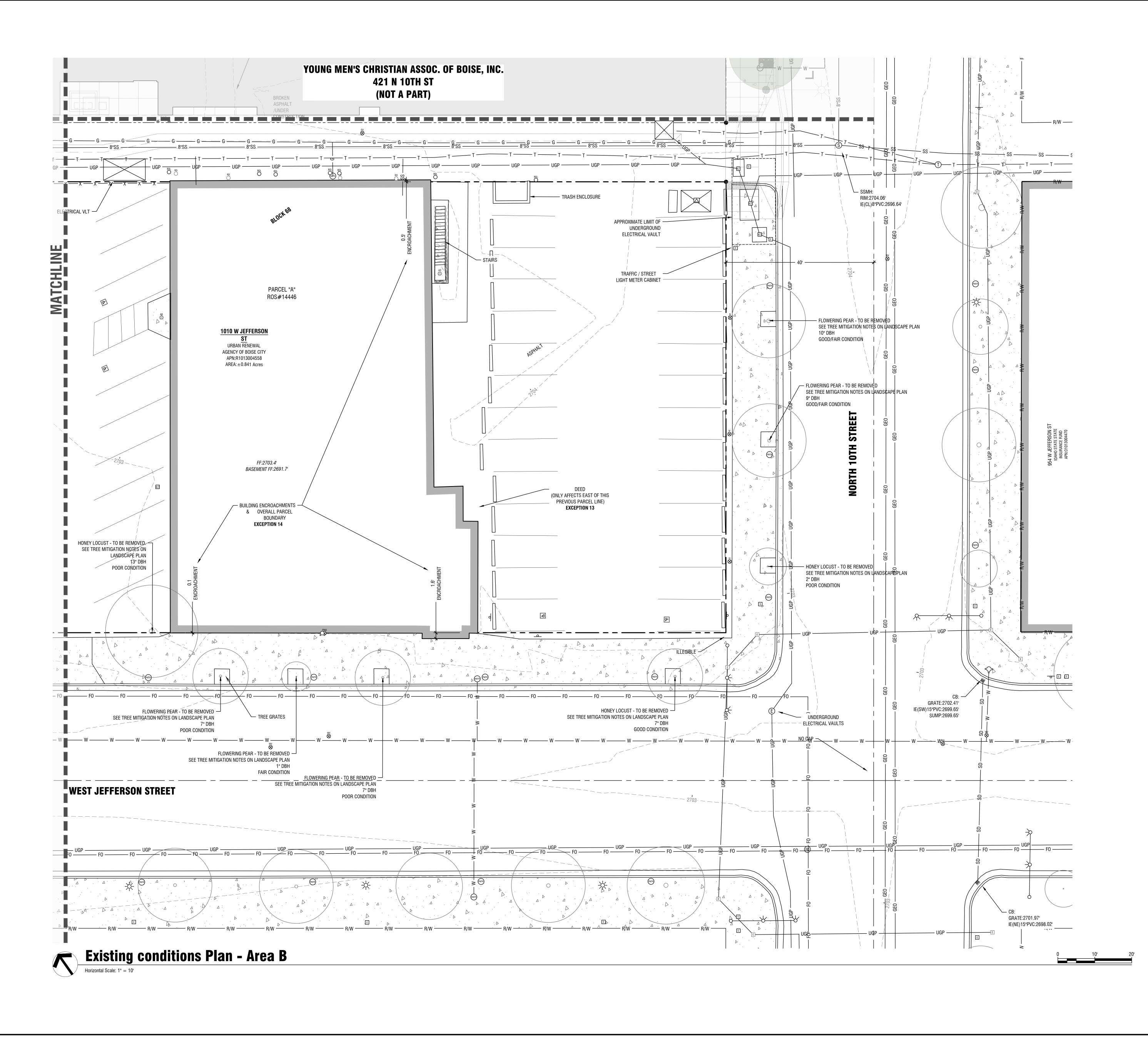
Commercial Space & Public

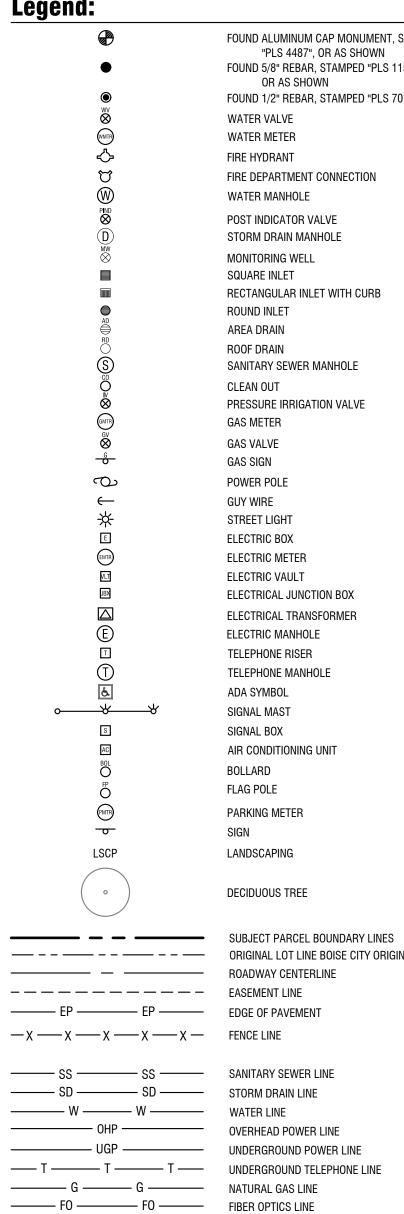
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Project

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"PLS 4487", OR AS SHOWN FOUND 5/8" REBAR, STAMPED "PLS 11574", OR AS SHOWN FOUND 1/2" REBAR, STAMPED "PLS 7015", OR AS SHOWN WATER VALVE WATER METER FIRE HYDRANT FIRE DEPARTMENT CONNECTION WATER MANHOLE POST INDICATOR VALVE STORM DRAIN MANHOLE MONITORING WELL SQUARE INLET RECTANGULAR INLET WITH CURB ROUND INLET AREA DRAIN ROOF DRAIN SANITARY SEWER MANHOLE CLEAN OUT PRESSURE IRRIGATION VALVE GAS METER GAS VALVE GAS SIGN POWER POLE GUY WIRE STREET LIGHT ELECTRIC BOX ELECTRIC METER ELECTRIC VAULT ELECTRICAL JUNCTION BOX ELECTRICAL TRANSFORMER ELECTRIC MANHOLE TELEPHONE RISER TELEPHONE MANHOLE ADA SYMBOL SIGNAL MAST SIGNAL BOX AIR CONDITIONING UNIT BOLLARD FLAG POLE PARKING METER SIGN LANDSCAPING DECIDUOUS TREE ---- - - - - - ORIGINAL LOT LINE BOISE CITY ORIGINAL TOWNSITE

FOUND ALUMINUM CAP MONUMENT, STAMPED

OVERHEAD POWER LINE UNDERGROUND POWER LINE CONCRETE AREA CURB AND GUTTER EXISTING BUILDING 2704 EXISTING GROUND CONTOUR

Legend:

Project 1010 W. Jefferson St. Commercial Space & Public Parking Facility Project Address 1010 W. Jefferson St. Boise ID, 83702 Prepared For	
-	Development Corp
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pivotnorth	116 S 6th St, Boise, ID 83702 (208) 690-3108
CATOR RUMA & ASSOCIATES, CO.	420 S Orchard St, #1238 Boise, ID 83705 (208) 343-3663
THE LAND GROUP	462 E. Shore Dr. Suite 100 Eagle, Idaho 83616 (208) 939-4041
OKLAND	2929 S Navigator Drive, Suite 305 Meridian, ID 83642 t+1208 576 6077 www.okland.com
Key Plan	
Professional Seals	
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No. Description	Date
Project No: 25-004 KPFF Project No: 102124007	107
KPFF Project No: 102124001 Drawn By: DRW Checked By: CHK	107
Date: 07/02/2023 Phase: DESIGN R	
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Sheet Number

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Project No:	25-004		
KPFF Project No:	10212400187		
Drawn By:	DRW		
Checked By:	СНК		
Date:	07/02/2025		
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No. Description

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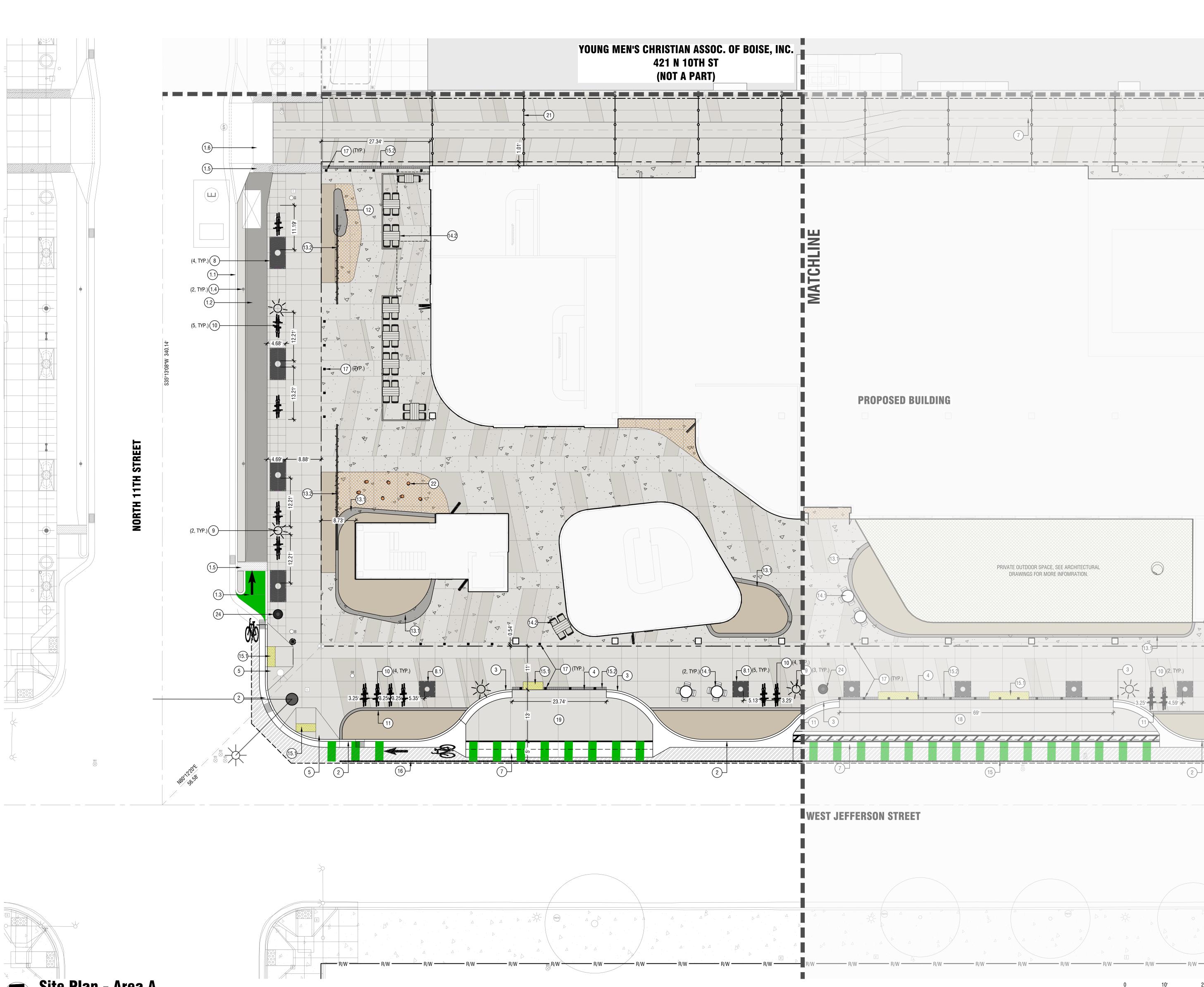
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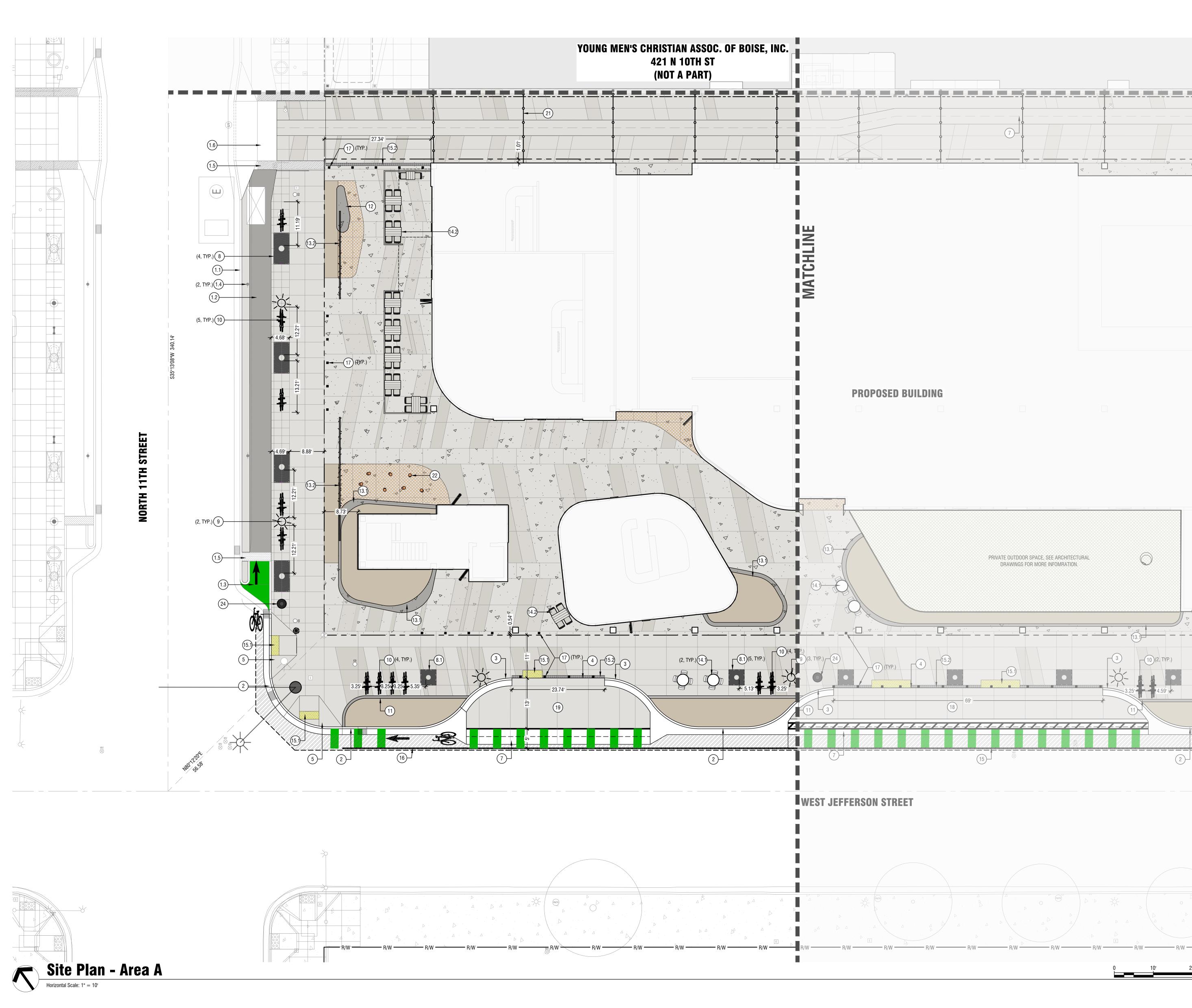
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Capital City Development Corp







Sheet Notes:

- A. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS.
- B. REFER CLOSELY TO BUILDING LAYOUT DRAWINGS IN RELATION TO SITE LAYOUT ITEMS.
- C. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS OR CENTER OF POST.
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- E. FIRE ACCESS PROVIDED VIA ADJACENT STREETS AND ALLEYS.
- F. TRASH STORAGE LOCATED IN BUILDING STRUCTURE.

Kevnotes:

1. EXISTING 11TH ST BIKEWAY IMPROVEMENTS.
1.1. CURB AND GUTTER.
1.2. RAISED BIKE LANE, CONCRETE TO BE REPLACED. INTEGRAL COLOR TO MATCH
11TH ST STANDARD.
1.3. RAISED BIKE LANE RAMP.
1.4. PARKING METERS.
1.5. TACTILE WARNING TILES.
1.6. DRIVE APPROACH.
2. PROPOSED CURB AND GUTTER PER ACHD STANDARDS.
3. PROPOSED CURB TRANSITION.
4. PROPOSED FLUSH CURB AT ADA AND LOADING.
5. PROPOSED PEDESTRIAN RAMP PER ACHD STANDARDS.
6. PROPOSED DRIVE APPROACH.
7. PROPOSED VALLEY GUTTER PER ACHD STANDARDS.
8. PROPOSED TREE GRATE PER CITY OF BOISE STANDARD. TYPE "KIVA" CAST IRON WITH
NATURAL RAW FINISH BY URBAN ACCESSORIES. SIZE: 4' X 8', ADA COMPLIANT, SEE DETAIL 2/C2.50
 PROPOSED CITY OF BOISE STANDARD HISTORIC STREET LIGHT PER, SEE DETAIL 3/C2.50.
10. PROPOSED BIKE RACK, SEE DETAIL 4/C2.50.
11. PROPOSED 10" X 8" VERTICAL CONCRETE CURB.
12. PROPOSED CAST-IN-PLACE CONCRETE SEAT.
13. PROPOSED SITE WALLS, WIDTH VARIES.
13.1. 18" TALL SEATWALL, WIDTH VARIES
13.2. 48" TALL SCREEN WALL. PERMEABLE METAL PANELS TO MATCH GARAGE
CLADDING.
14. TABLE AND CHAIRS.
14.1. PUBLIC.
14.2. PATIO FOR COMMERCIAL SPACE, SHOWN FOR REFERENCE ONLY.
15. DETECTABLE WARNING TILES.
15.1. DOMES.
15.2. DIRECTIONAL.
16. BIKE LANE STRIPING.
17. BOLLARD TO MATCH STANDARD ALONG 11TH ST BIKEWAY, SEE DETAIL 1/C2.50.
18. ON-STREET LOADING ZONE.
19. ON-STREET ADA PARKING SPACE.
20. PARKING GARAGE SIGN.
21. FESTOON LIGHTING AT ALLEY. HEIGHT COMPLIANT WITH ACHD STANDARDS.
22. INTERACTIVE SITE FURNITURE.
23. PROPOSED FIRE HYDRANT.
24. TRASH RECEPTACLE PER DOWNTOWN BOISE STREETSCAPE STANDARDS.
Material Legend:

7	ONSITE CONCRETE PAVING STANDARD
	ONSITE DECORATIVE CONCRETE PAVING TYPE 1 - MEDIUM GRAY
4	ONSITE DECORATIVE CONCRETE PAVING TYPE 2 - DARK GRAY
7 7	ONSITE DECORATIVE CONCRETE PAVING TYPE 3 - COLORED WITH EXPOSED AGGREGATE.
	OFFSITE CONCRETE PAVING STANDARD PER ACHD SUPPLEMENTAL STANDARDS.
	OFFSITE DECORATIVE CONCRETE PAVING TYPE 1 - MEDIUM GRAY PER ACHD SUPPLEMENTAL STANDARDS.
	OFFSITE DECORATIVE CONCRETE PAVING TYPE 2 - DARK GRAY PER ACHD SUPPLEMENTAL STANDARDS.
	ASPHALT PATCH PER ACHD STANDARDS.
	LANDSCAPE MULCH - 4" DEPTH BARK.

Bike Parking Calculations:

PROPOSED RETAIL & BUSINESS SPACE = 17,042 SF CODE REQUIRED SHORT TERM PARKING = 2 PLUS 1 ADDITIONAL SPACE PER 1,000 SF REQUIRED SHORT TERM BIKE SPACES = 2 + 18 = 20 SPACES

10TH STREET612SITE FURNISHING ZONJEFFERSON STREET1122SITE FURNISHING ZONSUBTOTAL (SHORT TERM)2244					
11TH STREET510SITE FURNISHING ZON10TH STREET612SITE FURNISHING ZONJEFFERSON STREET1122SITE FURNISHING ZONSUBTOTAL (SHORT TERM)2244			RACKS	SPACES	NOTES
10TH STREET612SITE FURNISHING ZONJEFFERSON STREET1122SITE FURNISHING ZONSUBTOTAL (SHORT TERM)2244	P	² UBLIC ROW (SHORT TERM)			
JEFFERSON STREET1122SITE FURNISHING ZONSUBTOTAL (SHORT TERM)2244		11TH STREET	5	10	SITE FURNISHING ZONE
SUBTOTAL (SHORT TERM) 22 44		10TH STREET	6	12	SITE FURNISHING ZONE
		JEFFERSON STREET	11	22	SITE FURNISHING ZONE
ON-SITE (LONG TERM) N/A N/A BUILDING INTERIOR. S		· · · · ·	22	44	
	C	DN-SITE (LONG TERM)	N/A	N/A	BUILDING INTERIOR. SE
ARCHITECTURAL FOR					ARCHITECTURAL FOR
MORE INFORMATION					MORE INFORMATION









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Boise, ID 83705

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Eagle, Idaho 83616

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Kev Plan

Professional Seals

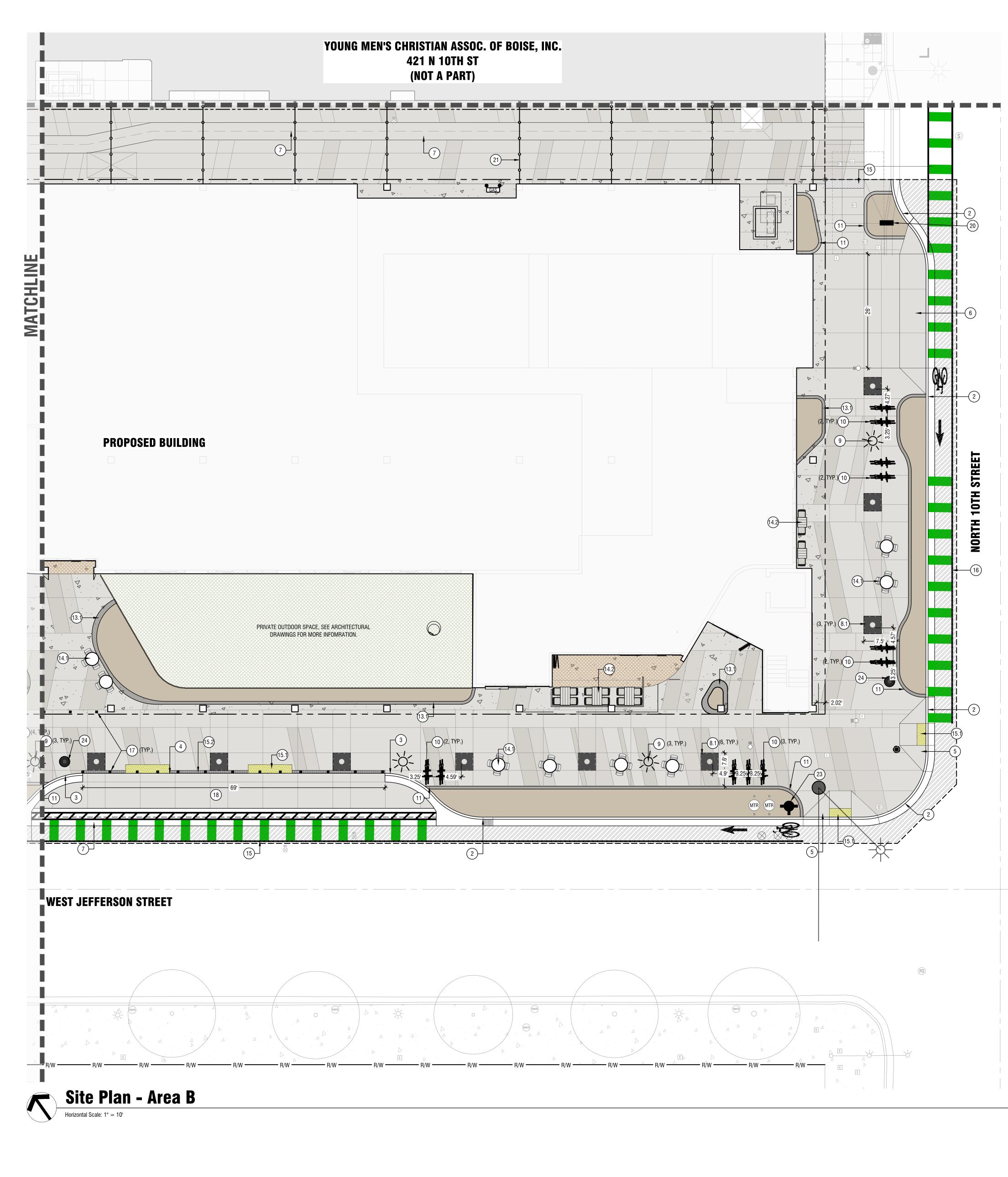
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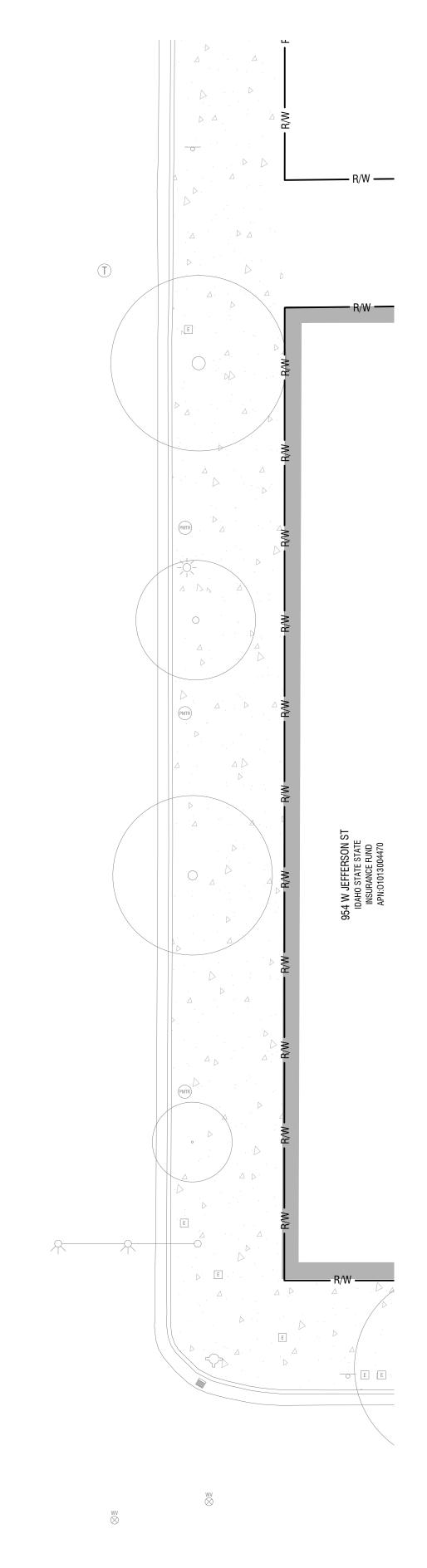
No. De	scription	Date
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KPFF Project No	x 10212400187	
Drawn By:	DRW	
Checked By:	СНК	
Date:	07/02/2025	
Phase:	DESIGN REVIEW	
Sheet Title		
Site P	Plan - Area A	

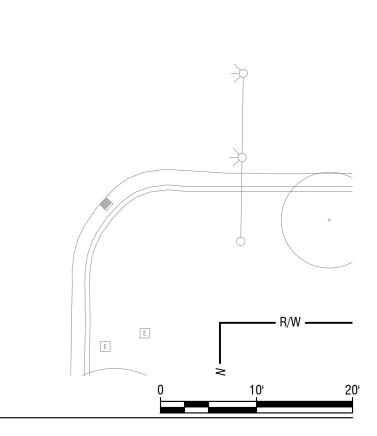
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Sheet Notes:

- A. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS.
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Keynotes:

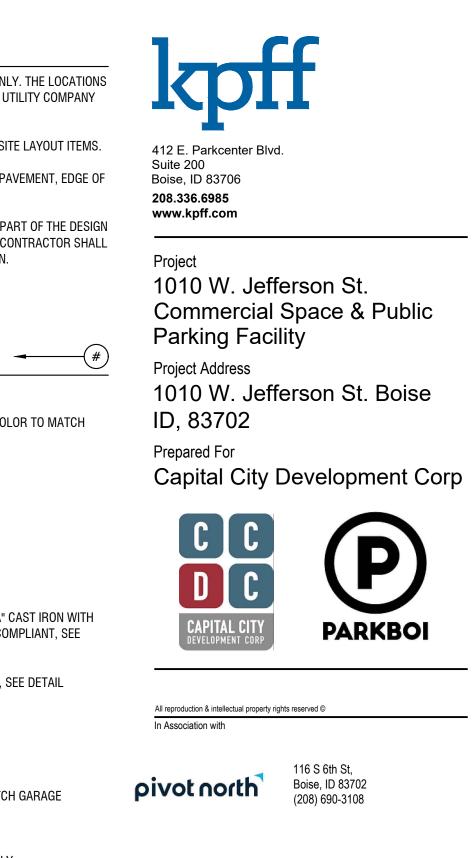
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NATURAL RAW FINISH BY URBAN ACCESSORIES. SIZE: 4' X 8', ADA C	Compliant, see
DETAIL 2/C2.50	
8.1. SIMILAR, SIZE: 4' X4', SIMILAR DETAIL 2/C2.50.	
9. PROPOSED CITY OF BOISE STANDARD HISTORIC STREET LIGHT PER	, SEE DETAIL
3/C2.50.	
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_		RACKS	SPACES	NOTES
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	10TH STREET	6	12	SITE FURNISHING ZONE
	JEFFERSON STREET	11	22	SITE FURNISHING ZONE
	SUBTOTAL (SHORT TERM)	22	44	
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				ARCHITECTURAL FOR
				MORE INFORMATION









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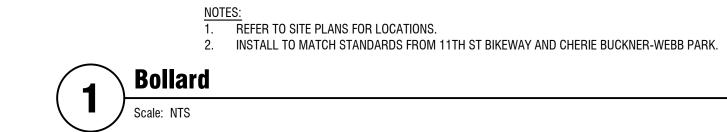
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Project No:	25-004
KPFF Project No:	10212400187
Drawn By:	DRW
Checked By:	СНК
Date:	07/02/2025
Phase:	DESIGN REVIEW
Sheet Title	

Original is 42 x 30. Do not scale contents of this drawing. Sheet Number

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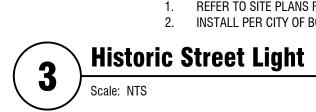






<u>NOTES:</u> 1. REFER TO SITE PLANS FOR LOCATIONS. 2. INSTALL PER CITY OF BOISE DOWNTOWN STREETSCAPE STANDARDS.





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412 E. Parkcenter Blvd. Suite 200 Boise, ID 83706 208.336.6985 www.kpff.com _____ Project 1010 W. Jefferson St. Commercial Space & Public Parking Facility Project Address 1010 W. Jefferson St. Boise ID, 83702 Prepared For Capital City Development Corp





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Key Plan

Professional Seals

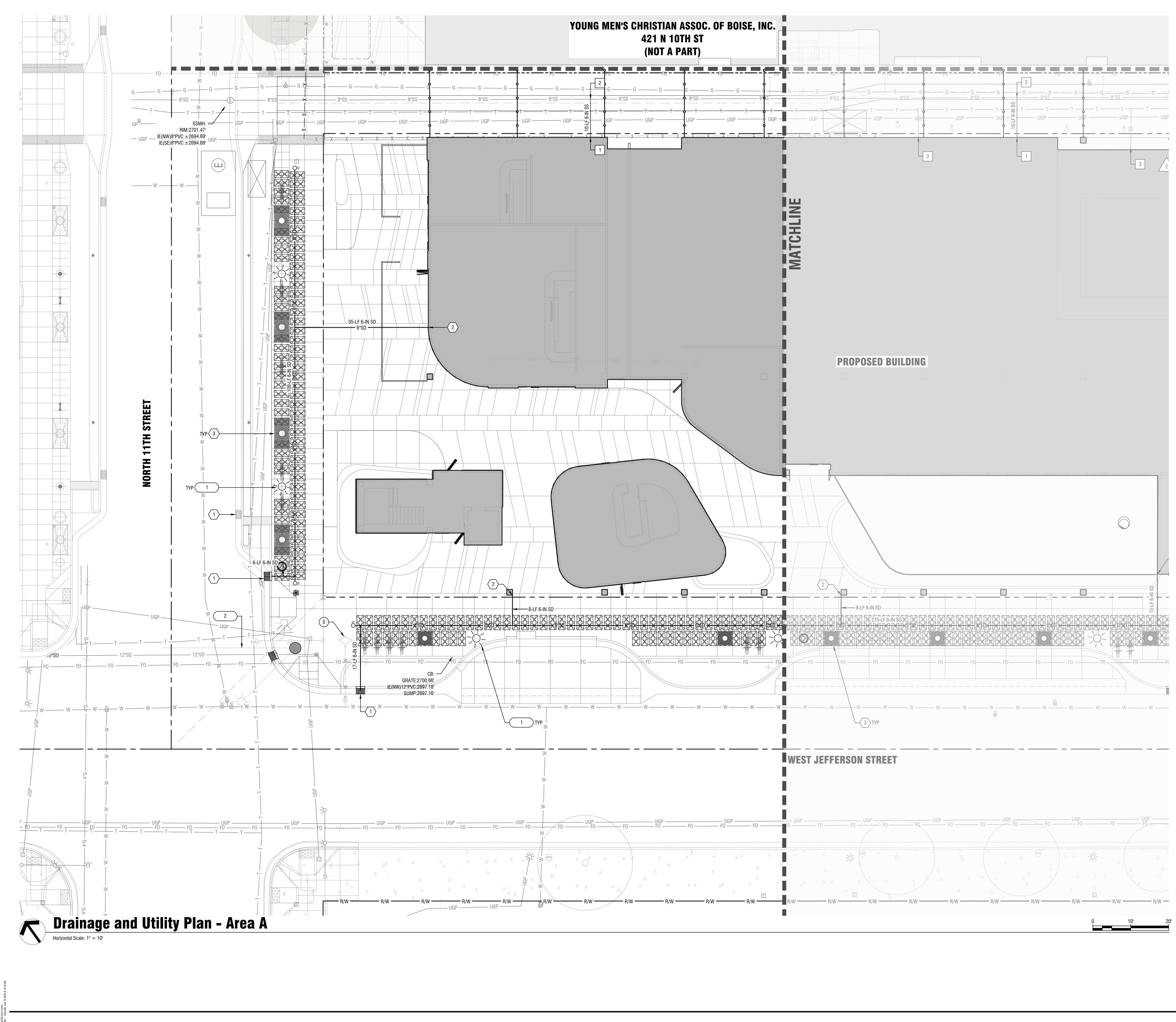
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Sewer Keynotes:

- 1. STUB 6" SEWER SERVICE PER ISPWC SD-511. COORDINATE WITH BUILDING MECHANICAL PLAN FOR CONTINUATION.
- TIE-IN TO EXISTING 8-IN SEWER MAIN PER ISPWC SD-511 VIA 6-IN x 8-IN ELECTROFUSION TEE. CONTACT CITY OF BOISE PUBLIC WORKS 48 HOURS PRIOR TO OBTAIN A SEWER TAP PERMIT AND SCHEDULE INSPECTION.
- 3. REMOVE EXISTING SEWER STUB AND CLEAN OUT.

Water Keynotes:

- 1. 4-IN WATER SERVICE CONNECTION BY VEOLIA. CONTRACTOR SHALL COORDINATE METER INSTALLATION WITH VEOLIA. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
- 2. 6-IN FIRE SERVICE BY VEOLIA. CONTRACTOR SHALL COORDINATE INSTALLATION. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
- 3. COORDINATE WITH VEOLIA TO INSTALL NEW FIRE HYDRANT.
- 4. COORDINATE WITH VEOLIA TO ABANDON EXISTING WATER SERVICE AND ASSOCIATED METER AT MAIN USING FULL SEAL CLAMP.
- 5. COORDINATE WITH VEOLIA TO REMOVE EXISTING FIRE HYDRANT AND ABANDON SERVICE AT MAIN. REMOVE VALVE AND INSTALL BLIND FLANGE.

Storm Keynotes:

- 1. INSTALL CATCH BASIN TYPE 1 PER ACHD SUP SD-601 & SD-715A.
- 2. ROOF DRAIN CONNECTION. COORDINATE CONTINUATION WITH BUILDING PLUMBING PLAN. PROVIDE FITTINGS AS REQUIRED TO CONVERT PIPE SIZES.
- 3. 4'X8' TREE GRATE WITH SILVA CELL UNIT DRAINAGE SYSTEM.

Dry Utility Keynotes:

1. PROPOSED IDAHO POWER TRANSFORMER. COORDINATE WITH SITE ELECTRICAL AND IDAHO POWER.

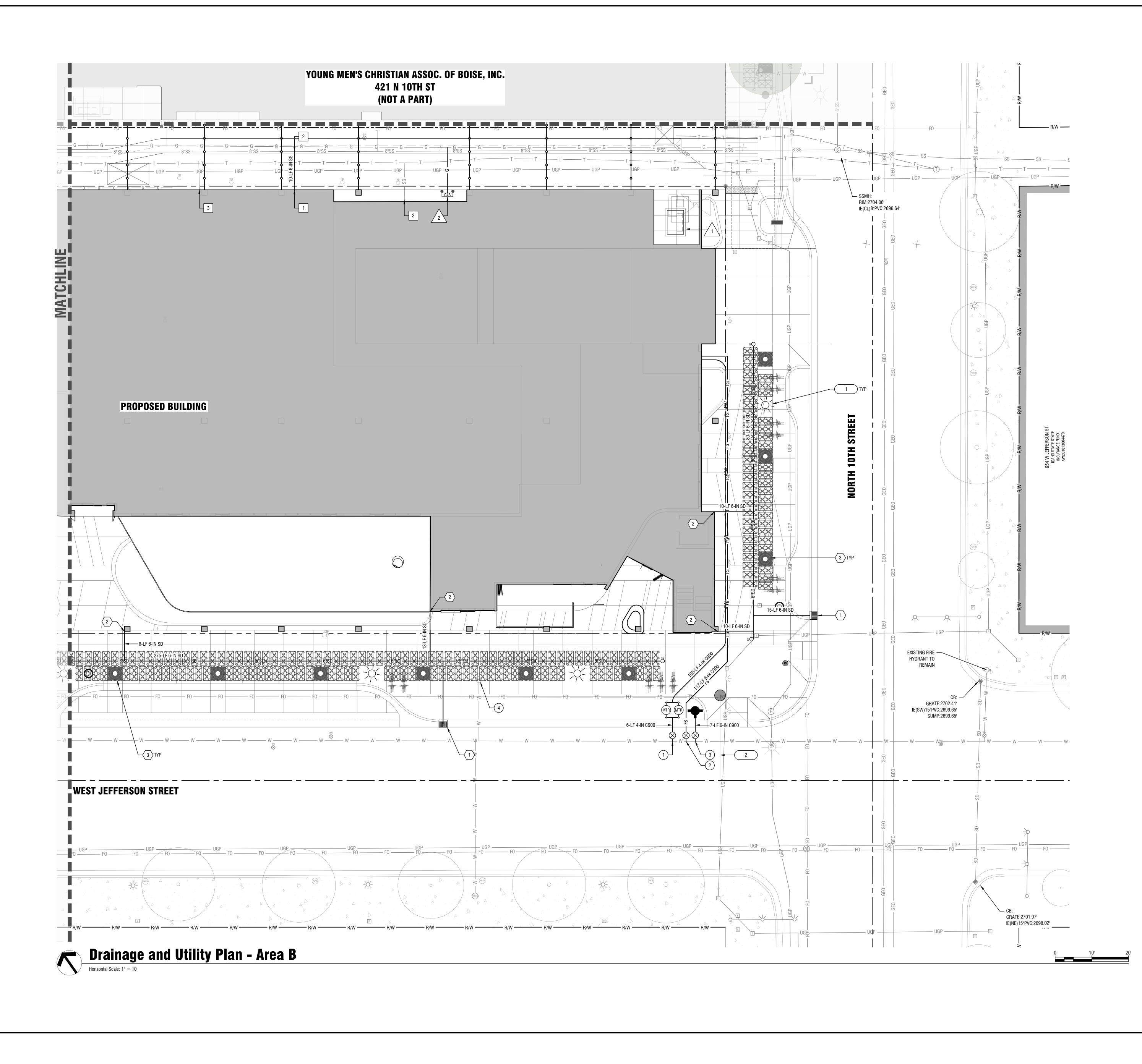
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2. GAS LINE CONNECTION. COORDINATE WITH BUILDING GAS METER LOCATION PER MECHANICAL PLAN AND INTERMOUNTAIN GAS COMPANY.

Street Light Keynotes:

- 1. CITY OF BOISE STANDARD HISTORIC STREET LIGHT.
- 2. RELOCATE TRAFFIC SIGNAL POLE AND CORRESPONDING JUNCTION BOX.

- # DING MECHANICAL	kpf	f
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DING PLUMBING	D C CAPITAL CITY DEVELOPMENT CORP	PARKBOI
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ATION PER	pivotnorth	116 S 6th St, Boise, ID 83702
#	P	(208) 690-3108
Х.	CATOR RUMA & ASSOCIATES, CO.	420 S Orchard St, #1238 Boise, ID 83705 (208) 343-3663
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AT MAIN. REMOVE VALVE AND INSTALL BLIND FLANGE.

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Dry Utility Keynotes:

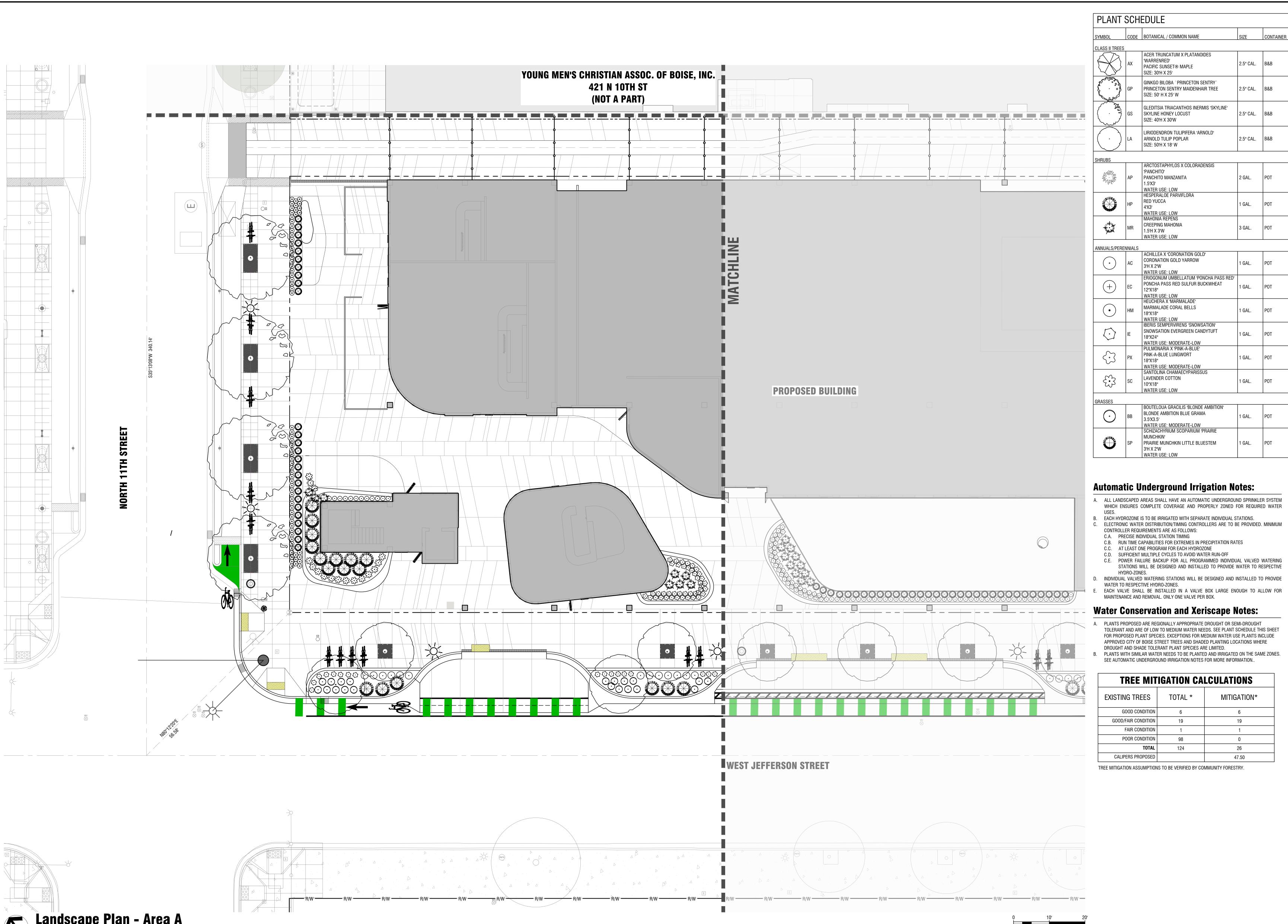
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Street Light Keynotes:

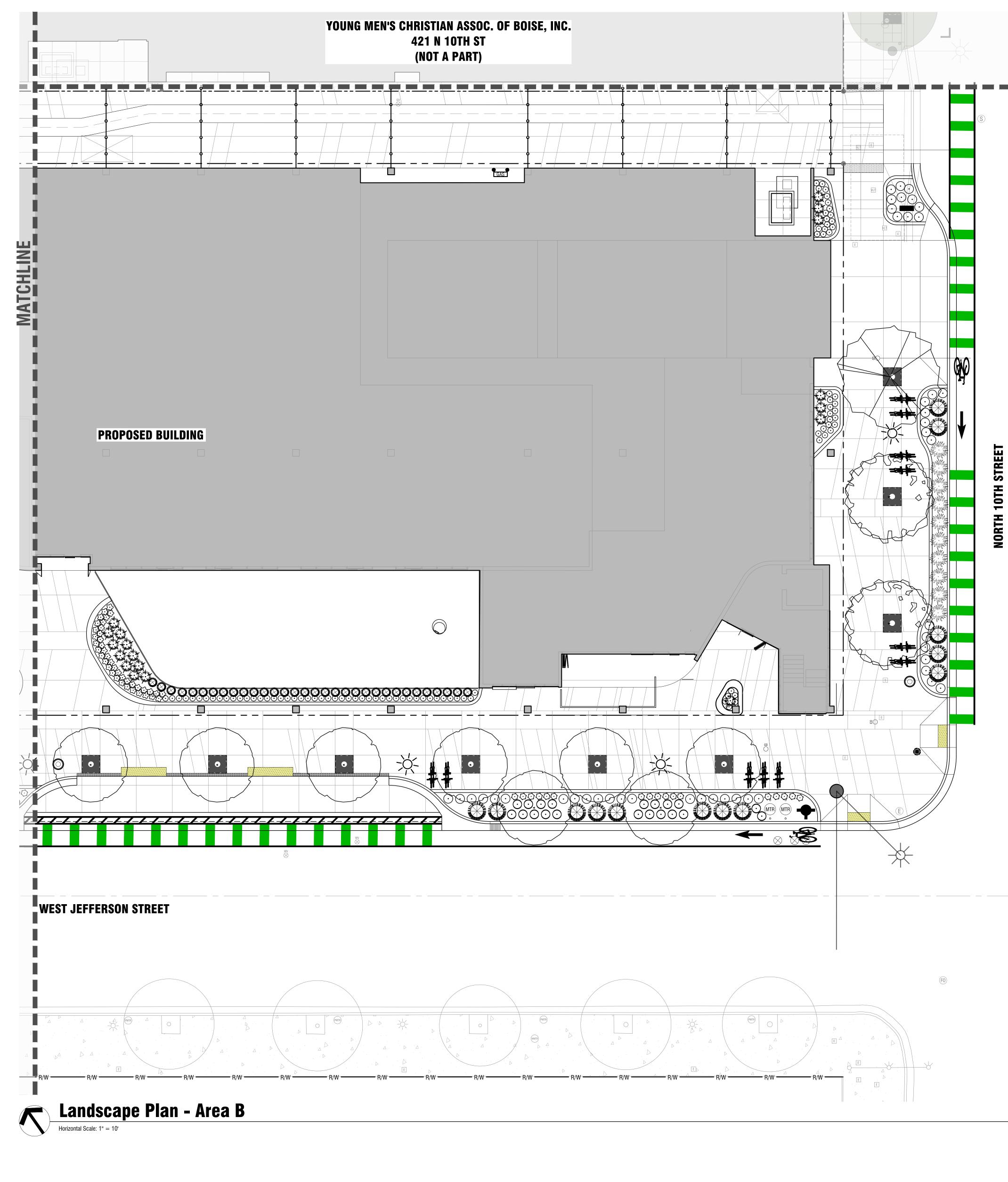
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	OKLAND	2929 S Navigator Drive, Suite 305 Meridian, ID 83642 t+1208 576 6077 www.okland.com
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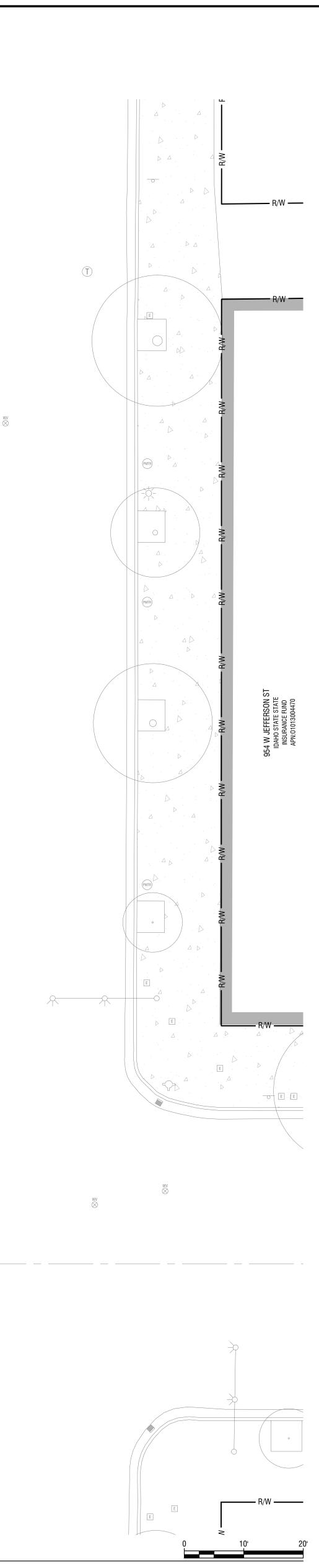




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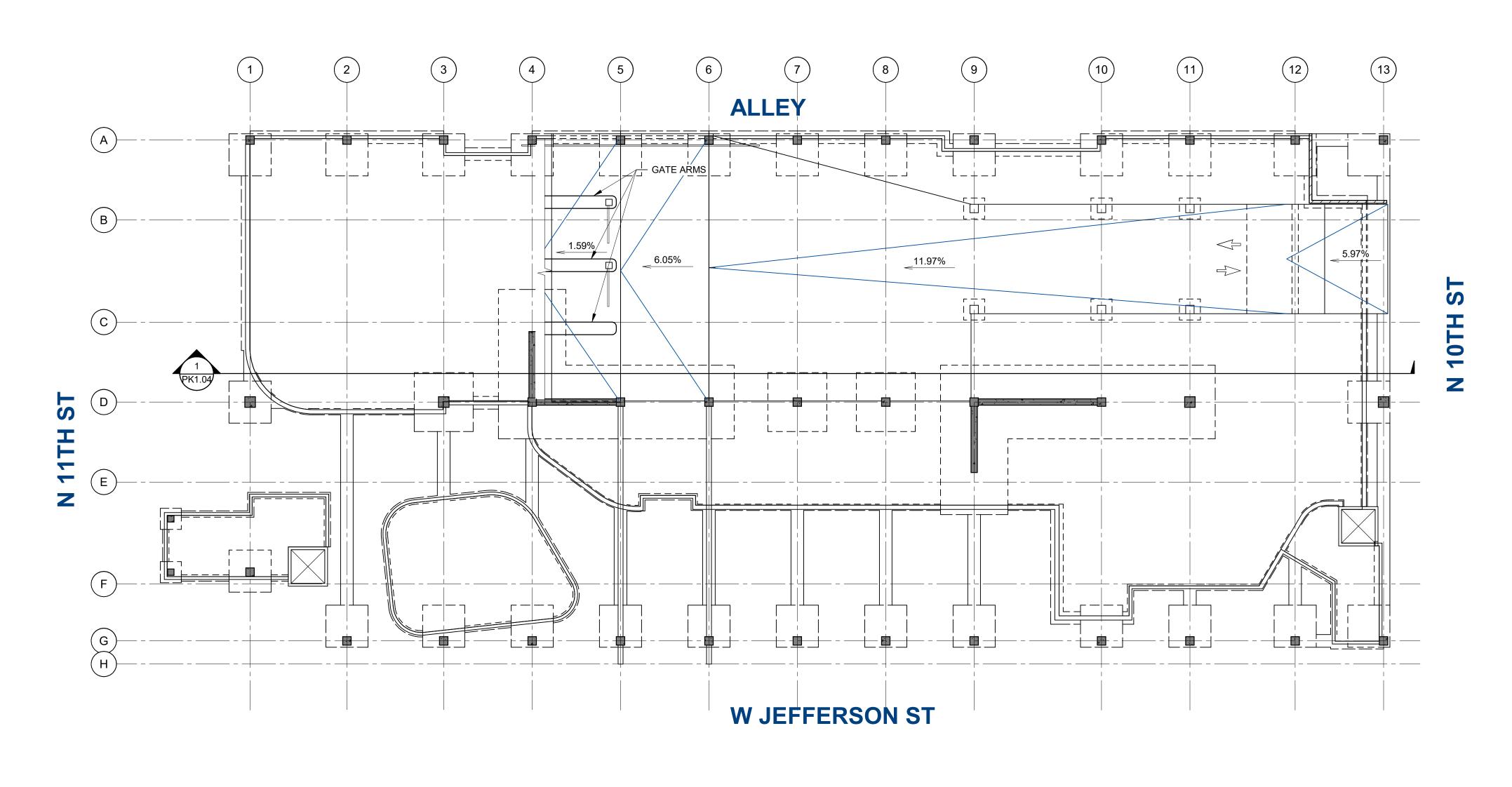


SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINE
CLASS II TRE	FS			·
	AX	ACER TRUNCATUM X PLATANOIDES 'WARRENRED' PACIFIC SUNSET® MAPLE SIZE: 30'H X 25'	2.5" CAL.	B&B
the second second	GP	GINKGO BILOBA `PRINCETON SENTRY` PRINCETON SENTRY MAIDENHAIR TREE SIZE: 50' H X 25' W	2.5" CAL.	B&B
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' SKYLINE HONEY LOCUST SIZE: 40'H X 30'W	2.5" CAL.	B&B
) LA	LIRIODENDRON TULIPIFERA 'ARNOLD' ARNOLD TULIP POPLAR SIZE: 50'H X 18' W	2.5" CAL.	B&B
SHRUBS	•			•
	AP	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' PANCHITO MANZANITA 1.5'X3' WATER USE: LOW	2 GAL.	РОТ
	HP	HESPERALOE PARVIFLORA RED YUCCA 4'X3' WATER USE: LOW	1 GAL.	POT
	MR	MAHONIA REPENS CREEPING MAHONIA 1.5'H X 3'W WATER USE: LOW	3 GAL.	POT
ANNUALS/PE	RENNIALS			
\odot	AC	ACHILLEA X 'CORONATION GOLD' CORONATION GOLD YARROW 3'H X 2'W WATER USE: LOW	1 GAL.	РОТ
(+)	EC	ERIOGONUM UMBELLATUM 'PONCHA PASS RED' PONCHA PASS RED SULFUR BUCKWHEAT 12"X18" WATER USE: LOW	1 GAL.	POT
lacksquare	HM	HEUCHERA X 'MARMALADE' MARMALADE CORAL BELLS 18"X18" WATER USE: LOW	1 GAL.	POT
\bigtriangledown	IE	IBERIS SEMPERVIRENS 'SNOWSATION' SNOWSATION EVERGREEN CANDYTUFT 18"X24" WATER USE: MODERATE-LOW	1 GAL.	POT
$\left< \cdot \right>$	PX	PULMONARIA X 'PINK-A-BLUE' PINK-A-BLUE LUNGWORT 18"X18" WATER USE: MODERATE-LOW	1 GAL.	POT
£;;}	SC	SANTOLINA CHAMAECYPARISSUS LAVENDER COTTON 10"X18" WATER USE: LOW	1 GAL.	POT
GRASSES				
\bigcirc	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA 3.5'X3.5' WATER USE: MODERATE-LOW	1 GAL.	POT
	SP	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE MUNCHKIN' PRAIRIE MUNCHKIN LITTLE BLUESTEM 3'H X 2'W WATER USE: LOW	1 GAL.	POT
Iando	enana	Notes:		

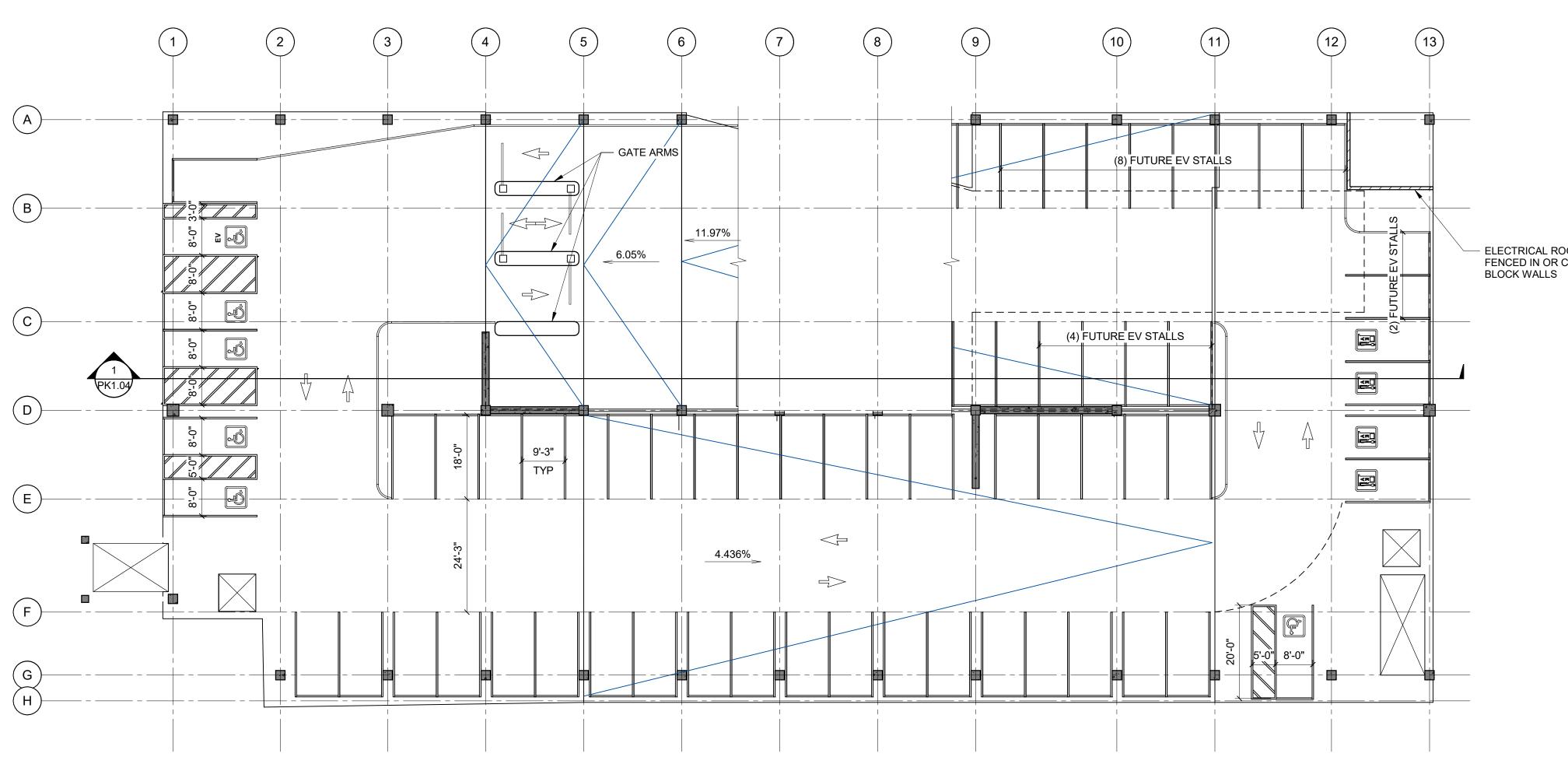
Landscape Notes:

- A. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK. B. FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE MULCH PER TYPE AND LOCATION PER PLANS, OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT SITE ELEMENTS SHALL BE:
- B.A. 1-INCH BELOW TOP OF ADJACENT PAVEMENT, VALVE BOX, VAULT, ETC. B.B. 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE. C. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL, SOD AREAS A MINIMUM OF
- 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE. D. RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUITABILITY OF SURFACE
- SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: A) PROVIDE APPROVED IMPORTED TOPSOIL OR B.) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY LANDSCAPE ARCHITECT. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS AND OTHER EXTRANEOUS
- MATERIALS HARMFUL TO PLANT GROWTH. E. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- F. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- G. ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION.REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SURFACE. H. NEW TREE PLANTING, SEE DETAIL 1 & 2/L2.50. CONTRACTOR SHALL STAKE ALL TREES
- DEEMED NECESSARY, I.E..... FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION. I. NEW SHRUB PLANTING. SEE DETAIL 3/L2.50.
- J. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- K. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- L. TREE PIT BACKFILL PLANTING MIX: BLEND TOPSOIL AND SOIL AMENDMENTS AND FERTILIZER FOR TREE PIT BACKFILL AT THE FOLLOWING RATES. BLEND AMENDMENTS THOROUGHLY WITH SOIL BACKFILL. TREE PITS SHALL BE 5'x5'x1.5' (37.5 CF/ 1.5 CY). L.A. APPLICATION RATES:
- L.A.A. HUMIC ACID: 25 LBS PER TREE PIT COMMERCIAL GRADE COMPOST - 10 CUBIC FEET PER TREE PIT L.A.B.
- L.A.C. PLANTING TABLET FERTILIZER 4 TABLETS PER TREE PIT L.A.D. CALCIFIED DIATOMACEOUS EARTH - 75 LBS PER TREE PIT
- M. SHRUB PIT BACKFILL PLANTING MIX: BLEND TOPSOIL AND SOIL AMENDMENTS AND FERTILIZER FOR SHRUB PIT BACKFILL AT THE FOLLOWING RATES. BLEND AMENDMENTS WITH THOROUGHLY WITH SOIL BACKFILL. SHRUB PITS SHALL BE 2.5'x2.5'x1' (6.25 CF/ 0.25 CY).
- M.A. APPLICATION RATES: M.A.A. HUMIC ACID: 2 LBS PER SHRUB PIT
- M.A.B. COMMERCIAL GRADE COMPOST 2 CUBIC FEET PER SHRUB PIT M.A.C. PLANTING TABLET FERTILIZER - 2 TABLETS PER SHRUB PIT
- M.A.D. CALCIFIED DIATOMACEOUS EARTH 15 LBS PER SHRUB PIT N. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM
- LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE. 0. CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES FOR LANDSCAPE MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT. SUBMIT 1 GALLON BAG SAMPLE TO OWNER.

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FOUNDATION PARKING PLAN 1/16" = 1'-0" 1



- ELECTRICAL ROOM -FENCED IN OR CMU

STALL SUMMARY TABLES

TOTAL STALL COUNTS		
LEVEL	COUNT	
LEVEL 2	17	
LEVEL 2.5	36	
LEVEL 3	58	
LEVEL 3.5	36	
LEVEL 4	59	
LEVEL 4.5	36	
LEVEL 5	59	
LEVEL 5.5	36	
LEVEL 6	59	
LEVEL 6.5	43	
TOTAL:	439	

NOTE: INCLUSIVE OF SPECIALTY STALLS DESCRIBED BELOW

	TOTAL ADA STALL COUNTS			
Level	Туре	COUNT		
LEVEL 2	ADA - 8'x20'	2		
LEVEL 2.5	ADA - 8'x20'	1		
LEVEL 3	ADA - 8'x20'	1		
LEVEL 3.5	ADA - 8'x20'	1		
LEVEL 4.5	ADA - 8'x20'	1		
LEVEL 5.5	ADA - 8'x20'	1		
LEVEL 3	ADA EV - 8'x20'	1		
LEVEL 2	ADA EV Van - 8'x20'	1		
LEVEL 3	ADA FUTURE EV - 8'x20'	3		
LEVEL 2	ADA Van - 8'x20'	2		
TOTAL:		14		

NOTE: (9) ADA STALLS REQUIRED, (2) OF WHICH NEED TO BE ADA VAN STALLS. (1) ADDITIONAL EV ADA STALL AND (1) ADDITIONAL EV ADA VAN STALL PROVIDED. (3) FUTURE EV ADA STALLS ALSO PROVIDED

EV STALL COUNTS		
Level	COUNT	
LEVEL 2	1	
LEVEL 2.5	4	
LEVEL 3	1	
TOTAL:	6	
NOTE: 6/427 = 1% DESI	GNATED EV STALLS DAY OF OPENING	

FUTURE EV STALL COUNTS

FUTURE EV STALL COUNTS	
Level	COUNT
LEVEL 2.5	5
LEVEL 3	9
LEVEL 3.5	9
LEVEL 4	16
LEVEL 4.5	9
LEVEL 5	11
LEVEL 5.5	9
LEVEL 6	11
LEVEL 6.5	14
TOTAL:	93

NOTE: 88/427 = 20% DESIGNATED FUTURE EV STALLS

OVERALL PARKING SUMMARY

PARKING EFFICIENCY SQUARE FOOTAGE		
MATERIAL CATEGORY	Material: Area	
	168,473 SF	
Grand total: 23	168,473 SF	
PLATE SQUARE FO	TED ABOVE IS THE APPROXIMATE OVERALL FLOOR DTAGE RELATED SPECIFICALLY TO PARKING FOR IMATING PARKING EFFECIENCY. IT INCLUDES THE MOVE VEHICLES FROM THE 10TH STREET GRADE UP	
TO THE FIRST ELEV	ATED LEVEL OF PARKING. IT DOES NOT INCLUDE THE	
	OOR SLAB FOR COMMERCIAL SPACE. IT ALSO DOES	
NOT CURRENTLY C	ONSIDER FLOOR SPACE LOST TO ANCILLARY SPACE	

PARKING SUMMARY - 9'-3" STALLS

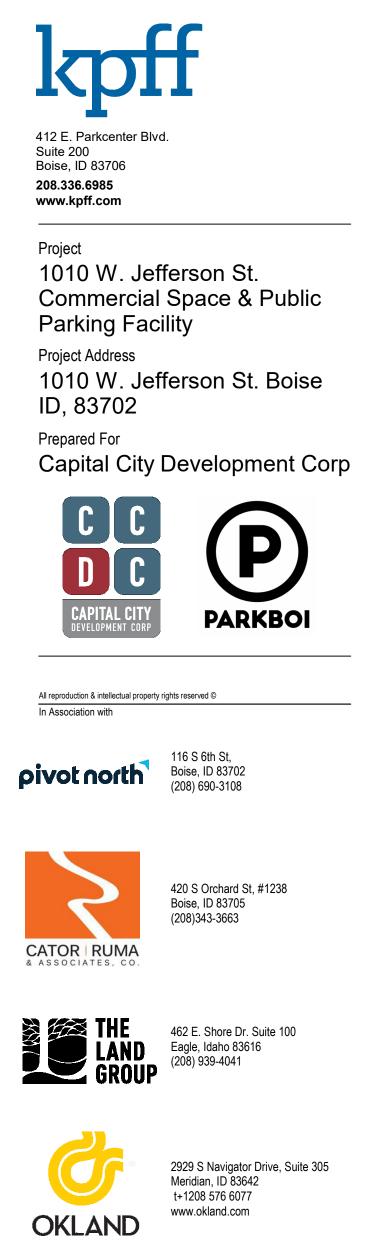
AND VERTICAL TRANSPORTATION.

TOTAL STALL COUNT:441LESS 3% ALLOWANCE*:427

TOTAL SF OF PARKING: 167,662 SF PARKING EFFICIENCY: 167,662 SF / 427 = 393

5 LEVELS OF ELEVATED PARKING 72'-9"

NOTE: PARKING SUMMARY CONSIDERS THAT APPROXIMATELY 5% OF STALLS WILL BE LOST WITH THE INCORPORATION OF FURTHER ANCILLARY SPACES, ACCESS TO ANCILLARY SPACES AND VERTICAL TRANSPORTATION, AND ADDITIONAL STRUCTURAL/ARCHITECTURAL/MEP ELEMENTS.



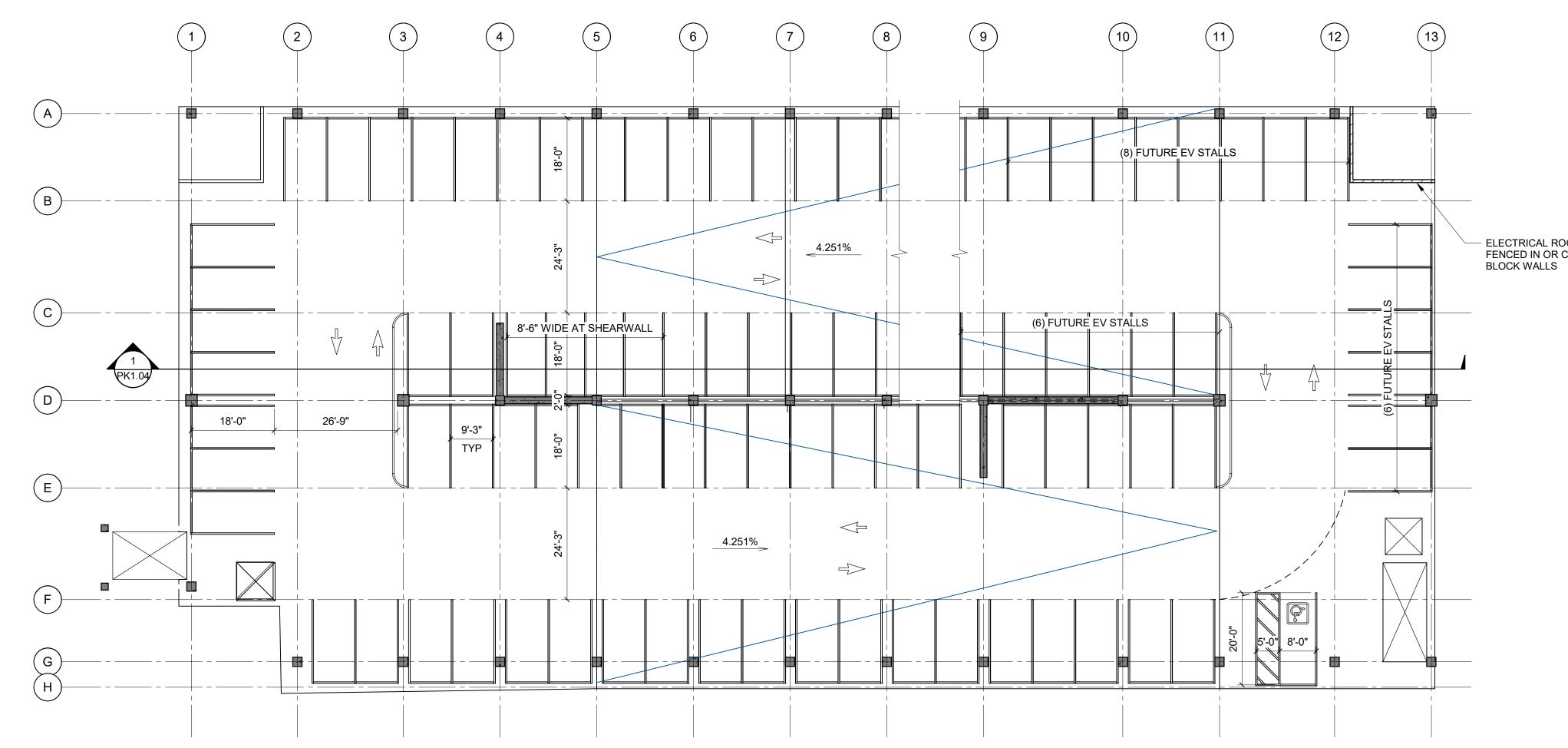
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Key Plan

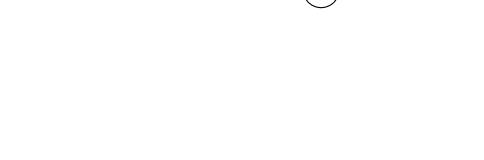
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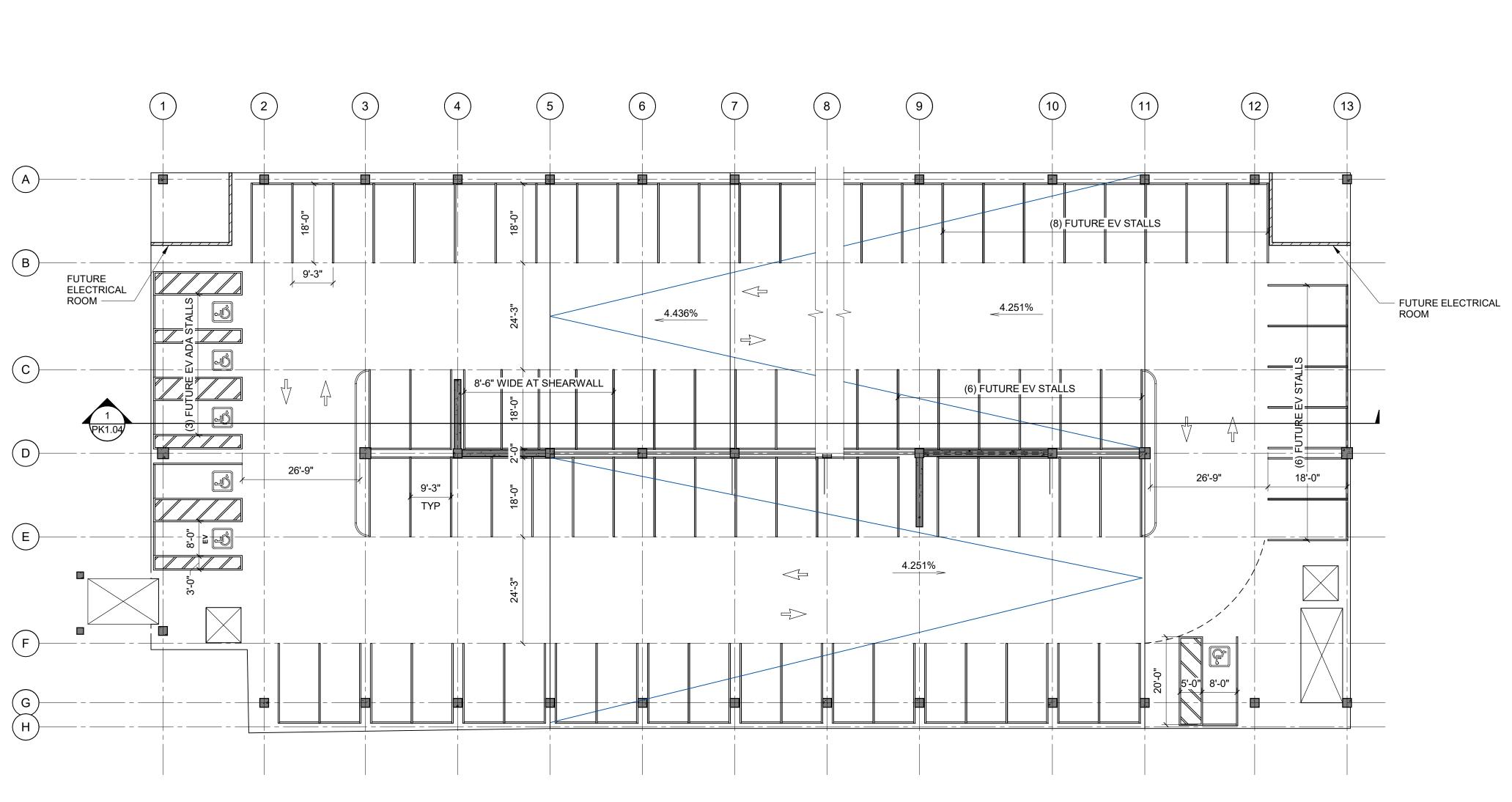
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LEVEL 4 AND LEVEL 5 PARKING PLAN (2)









ELECTRICAL ROOM -FENCED IN OR CMU

No. I	Description	Date
Project No:	25-004	
KPFF Project	No: 10212400187	
Drawn By:	Author	
Checked By:	Checker	
Date:	07/15/2025	
Phase:	50% SCHEMATIC DESIGN	
Sheet Title		

OKLAND

Key Plan

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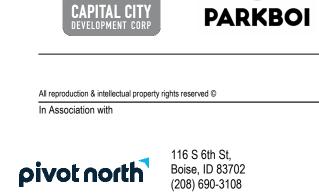
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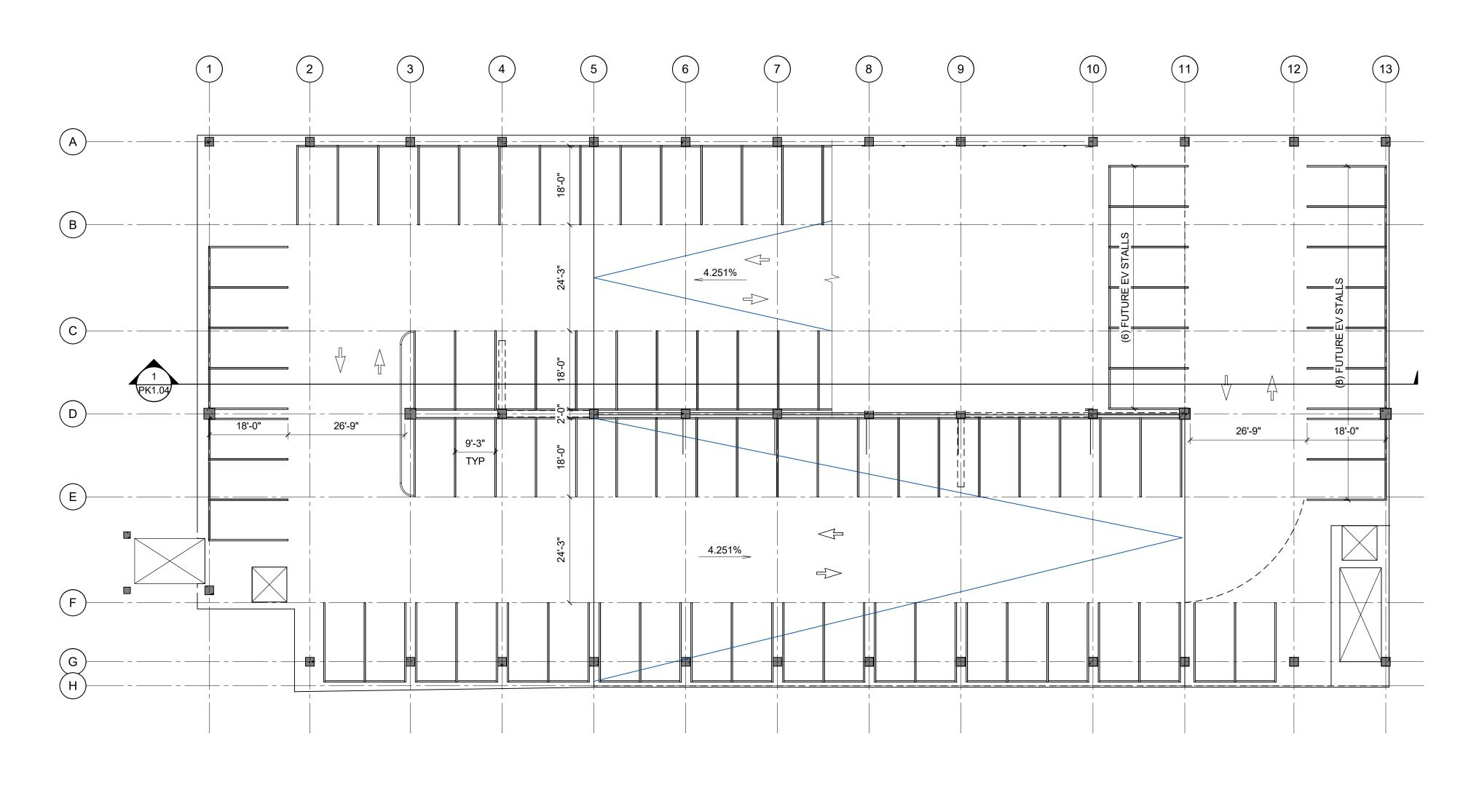
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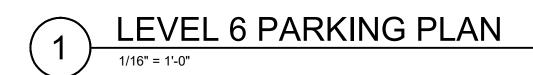


Project 1010 W. Jefferson St. Commercial Space & Public Parking Facility Project Address 1010 W. Jefferson St. Boise ID, 83702

Capital City Development Corp







Project No:	25-004	
PFF Project No:	10212400187	
)rawn By:	Author	
Checked By:	Checker	
Pate: Phase:	07/15/2025 50% SCHEMATIC DESIGN	
Sheet Title		

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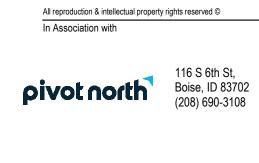
2929 S Navigator Drive, Suite 305 Meridian, ID 83642 t+1208 576 6077 www.okland.com

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420 S Orchard St, #1238 Boise, ID 83705 (208)343-3663



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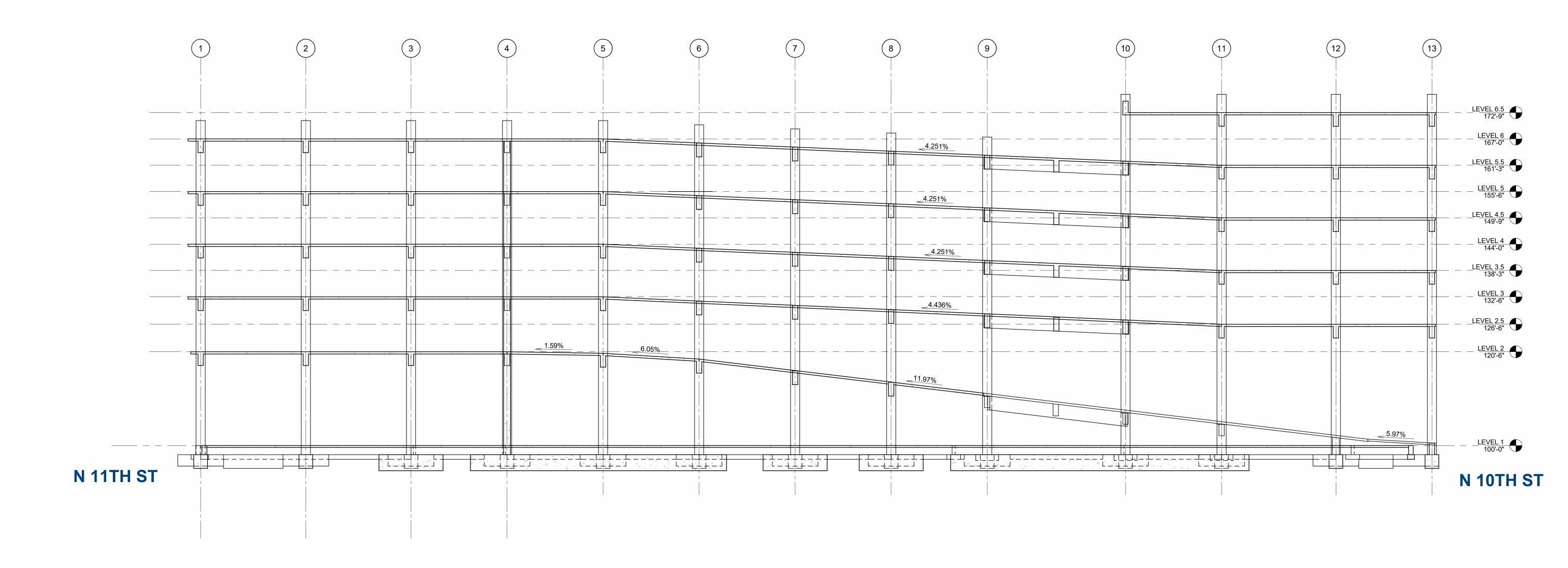
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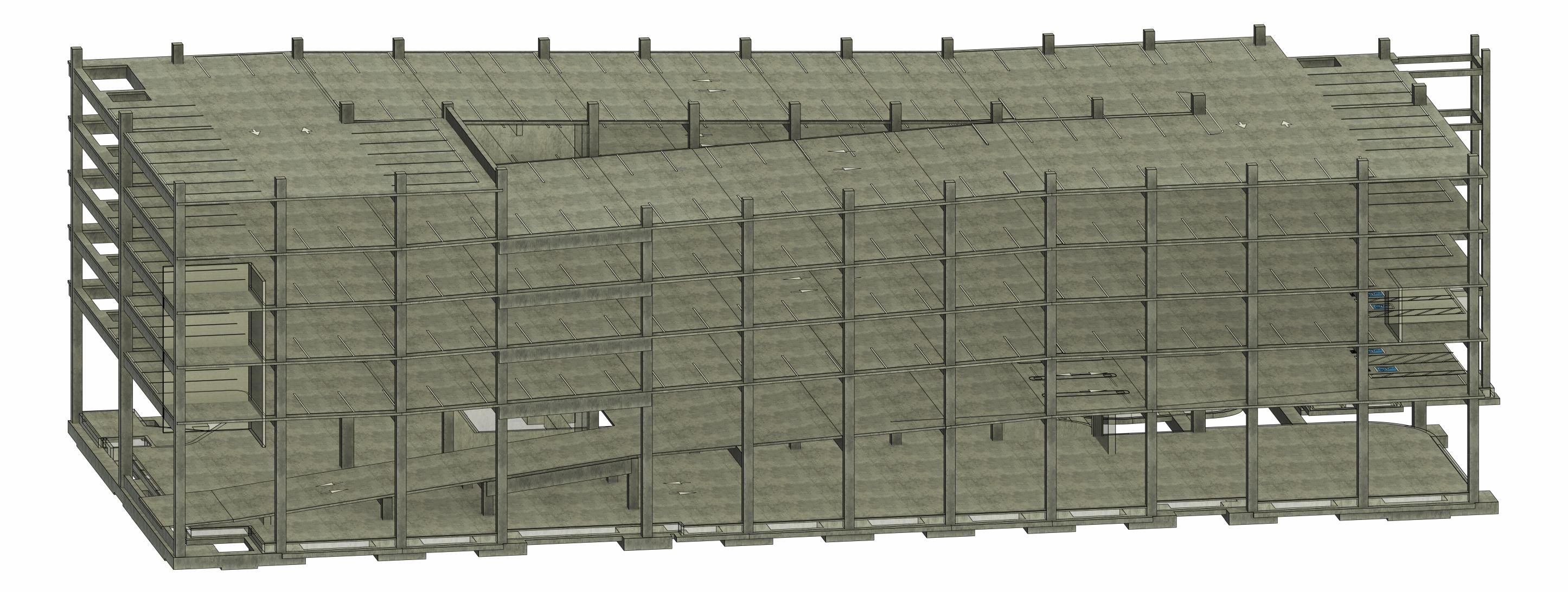
Project 1010 W. Jefferson St. Commercial Space & Public Parking Facility Project Address 1010 W. Jefferson St. Boise ID, 83702 Prepared For Capital City Development Corp



412 E. Parkcenter Blvd. Suite 200 Boise, ID 83706 **208.336.6985** www.kpff.com



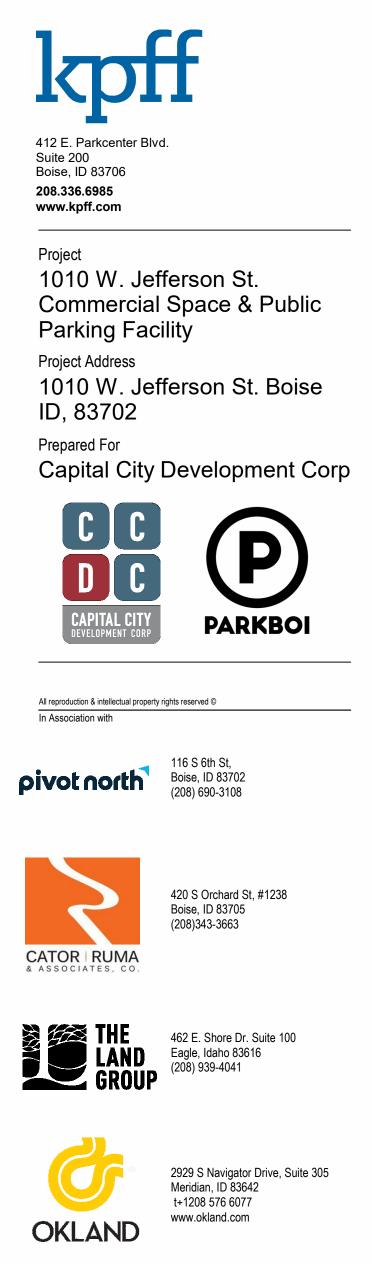
1 LONGITUDINAL BUILDING SECTION (LOOKING PLAN NORTH - ON ALLEY SIDE) 3/32" = 1'-0"



ISOMETRIC VIEW - PARKING LAYOUT

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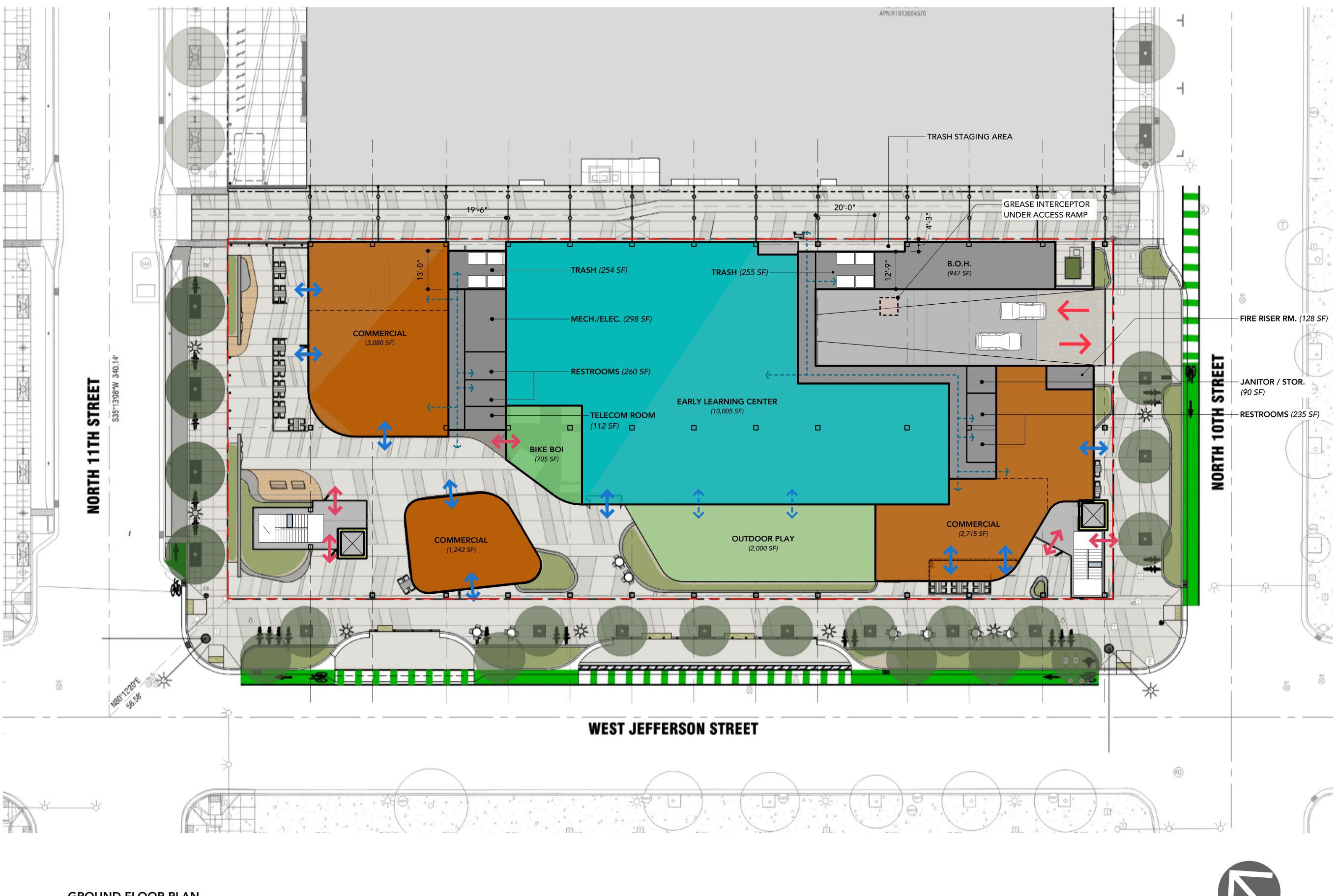


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GROUND FLOOR PLAN

Table 2. Minimum Solid Waste Room Design Specifications			
Non-Residential Development Area*	Minimum Area of Solid Waste Room Including Recycling Space	Roll up Door Opening Dimension	
0—5,000 square feet	192 square feet (16' X 12')	8ft wide door	
5,001—20,000 square feet	256 square feet	10ft wide door	
20,001—50,000 square feet	320 square feet	10ft wide door	
50,001—100,000 square feet	480 square feet	12ft wide door	
100,001—200,000 square feet	575 square feet	12ft wide door	
200,001+	Every additional 25,000 square feet shall require an additional 72 square feet of storage space	16ft wide door	

SCALE: 1/16" = 1'-0"

BASED ON TOTAL GROSS SQ FT (22,531 SF), 320 SF IS REQURIED FOR SOLID WASTE ROOM. PROJECT IS PROVIDING 489 SF

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BIKE BOI EARLY LEARNING CENTER BACK OF HOUSE (MECH./ELEC./RESTROOMS) STAIR / ELEVATOR LOBBIES	705 SF 10,005 SF (ADDITIONAL 2000 SF OUTDOOR PLAY) 3,667 SF 1,117 SF
TOTAL GROUND FLOOR AREA:	22,531 SF

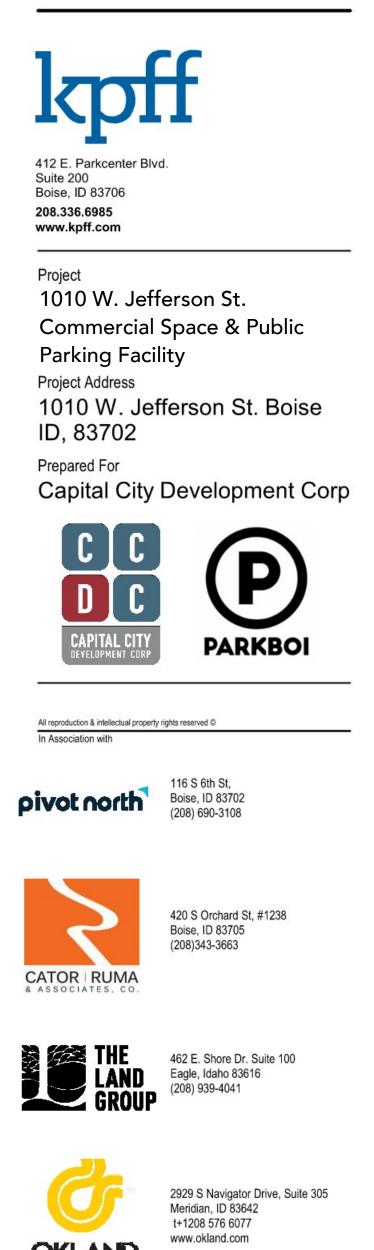
LONG TERM BIKE PARKING REQUIREMENT: (2 SPACES PER USE PLUS 1 ADDITIONAL SPACE FOR EVERY 2000 S.F.)

TOTAL COMMERCIAL / LEARNING CENTER AREA LONG TERM BIKE PARKING REQUIRED

17,042 SF (17,042 / 2,000 = 8.521)2 + 9 = 11 SPACES

LONG TERM PARKING SPACES PROVIDED

42 SPACE (IN BIKE BOI)



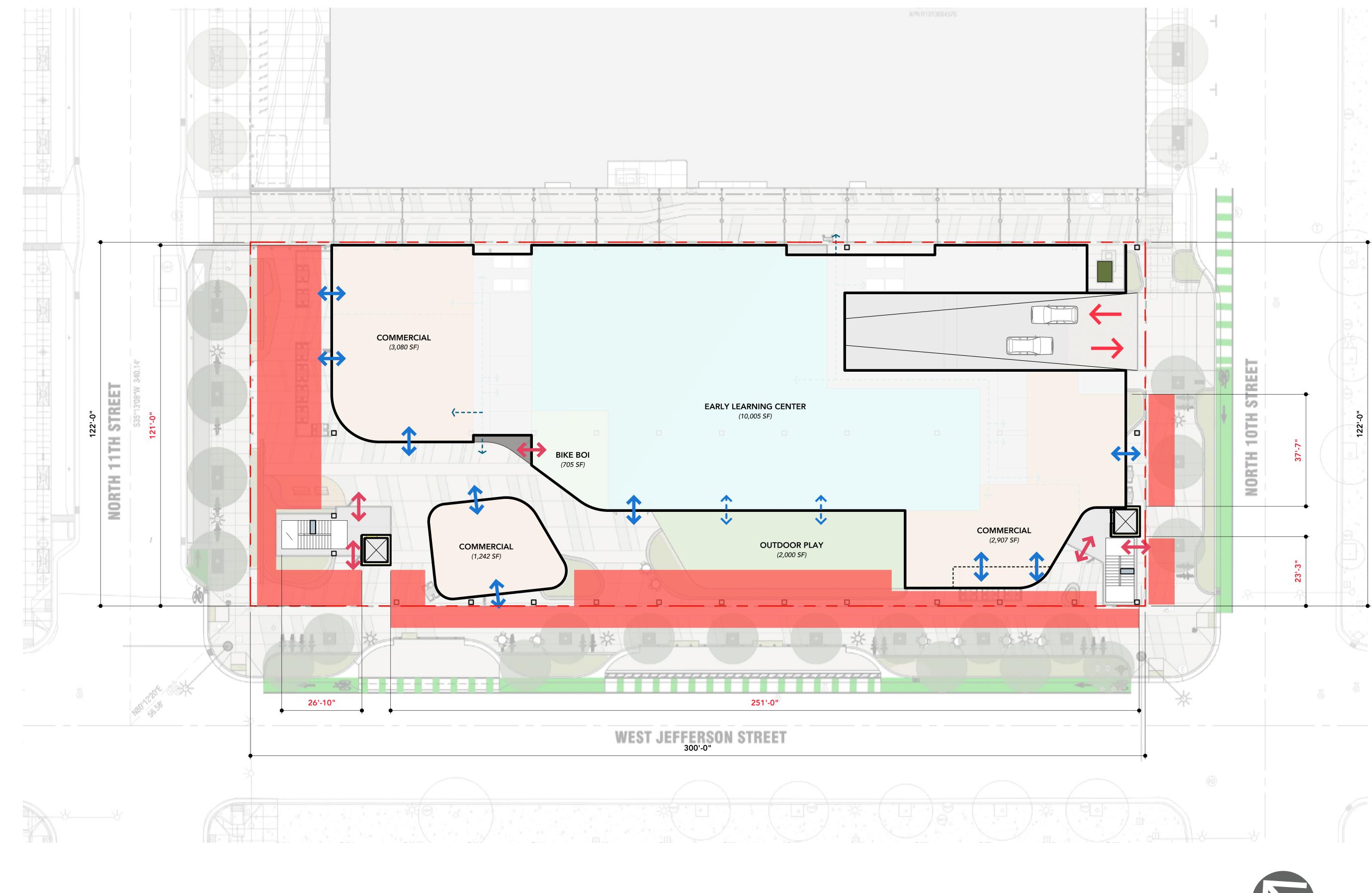
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GROUND FLOOR ACTIVATION PLAN

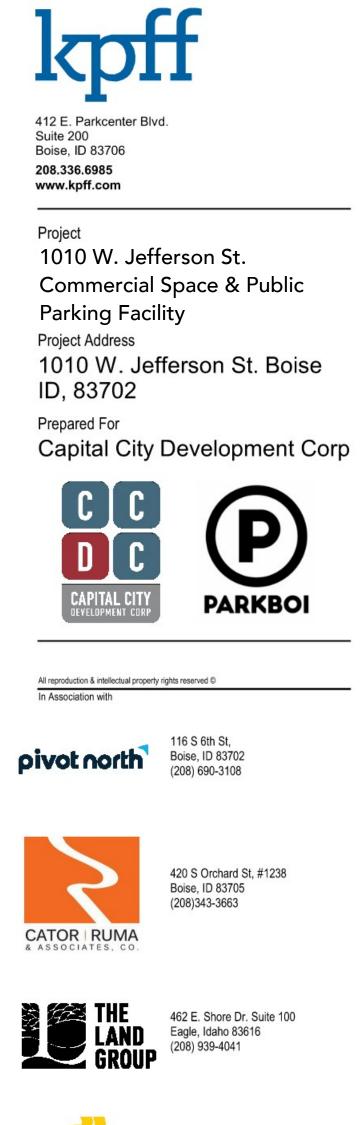
SCALE: 1/16" = 1'-0"

TOTAL LINEAL FOOTAGE OF GROUND FLOOR (ALONG 11TH/JEFFERSON/10TH) TOTAL LINEAL FOOTAGE REQUIRED TO BE ACTIVATED (80%) TOTAL LINEAL FOOTAGE OF ACTIVATED GROUND FLOOR PROVIDED (84.7%)



544 LF 435 LF

461 LF





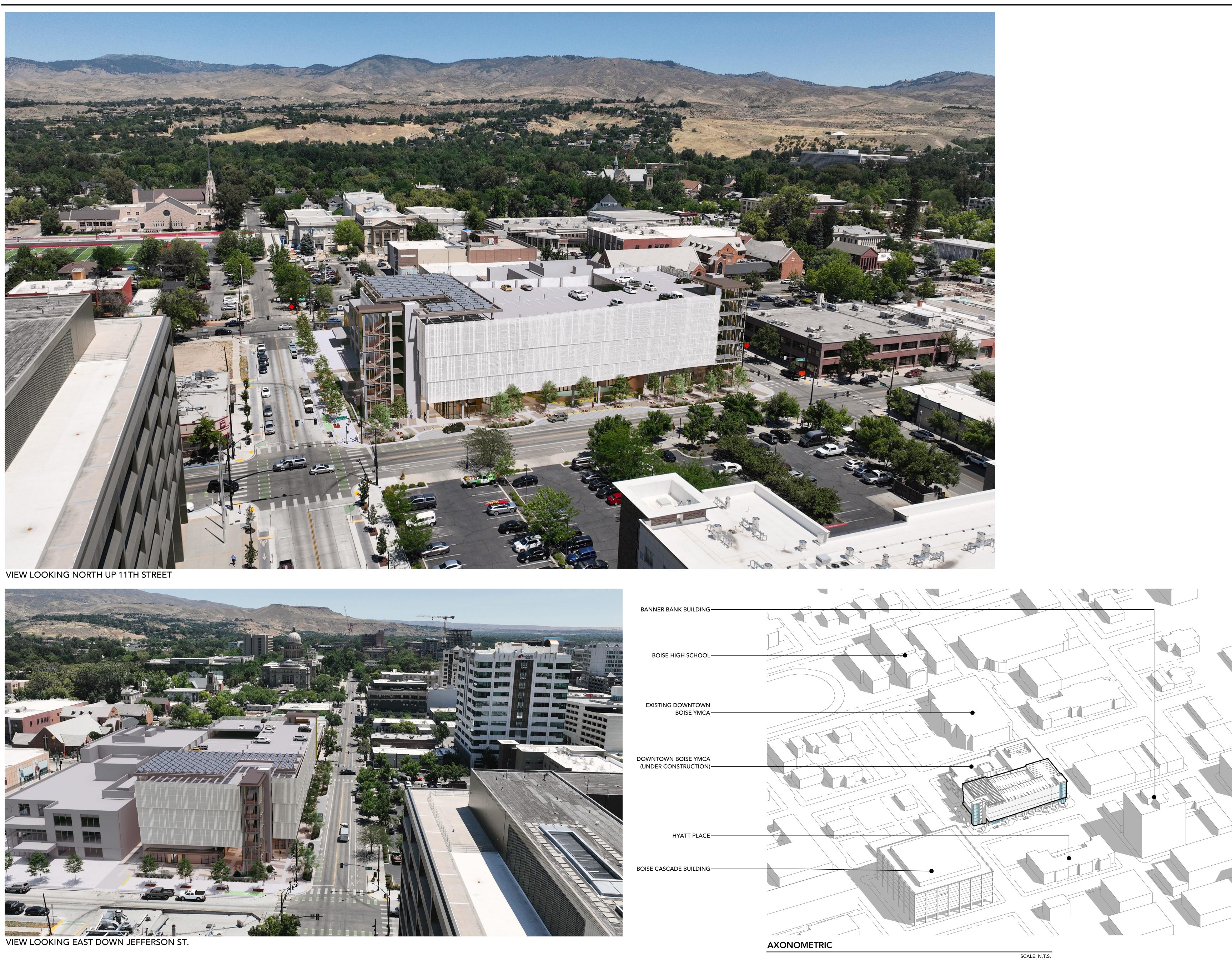
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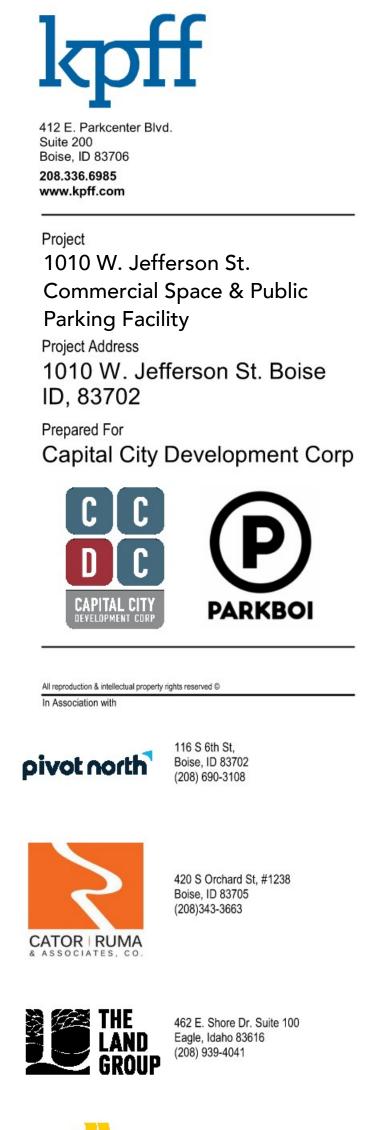
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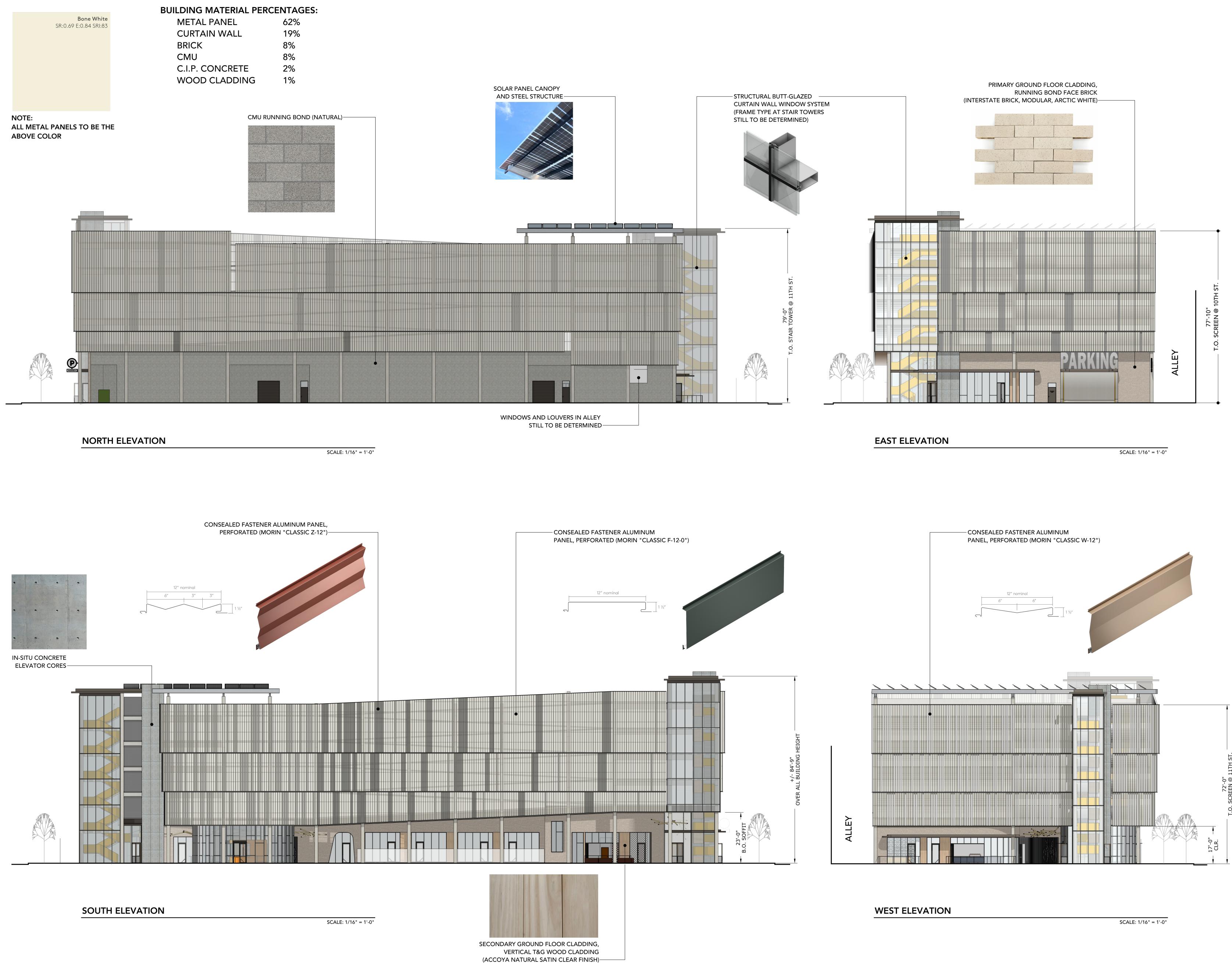


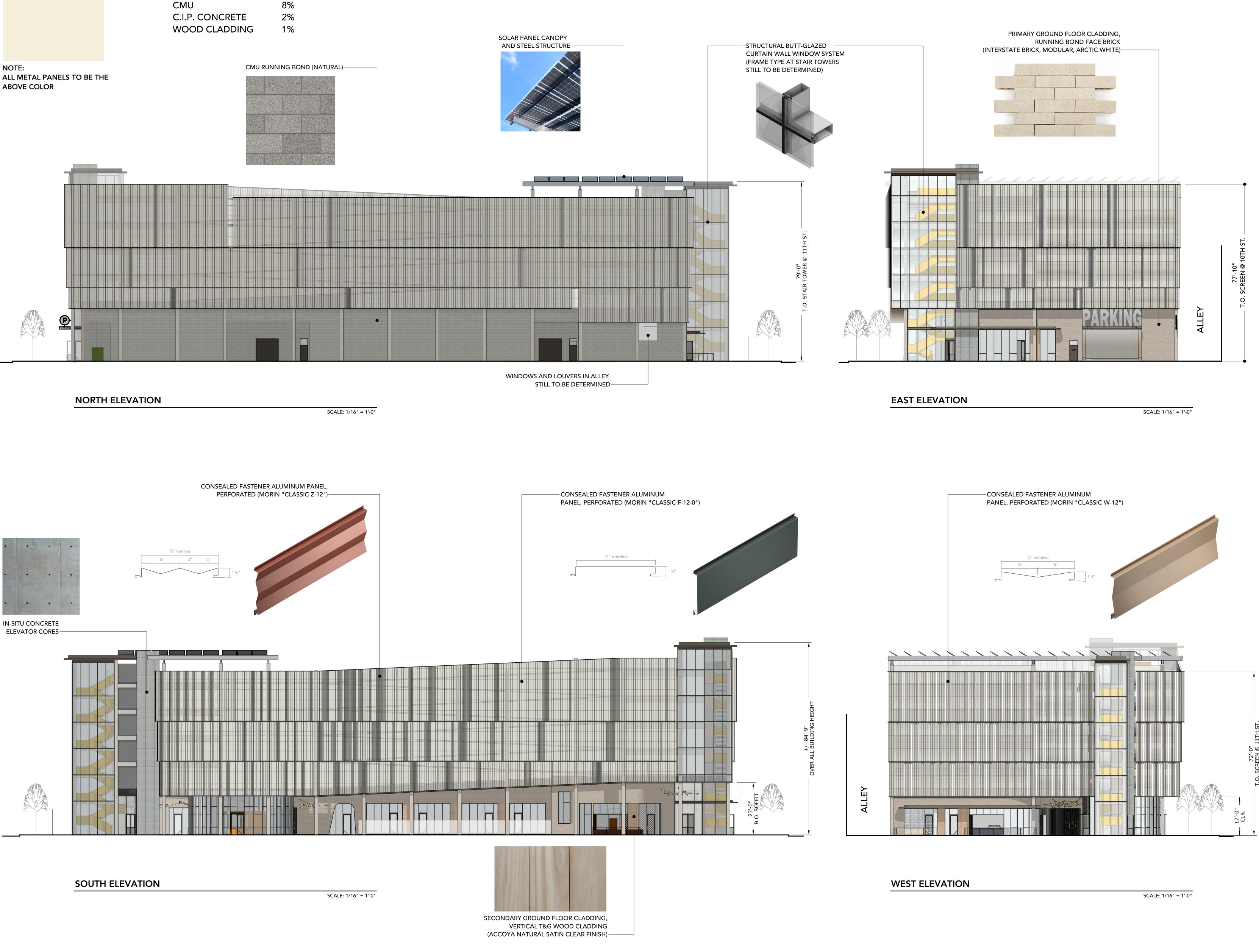
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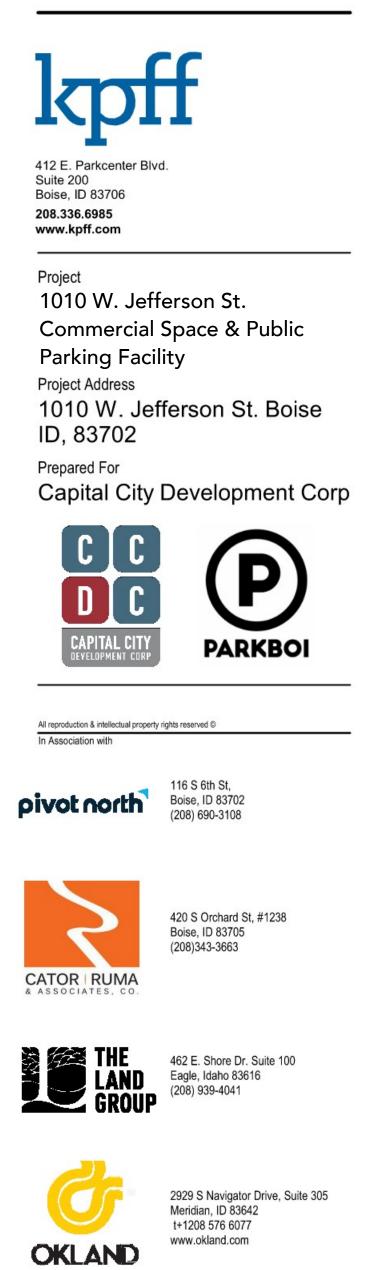
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VIEW LOOKING WEST DOWN JEFFERSON ST.



VIEW LOOKING NORTH UP 10TH ST.



VIEW LOOKING NORTH FROM CHERIE BUCKNER-WEBB PARK



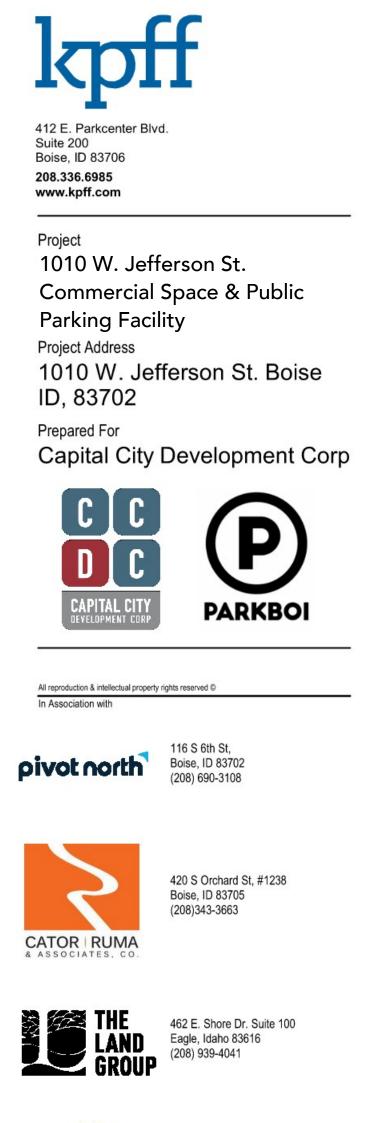
VIEW LOOKING EAST DOWN JEFFERSON ST.



VIEW LOOKING SOUTH FROM STATE ST. ALONG 11TH ST.



VIEW LOOKING SOUTH DOWN 10TH ST.





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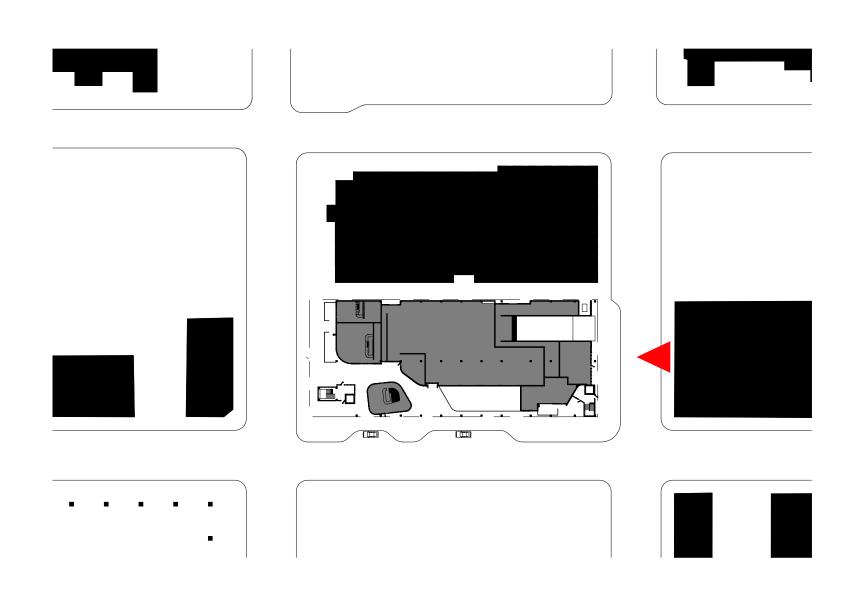
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VIEW LOOKING ACROSS 10TH STREET











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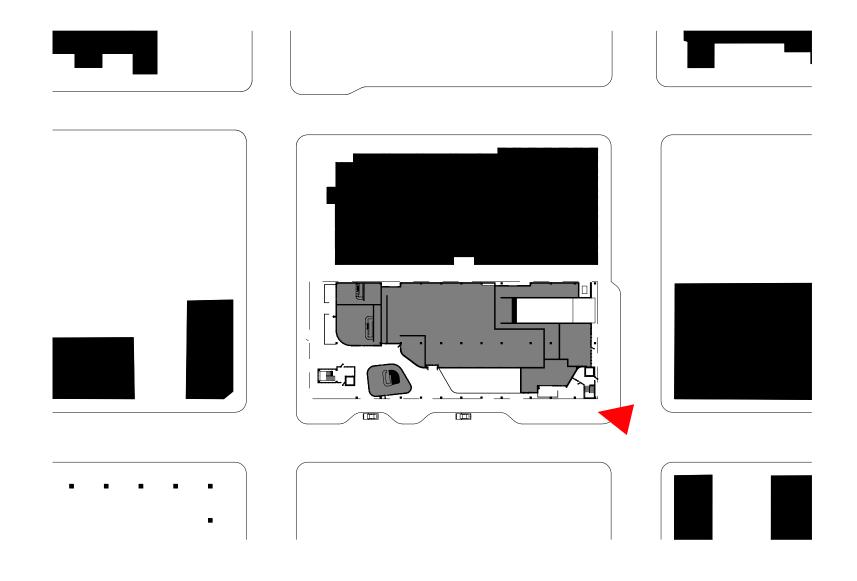
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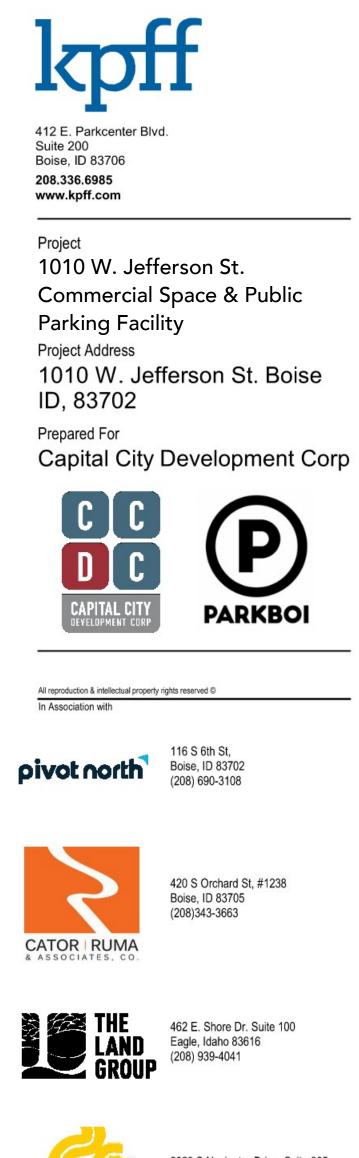
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VIEW LOOKING WEST ALONG JEFFERSON STREET @ 10TH STREET CORNER







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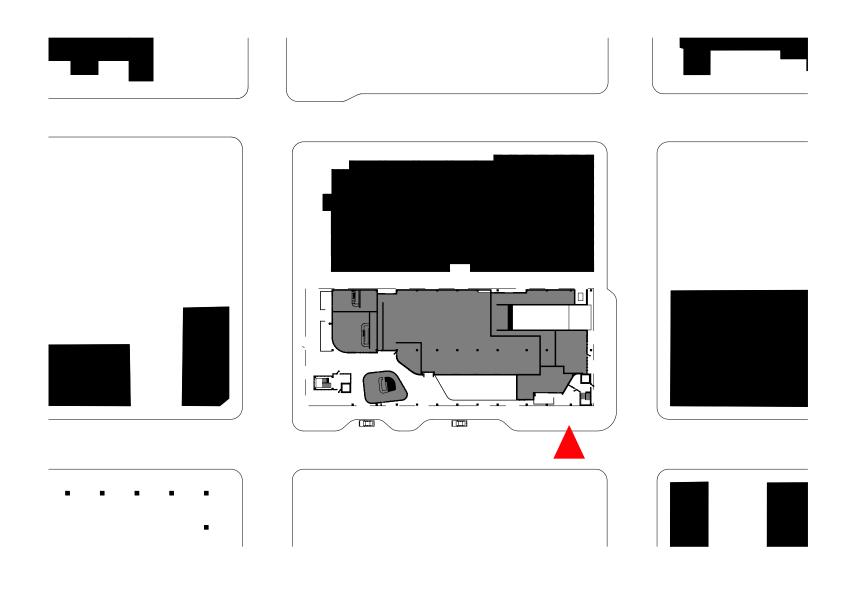
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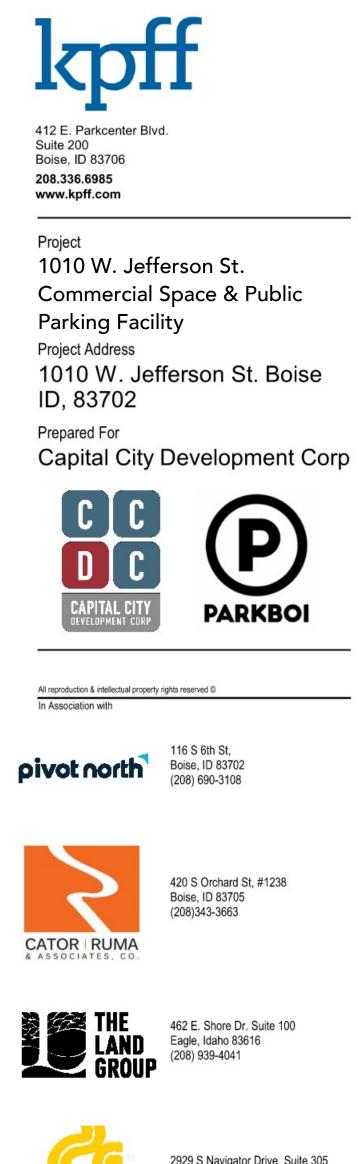
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EVENING VIEW LOOKING AT 10TH AND JEFFERSON STREET ACTIVATION







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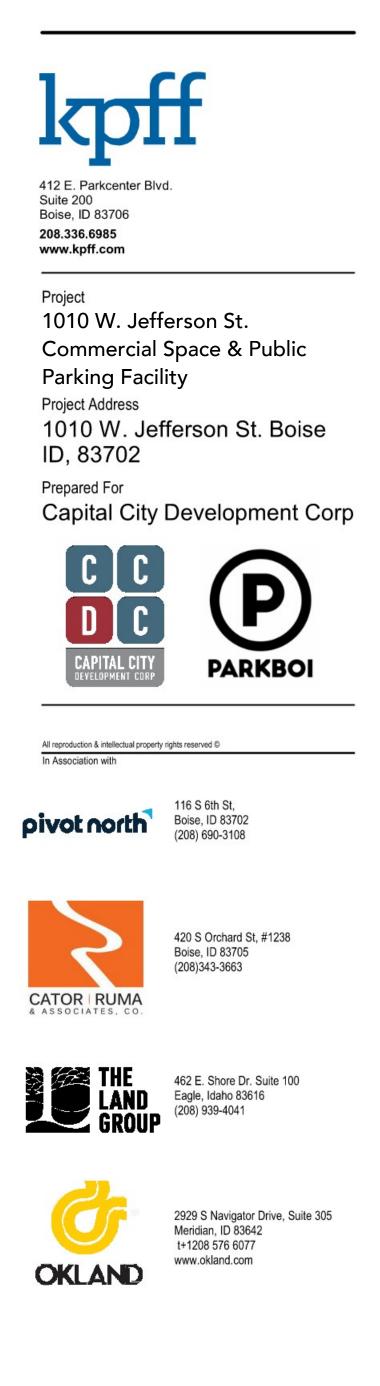
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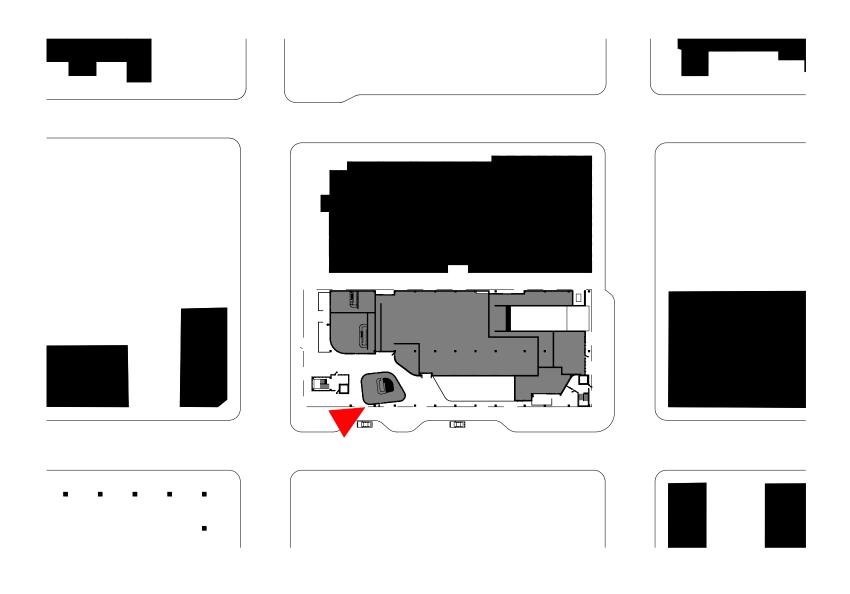
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VIEW LOOKING AT THE "JELLY BEAN" SMALL COMMERCIAL SPACE ALONG JEFFERSON STREET









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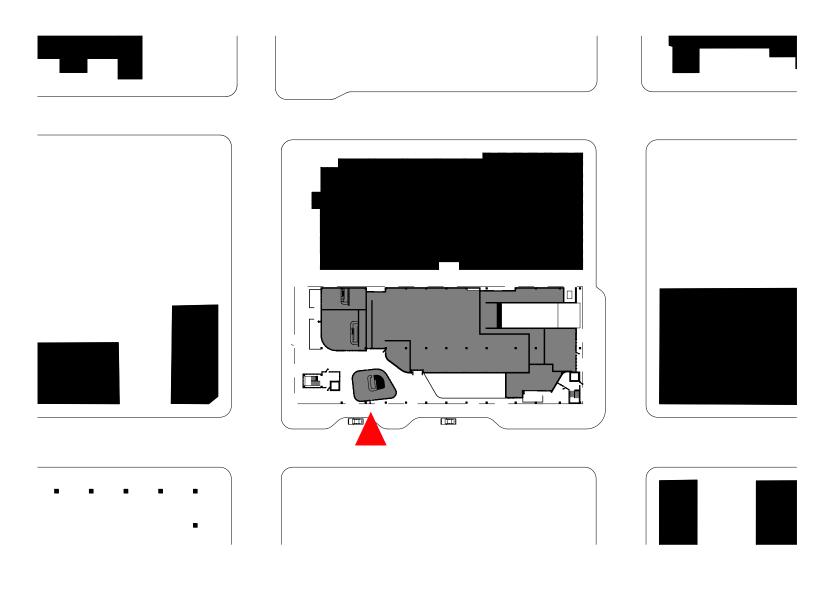
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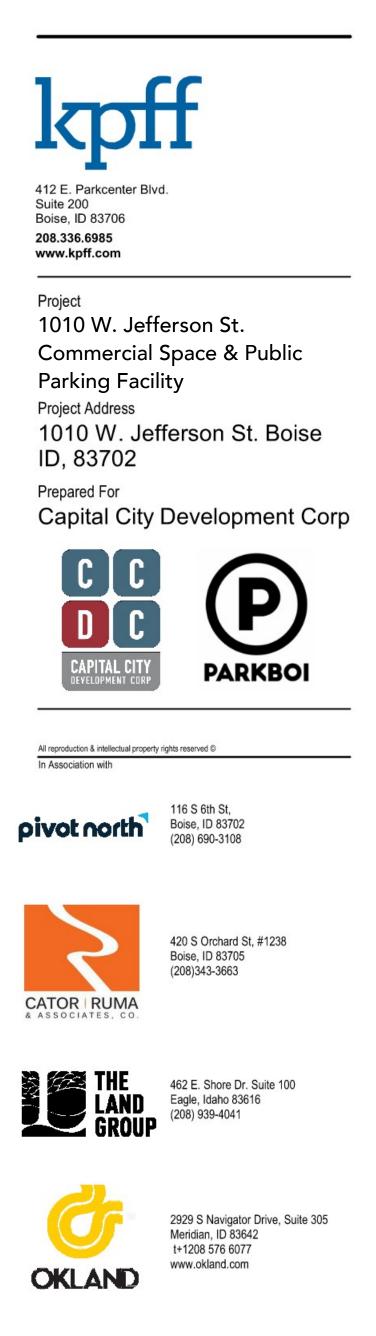
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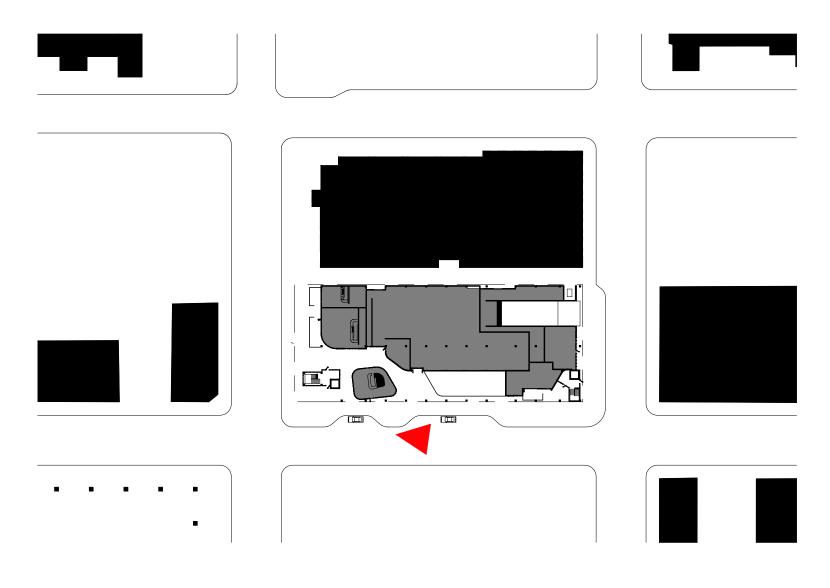
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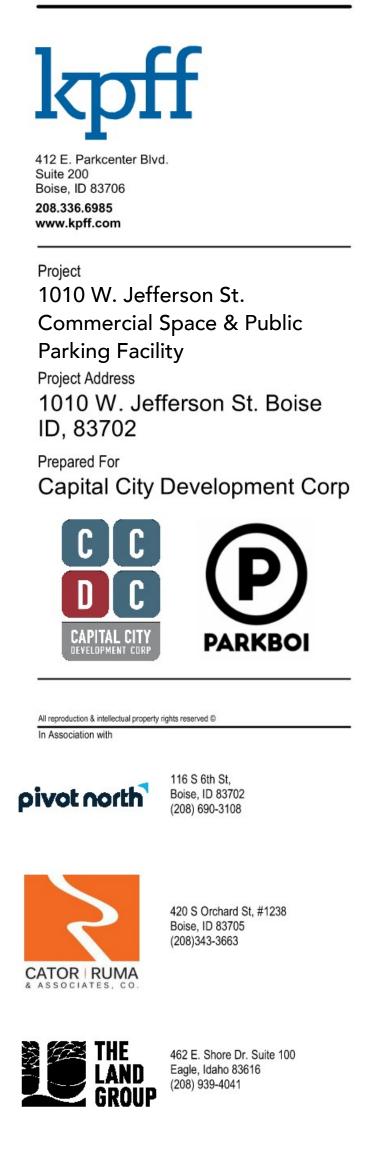
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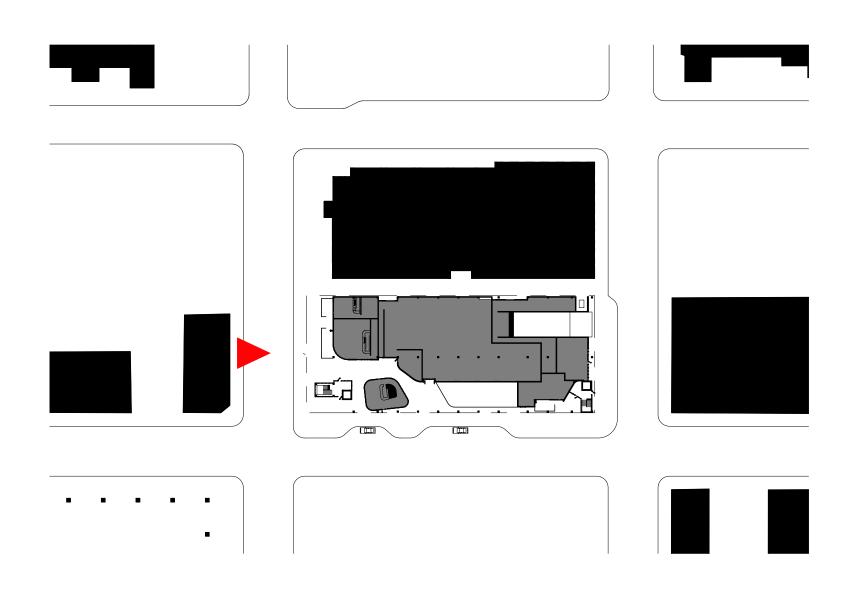
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VIEW LOOKING ACROSS 11TH STREET











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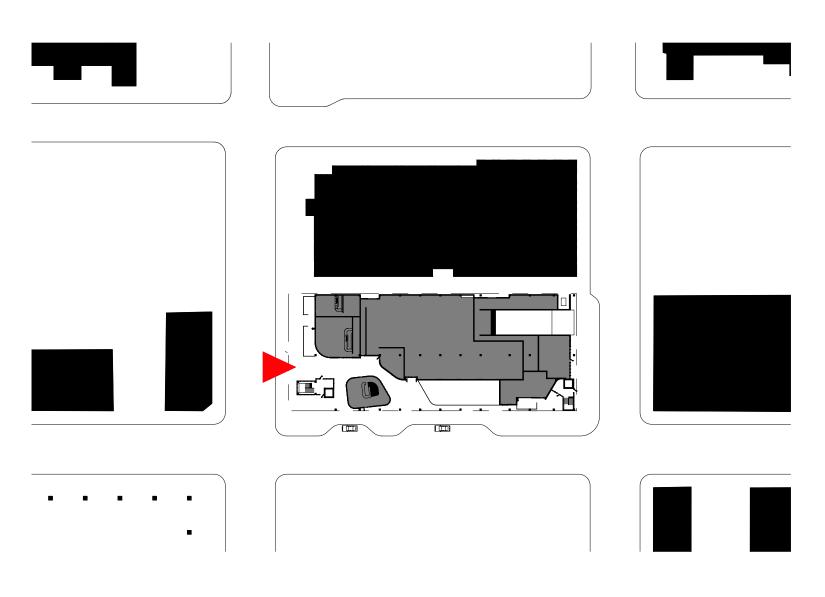
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VIEW AT 11TH STREET LOOKING ACROSS PLAZA TO BREEZEWAY









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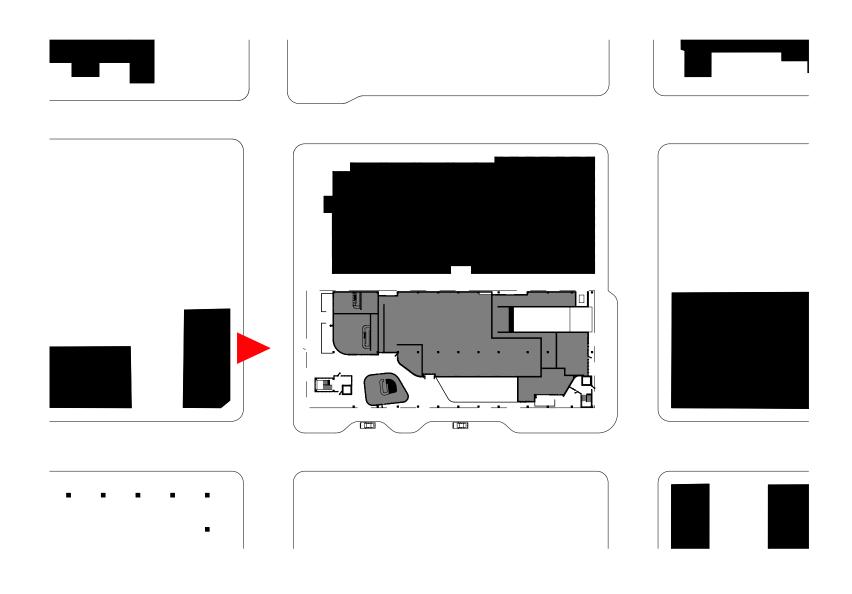
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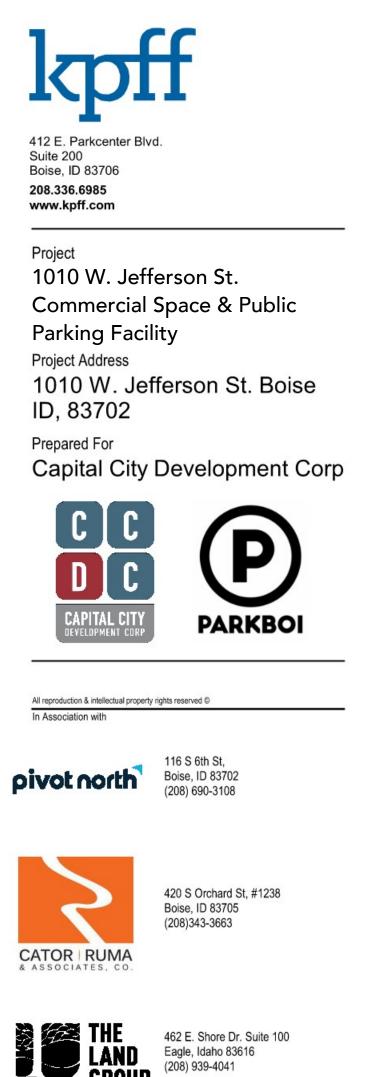
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EVENING VIEW LOOKING EAST ACROSS 11TH STREET









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