



412 E. Parkcenter Blvd  
Suite 200  
Boise, ID 83706  
**208.336.6985**  
**[www.kpff.com](http://www.kpff.com)**

Project Address  
1010 W. Jefferson St. Boise  
ID, 83702



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(208) 690-3108



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420 S Orchard St, #123  
Boise, ID 83705  
(208)343-3663

462 E. Shore Dr. Suite 1  
Eagle, Idaho 83616  
(208) 939-4041



2929 S Navigator Drive, Suite 30  
Meridian, ID 83642  
t+1208 576 6077  
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### Key Plan

Professional Seals

No.	Description	Date
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Project No: 25-00

KPFF Project No:

Drawn By:

Checked By:

Date: 07.23.2025

Phase: 50% SCHEMATIC DESIGN

Sheet Title

COVER PAGE

Original is 42 x 30. Do not scale contents of this drawing.

Sheet Number



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Project  
1010 W. Jefferson St.  
Commercial Space & Public  
Parking Facility

Project Address  
1010 W. Jefferson St. Boise  
ID, 83702

Prepared For  
Capital City Development Co.

C

C

D

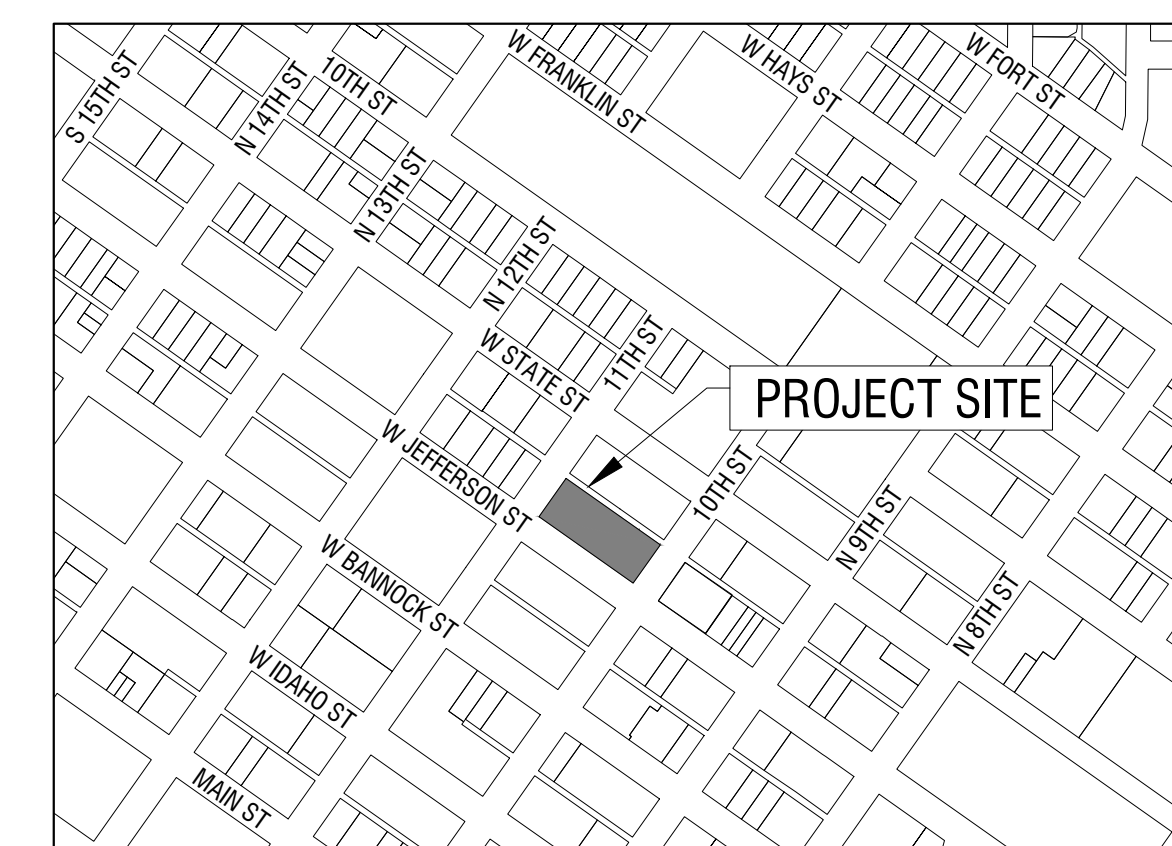
C

CAPITAL CITY

DEVELOPMENT CO.

P


**PARKBOI**



ASSESSOR'S PARCEL:	R1013004558
ZONING	MX-5
ADDRESS:	1010 W. JEFFERSON STREET, BOISE

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS PLAN - AREA A
C1.01	EXISTING CONDITIONS PLAN - AREA B
C2.00	SITE PLAN - AREA A
C2.01	SITE PLAN - AREA B
C2.50	SITE DETAILS
C5.00	DRAINAGE AND UTILITY PLAN - AREA A
C5.01	DRAINAGE AND UTILITY PLAN - AREA B
L1.00	LANDSCAPE PLAN - AREA A
L1.01	LANDSCAPE PLAN - AREA B

**pivot north**



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**THE  
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### Key Plan

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CONSTRUCTION**

[illegible]

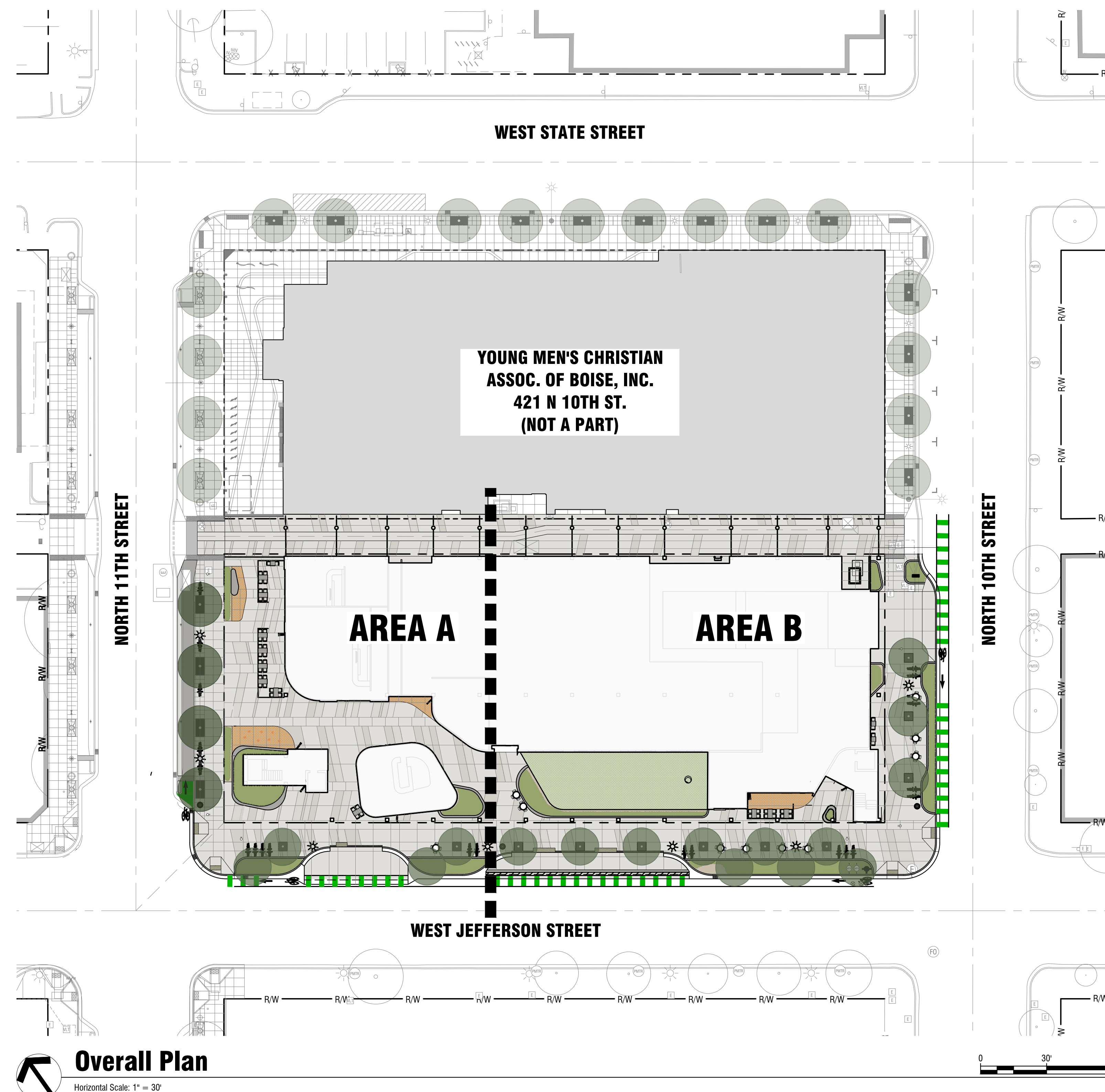
Project No:	25-004
KPFF Project No:	10212400187
Drawn By:	DRW
Checked By:	CHK
Date:	07/02/2025
Phase:	DESIGN REVIEW
Sheet Title	

Cover Sheet

Original is 42 x 50. Do not scale contents of this drawing.

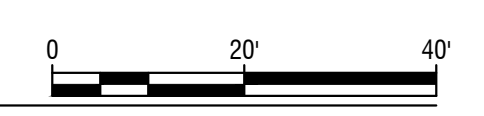
Sheet Number

C0.00



 **Overall Plan**  
Horizontal Scale: 1" = 30'





C0.50





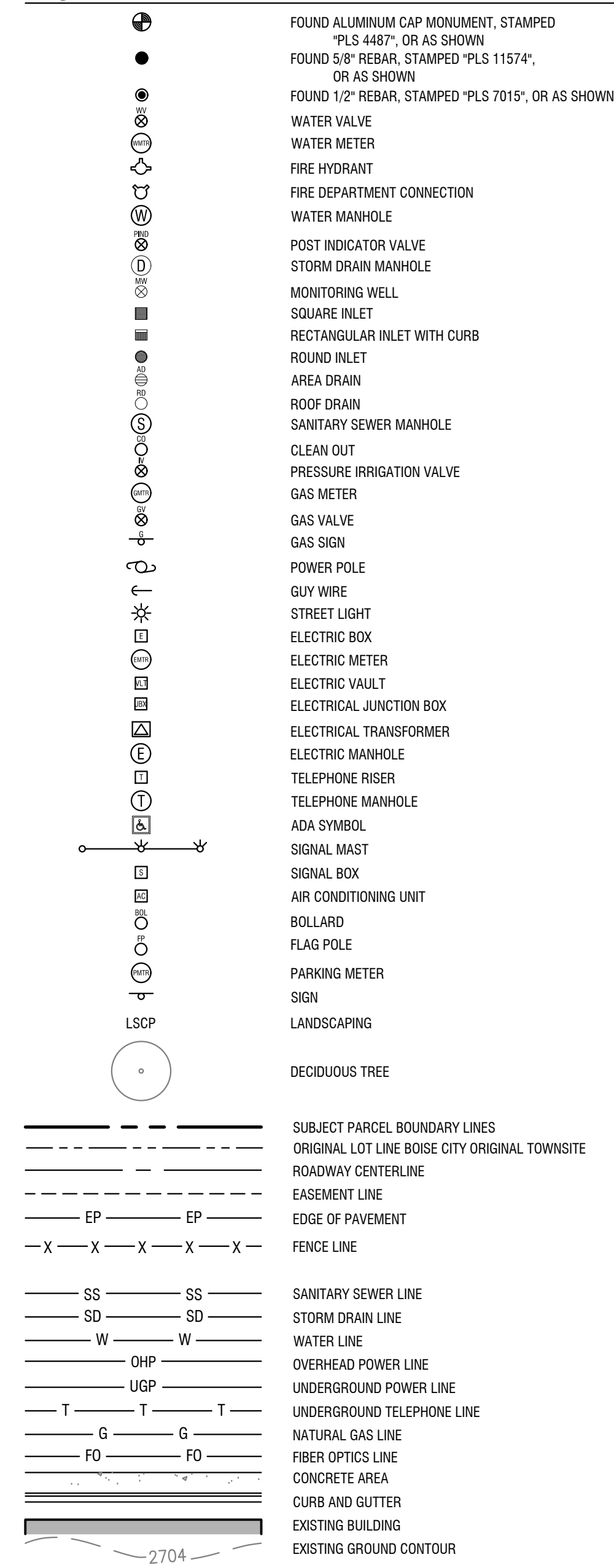
FOUND ALUMINUM CAP MONUMENT, STAMPED  
"PLS 1487", OR AS SHOWN  
FOUND 5/8" REBAR, STAMPED "PLS 11574",  
OR AS SHOWN  
FOUND 1/2" REBAR, STAMPED "PLS 7015", OR AS SHOWN  
WATER VALVE  
WATER METER  
FIRE HYDRANT  
FIRE DEPARTMENT CONNECTION  
WATER MANHOLE  
POST INDICATOR VALVE  
STORM DRAIN MANHOLE  
MONITORING WELL  
SQUARE INLET  
RECTANGULAR INLET WITH CURB  
ROUND INLET  
AREA DRAIN  
ROOF DRAIN  
SANITARY SEWER MANHOLE  
CLEAN OUT  
PRESSURE IRRIGATION VALVE  
GAS METER  
GAS VALVE  
GAS SIGN  
POWER POLE  
GUY WIRE  
STREET LIGHT  
ELECTRIC BOX  
ELECTRIC METER  
ELECTRIC VAULT  
ELECTRICAL JUNCTION BOX  
ELECTRICAL TRANSFORMER  
ELECTRIC MANHOLE  
TELEPHONE RISER  
TELEPHONE MANHOLE  
ADA SYMBOL  
SIGNAL MAST  
SIGNAL BOX  
AIR CONDITIONING UNIT  
BOLLARD  
FLAG POLE  
PARKING METER  
SIGN  
LANDSCAPING  
DECIDUOUS TREE  
  
SUBJECT PARCEL BOUNDARY LINES  
ORIGINAL LOT LINE BOSE CITY ORIGINAL TOWNSITE  
ROADWAY CENTERLINE  
EASEMENT LINE  
EDGE OF PAVEMENT  
FENCE LINE  
  
SANITARY SEWER LINE  
STORM DRAIN LINE  
WATER LINE  
OVERHEAD POWER LINE  
UNDERGROUND POWER LINE  
UNDERGROUND TELEPHONE LINE  
NATURAL GAS LINE  
FIBER OPTICS LINE  
CONCRETE AREA  
CURBS AND GUTTER  
EXISTING BUILDING  
EXISTING GROUND CONTOUR

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Sheet Number

C1.00

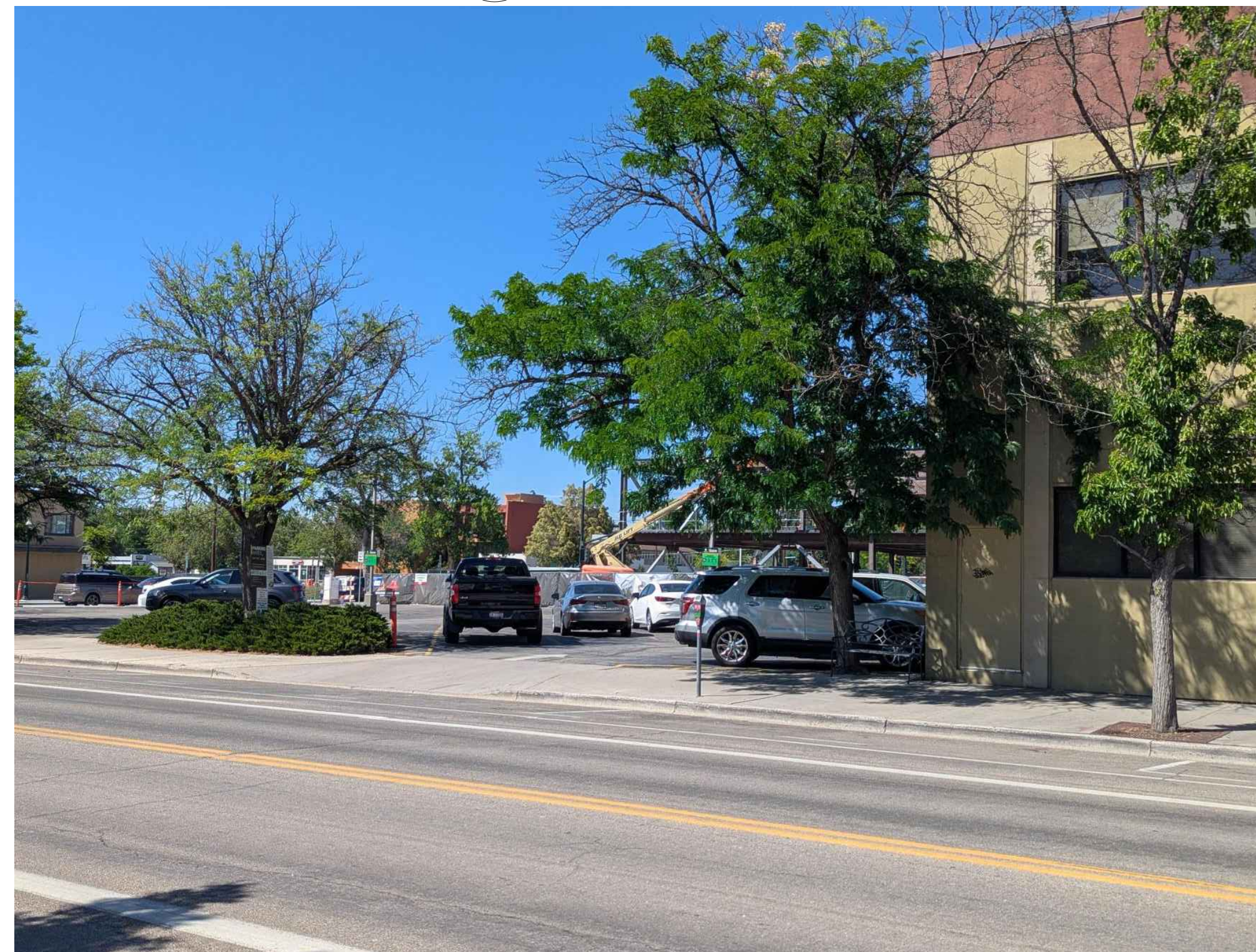
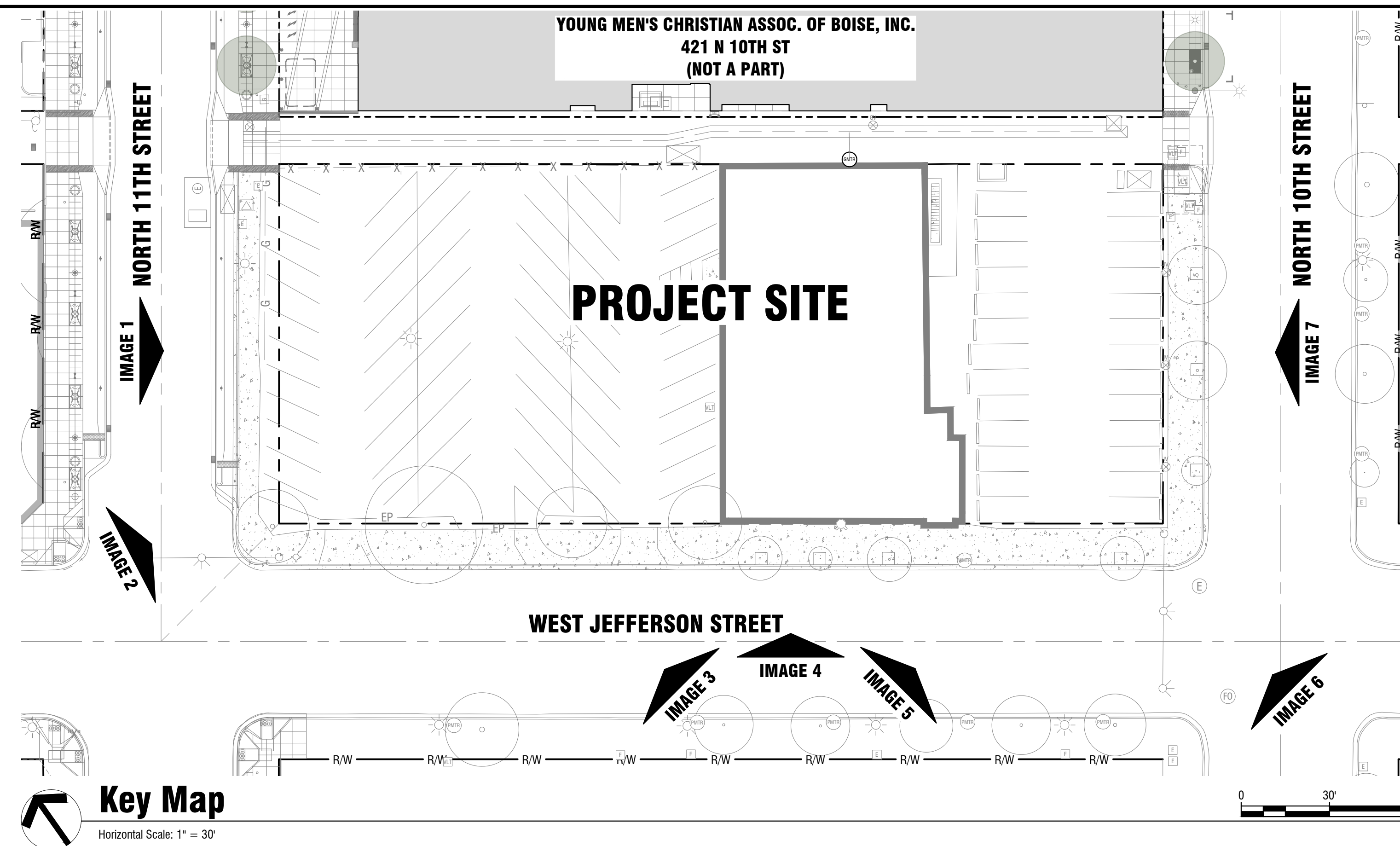




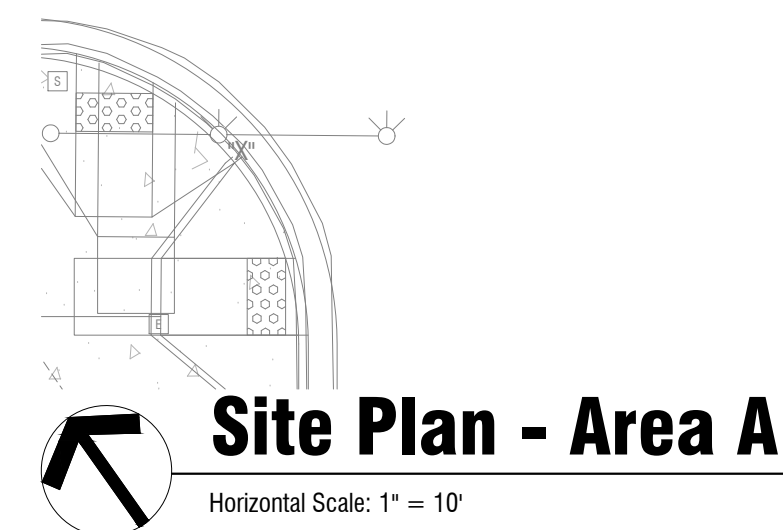
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C1.01









**YOUNG MEN'S CHRISTIAN ASSOC. OF BOISE, INC.**  
**421 N 10TH ST**  
**(NOT A PART)**

## MATCHLINE

## PROPOSED BUILDING

PRIVATE OUTDOOR SPACE, SEE ARCHITECTURAL  
DRAWINGS FOR MORE INFORMATION.

**WEST JEFFERSON STREET**

**Sheet Notes:**

- A. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS.
  - B. REFER CLOSELY TO BUILDING LAYOUT DRAWINGS IN RELATION TO LAYOUT ITEMS.
  - C. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS OR CENTER OF POST.
- PROVIDE JOINTS AS SHOWN ON PLANS. JOINTS ARE AN INTEGRAL PART OF THE DESIGN AND SHALL NOT VARY FROM PATTERNS AND LOCATIONS SHOWN. CONTRACTOR SHALL REMOVE ANY FLATWORK THAT DOES NOT CONFORM TO THE DESIGN.
- E. FIRE ACCESS PROVIDED VIA ADJACENT STREETS AND ALLEYS.
  - F. TRASH STORAGE LOCATED IN BUILDING STRUCTURE.

### Keynotes:

1. EXISTING 11TH ST BIKEWAY IMPROVEMENTS.
  - 1.1. CURB AND GUTTER.
  - 1.2. RAISED BIKE LANE. CONCRETE TO BE REPLACED. INTEGRAL COLOR TO MATCH 11TH ST STANDARD.
  - 1.3. RAISED BIKE LANE RAMP.
  - 1.4. PARKING METERS.
  - 1.5. TACTILE WARNING TILES.
  - 1.6. DRIVE APPROACH.
2. PROPOSED CURB AND GUTTER PER ACD STANDARDS.
3. PROPOSED CURB TRANSITION.
4. PROPOSED FLUSH CURB AT ADA AND LOADING.
5. PROPOSED PEDESTRIAN RAMP PER ACD STANDARDS.
6. PROPOSED DRIVE APPROACH.
7. PROPOSED VALLEY GUTTER PER ACD STANDARDS.
8. PROPOSED TIE GRATE PER CITY OF BOISE STANDARD. TYPE "KIVA" CAST IRON WITH NATURAL RAIN WASH BY URN ACCESSORIES. SIZE: 4'x 8, ADA COMPLIANT, SEE DETAIL 2/C2/50
- 8.1. SIMILAR, SIZE: 4'x4, SIMILAR DETAIL 2/C2/50.
9. PROPOSED CITY OF BOISE STANDARD HISTORIC STREET LIGHT PER. SEE DETAIL 3/C3/50
10. PROPOSED BIKE RACK. SEE DETAIL 4/C2/50
11. PROPOSED 10' X 8' VERTICAL CONCRETE CURB.
12. PROPOSED CAST-IN-PLACE CONCRETE SEAT.
13. PROPOSED SITE WALLS, WIDTH Varies.
- 13.1. 18" TALL SEATWALL, WIDTH VARIES
- 13.2. 48" TALL SCREEN WALL, PERMEABLE METAL PANELS TO MATCH GARAGE CLADDING.
14. TABLE AND CHAIRS.
- 14.1. PUBLIC.
15. DETECTABLE WARNING TILES.
- 15.1. DOMES.
- 15.2. DIRECTIONAL.
16. BIKE LANE STRIPING.
17. BOLLARD TO MATCH STANDARD ALONG 11TH ST BIKEWAY. SEE DETAIL 1/C2/50.
18. ON-STREET LOADING ZONE.
19. ON-STREET ADA PARKING SPACE.
20. PARKING GARAGE SIGN.
21. FESTOON LIGHTING AT ALLEY. HEIGHT COMPLIANT WITH ACD STANDARDS.
22. INTERACTIVE SITE FURNITURE.
23. PROPOSED THE HYDRANT.
24. TRASH RECEPTACLE PER DOWNTOWN BOISE STREETScape STANDARDS.

**Material Legend:**

### Bike Parking Calculations:

PROPOSED RETAIL & BUSINESS SPACE = 17,042 SF  
CODE REQUIRED SHORT TERM PARKING = 2 PLUS 1 ADDITIONAL SPACE PER 1,000 SF  
REQUIRED SHORT TERM BIKE SPACES = 2 + 18 = **20 SPACES**

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### Key Plan

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Project No: 25-004  
KPEF Project No: 10212400187  
Drawn By: DRW  
Checked By: CHK  
Date: 07/02/2025  
Phase: DESIGN REV

Sheet Title

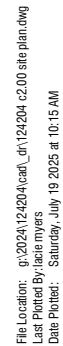
Site Plan - Area A

Original is 42 x 50. Do not scale contents of this drawing.

Sheet Number

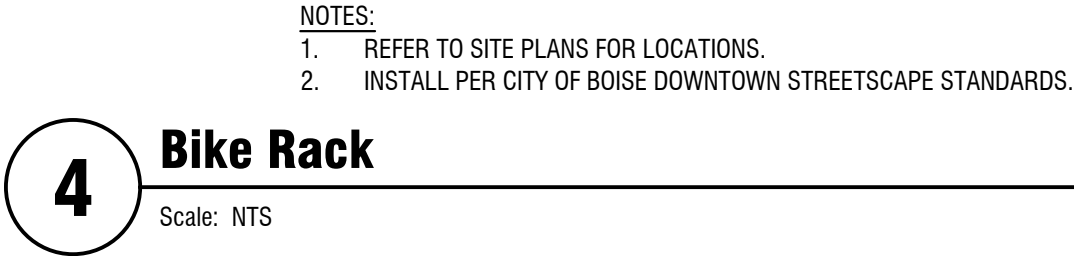
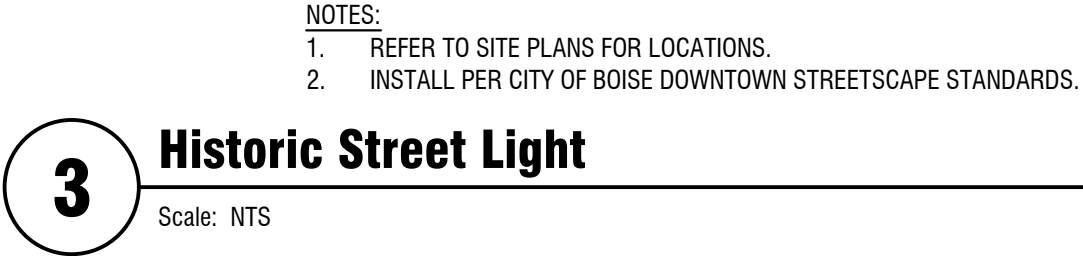
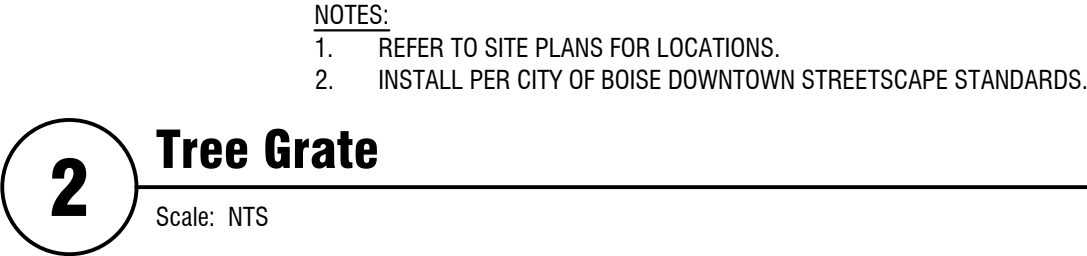
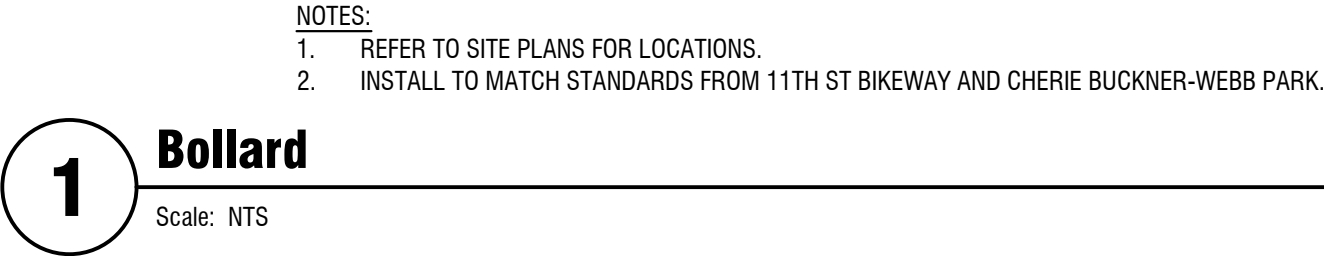
C2.00





C2.01





### Key Plan

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[illegible]

Project No:	25-004
KPFF Project No:	10212400187
Drawn By:	DRW
Checked By:	CHK
Date:	07/02/2025
Phase:	DESIGN REVIEW
Sheet Title	

## Site Details

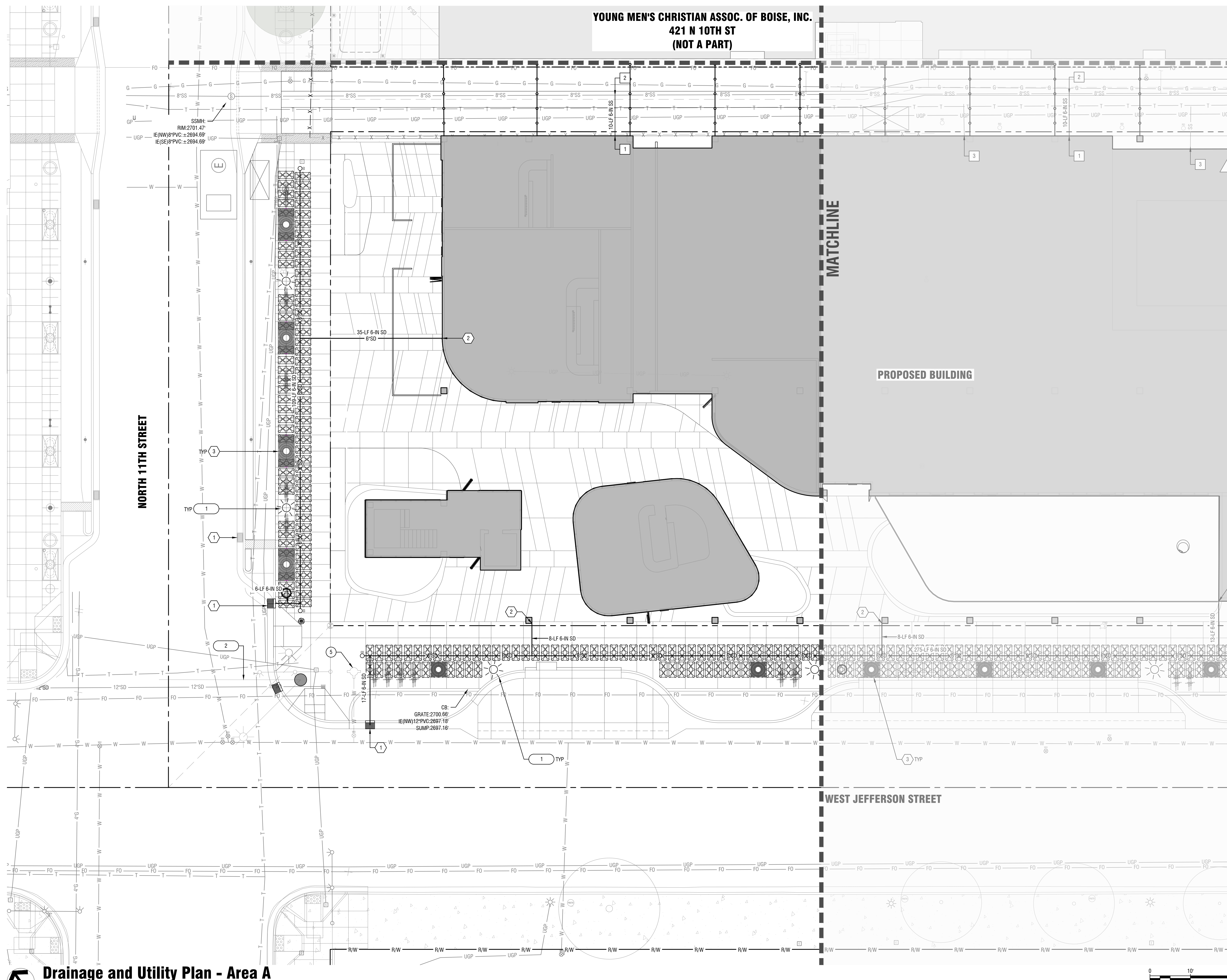
Original is 42 x 50. Do not scale contents of this drawing.

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Sheet Number

## C2.50





 **Drainage and Utility Plan - Area A**  
Horizontal Scale: 1" = 10'

### Sewer Keynotes:

1. STUB 6" SEWER SERVICE PER ISPPWC SD-511. COORDINATE WITH BUILDING MECHANICAL PLAN FOR CONTINUATION.
2. TIE-IN TO EXISTING 8-IN SEWER MAIN PER ISPPWC SD-511 VIA 6-IN x 8-IN ELECTROFUSION TEE. CONTACT CITY OF BOISE PUBLIC WORKS 48 HOURS PRIOR TO OBTAIN A SEWER TAP PERMIT AND SCHEDULE INSPECTION.
3. REMOVE EXISTING SEWER STUB AND CLEAN OUT.

### Water Keynotes:

1. 4-IN WATER SERVICE CONNECTION BY VEOLIA. CONTRACTOR SHALL COORDINATE METER INSTALLATION WITH VEOLIA. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
2. 6-IN FIRE SERVICE BY VEOLIA. CONTRACTOR SHALL COORDINATE INSTALLATION. COORDINATE WITH MECHANICAL FOR BUILDING CONTINUATION.
3. COORDINATE WITH VEOLIA TO INSTALL NEW FIRE HYDRANT.
4. COORDINATE WITH VEOLIA TO ABANDON EXISTING WATER SERVICE AND ASSOCIATED METER AT MAIN USING FULL SEAL CLAMP.
5. COORDINATE WITH VEOLIA TO REMOVE EXISTING FIRE HYDRANT AND ABANDON SERVICE AT MAIN. REMOVE VALVE AND INSTALL BLIND FLANGE.

### Storm Keynotes:

1. INSTALL CATCH BASIN TYPE 1 PER ACHD SUP SD-601 & SD-715A.
2. ROOF DRAIN CONNECTION. COORDINATE CONTINUATION WITH BUILDING PLUMBING PLAN. PROVIDE FITTINGS AS REQUIRED TO CONVERT PIPE SIZES.
3. 4X8' TREE GRATE WITH SILVA CELL UNIT DRAINAGE SYSTEM.

### Dry Utility Keynotes:

1. PROPOSED IDAHO POWER TRANSFORMER. COORDINATE WITH SITE ELECTRICAL AND IDAHO POWER.
2. GAS LINE CONNECTION. COORDINATE WITH BUILDING GAS METER LOCATION PER MECHANICAL PLAN AND INTERMOUNTAIN GAS COMPANY.

**Street Light Keynotes:**

1. CITY OF BOISE STANDARD HISTORIC STREET LIGHT.
2. RELOCATE TRAFFIC SIGNAL POLE AND CORRESPONDING JUNCTION BOX.



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### Key Plan

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Project No: 25-004  
 KPFF Project No: 10212400187  
 Drawn By: DRW  
 Checked By: CHK  
 Date: 07/02/2025  
 Phase: DESIGN REV

Sheet Title

Drainage and Utility Plan -  
Area A

Original is 42 x 30. Do not scale contents of this drawing.

Sheet Number

C5.00

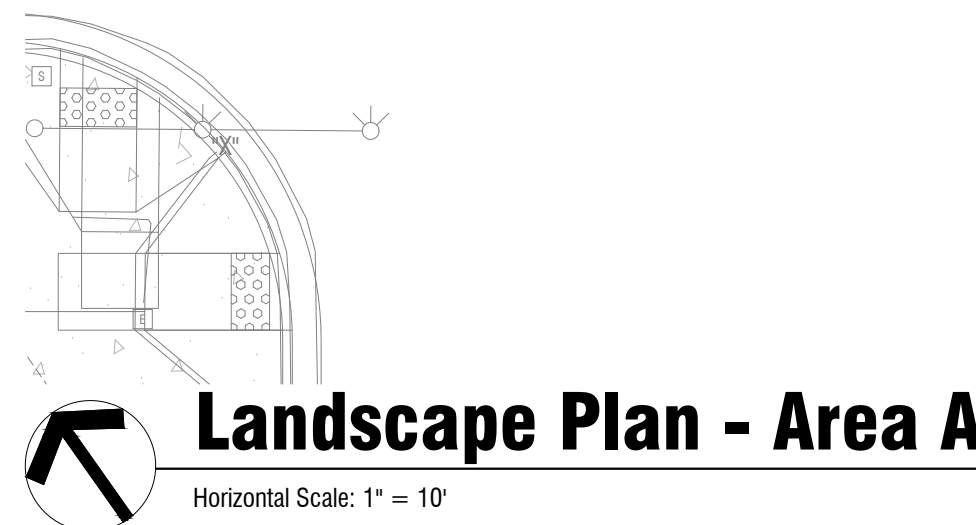




1. CITY OF BOISE STANDARD HISTORIC STREET LIGHT.
2. RELOCATE TRAFFIC SIGNAL POLE AND CORRESPONDING JUNCTION BOX.







## Automatic Underground Irrigation Notes:

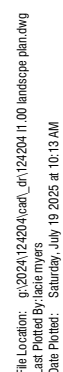
- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - C.A. PRECISE INDIVIDUAL STATION TIMING
  - C.B. RUN/TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
  - C.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - C.D. SUFFICIENT RUN/TIME TO AVOID WASTING WATER
  - C.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
- D. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- E. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

## Water Conservation and Xeriscap Notes:

- A. PLANTS PROPOSED ARE REGIONALLY APPROPRIATE DROUGHT OR SEMI-DROUGHT TOLERANT AND ARE LOW TO MEDIUM WATER NEEDS. SEE PLANT SCHEDULE THIS SHEET FOR PROPOSED PLANT SPECIES. EXCEPTIONS FOR MEDIUM WATER USE PLANTS INCLUDE APPROVED CITY OF BOISE STREET TREES AND SHADED PLANTING LOCATIONS WHERE DROUGHT AND SHADE TOLERANT PLANT SPECIES ARE LIMITED.
- B. PLANTS WITH SIMILAR WATER NEEDS TO BE PLANTED AND IRRIGATED IN THE SAME ZONES. SEE AUTOMATIC UNDERGROUND IRRIGATION NOTES FOR MORE INFORMATION.

TREE MITIGATION ASSUMPTIONS TO BE VERIFIED BY COMMUNITY FORESTRY.





# Landscaping Notes:

- A. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION AND SOIL EROSION WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE MULCH PER TYPE AND LOCATION PER PLANS, OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT EXISTING GRADE.
- B.A. 1-INCH BELOW TOP OF ADJACENT PAVEMENT, PALM BARK, VAULT, ETC.
- B.B. 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
- C. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL, SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
- D. RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUSTAINABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY.
- E. IMPORT TOPSOIL TO ALL AREAS. FERTILE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL, AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: A) PROVIDE APPROVED IMPORTED TOPSOIL, OR B) IMPORT TOPSOIL TO ALL AREAS. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- F. IMPORTED TOPSOIL TO ALL ON-SITE AREAS WHERE NECESSARY IS REQUIRED. PROVIDE NEW TOPSOIL THAT IS FERTILE, FRABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATERIAL HARMFUL TO PLANT GROWTH.
- G. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURAL, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- H. ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION.REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SITE.
- I. NEW TREE PLANTING, SEE DETAILS 1 & 212.50. CONTRACTOR SHALL STAKE ALL TREES DEEMED NECESSARY, I.E. ... FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC.; CONTRACTORS OPTION.
- J. NEW SHRUB PLANTING, SEE DETAIL 312.50
- K. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TREE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- L. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AND NOT FERTILIZER TO THE OWNER.
- M. THE CONTRACTOR SHALL PLANTING MIX BLEND TOPSOIL AND SOIL AMENDMENTS AT FORTY PERCENT BY TSP BACKFILL AT THE FOLLOWING RATES: BLEND AMENDMENTS THOROUGHLY WITH SOIL BACKFILL. TREE PITTS SHALL BE 5x5x1/5 (37.5 CF / 1.5 CY).
- N. APPLICATION RATES:  
L.A.A. HUMIC ACID: 25 LBS PER TREE PIT  
L.A.B. COMMERCIAL GRADE FERTILIZER : 2 CUBIC FEET PER TREE PIT  
L.A.C. CALCIUM TABLET FERTILIZER : 4 TABLETS PER TREE PIT  
L.A.D. PLANTED DACTYLOGLAUCOUS EARTH : 7 LBS PER TREE PIT  
M.A.A. HUMIC ACID: 25 LBS PER SHRUB PIT  
M.A.B. COMMERCIAL GRADE FERTILIZER : 2 CUBIC FEET PER SHRUB PIT  
M.A.C. CALCIUM TABLET FERTILIZER : 4 TABLETS PER SHRUB PIT  
M.A.D. PLANTED DACTYLOGLAUCOUS EARTH : 7 LBS PER SHRUB PIT  
N. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OF SITE.
- O. CONTRACTOR SHALL PROVIDE SUBSTRATE SAMPLES FOR LANDSCAPE MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO PROCUREMENT. SUBMIT 1 GALLON BAG SAMPLE TO OWNER.

[illegible]

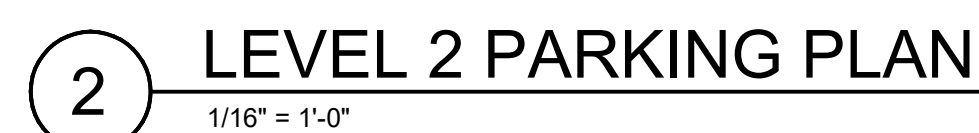
# Landscape Plan - Area B

Original is 42 x 56. Do not scale contents of this drawing

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Sheet Number

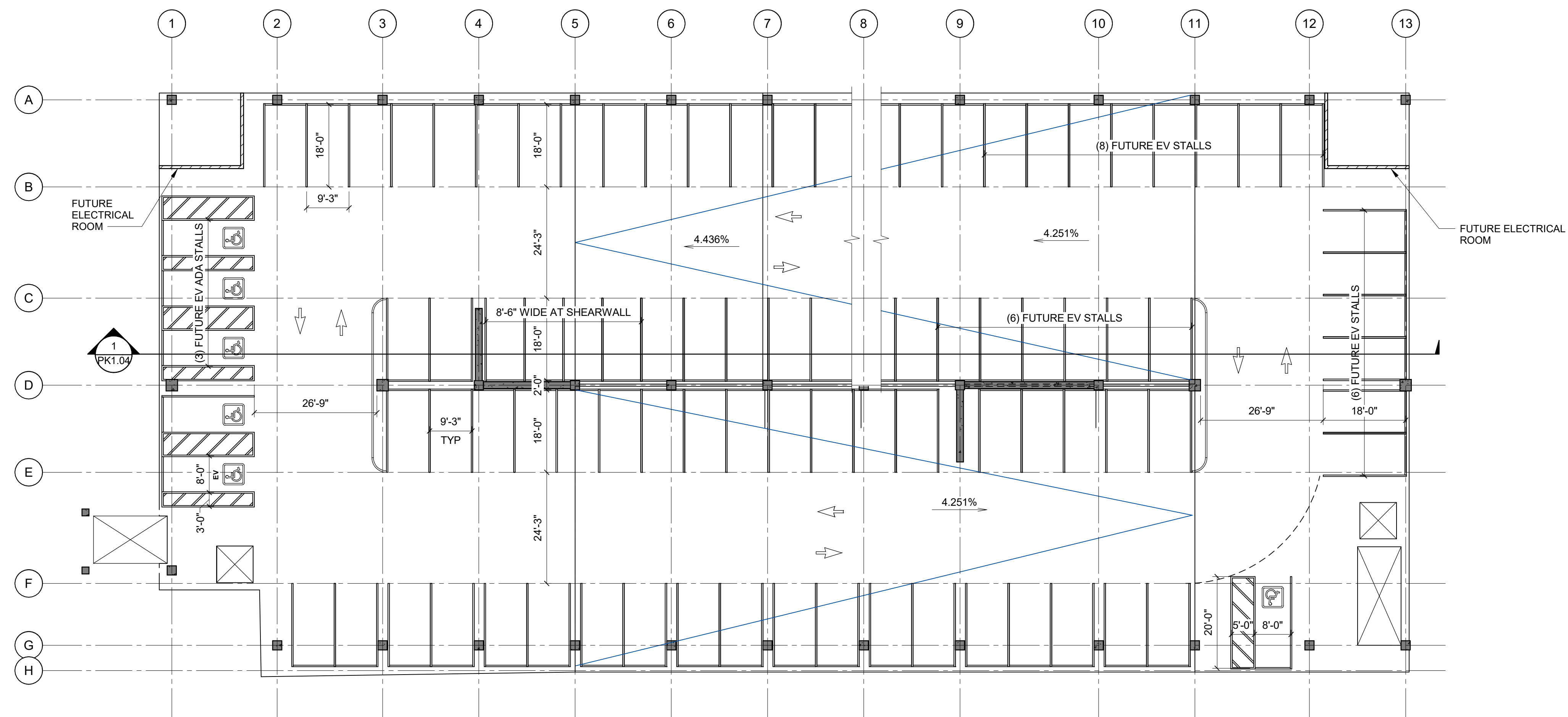




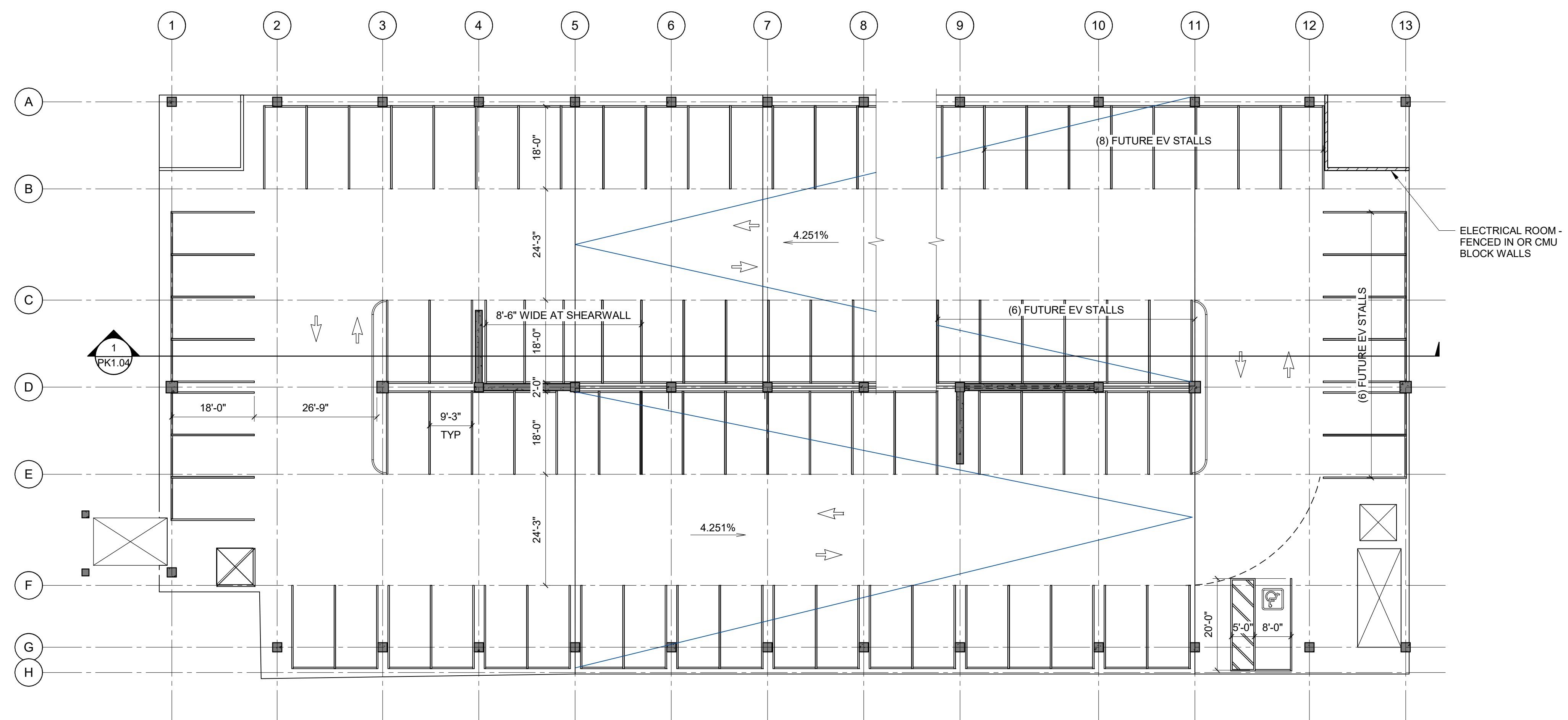
NOTE: 88/427 = 20% DESIGNATED FUTURE EV STALLS

## PK1.01





# 1 LEVEL 3 PARKING PLAN



2 LEVEL 4 AND LEVEL 5 PARKING PLAN  
1/16" = 1'-0"

Project  
1010 W. Jefferson St.  
Commercial Space & Public  
Parking Facility

Project Address  
1010 W. Jefferson St. Boise  
ID, 83702

Prepared For  
Capital City Development Corp



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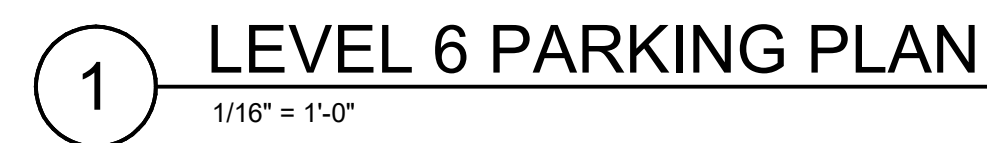
Project No:	25-004
KPFF Project No:	10212400187
Drawn By:	Author
Checked By:	Checker
Date:	07/15/2025
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### PARKING PLANS - THIRD-FIFTH LEVELS

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LONGITUNDINAL  
BUILDING SECTION AND  
ISOMETRIC VIEW OF  
PARKING LAYOUT

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## PK1.04



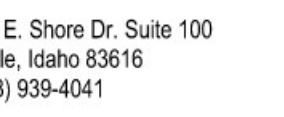






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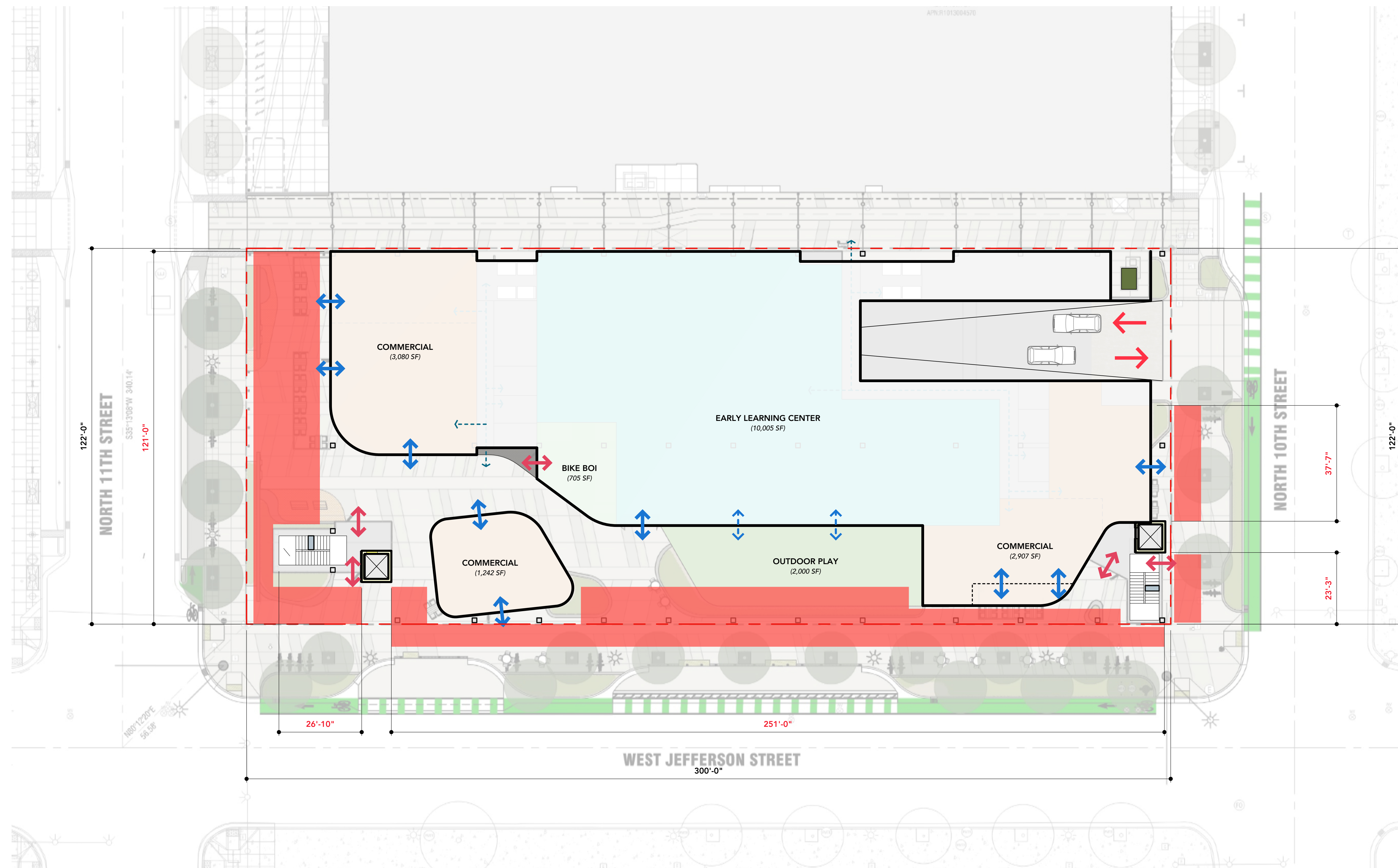
## GROUND FLOOR ACTIVATION PLAN

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Sheet Number

02



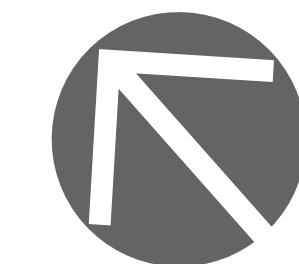
## GROUND FLOOR ACTIVATION PLAN

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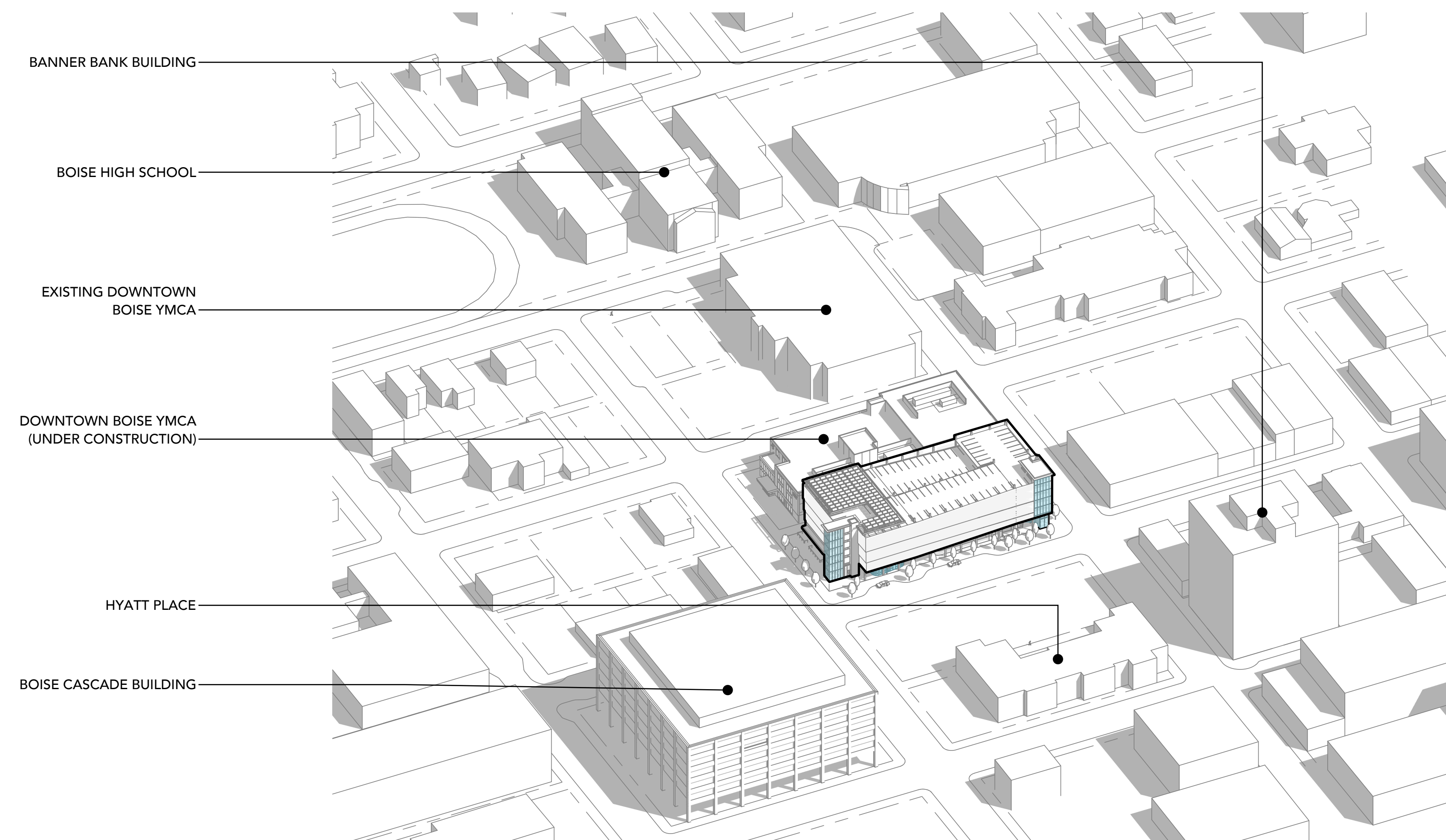
TOTAL LINEAL FOOTAGE OF GROUND FLOOR (ALONG 11TH/JEFFERSON/10TH)	544 LF
--	--------

**TOTAL LINEAL FOOTAGE REQUIRED TO BE ACTIVATED (80%) 435 LF**

TOTAL LINEAL FOOTAGE OF ACTIVATED GROUND FLOOR PROVIDED (84.7%)	461 LF
---	--------







SCALE: N.T.S.

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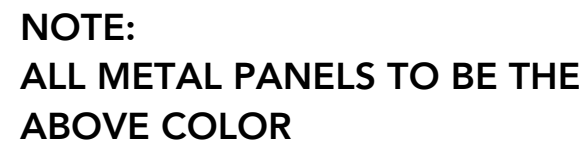
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Checked By:	
Date:	07.23.2025
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SITE CONTEXT/  
AXONOMETRIC

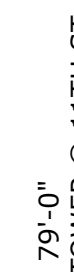
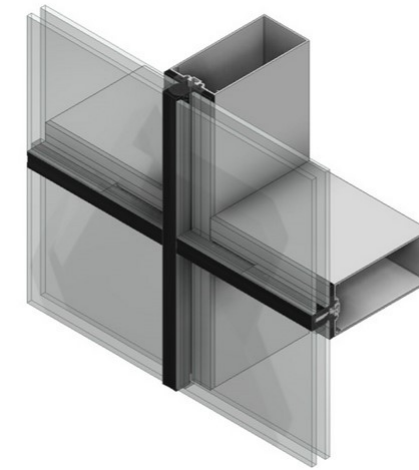
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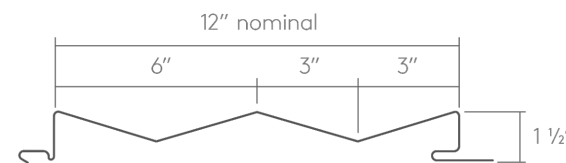
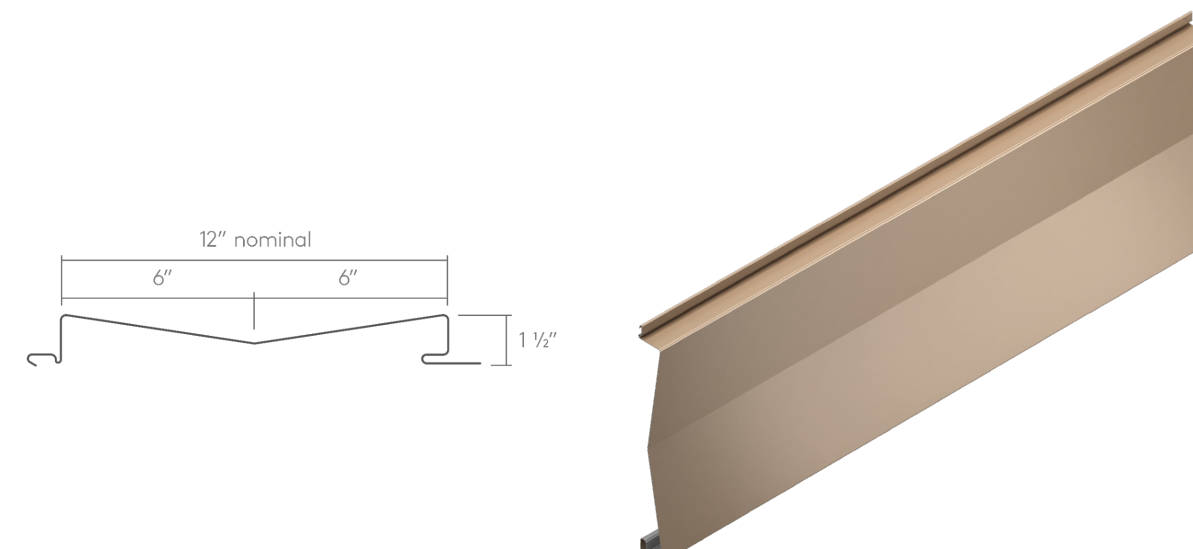
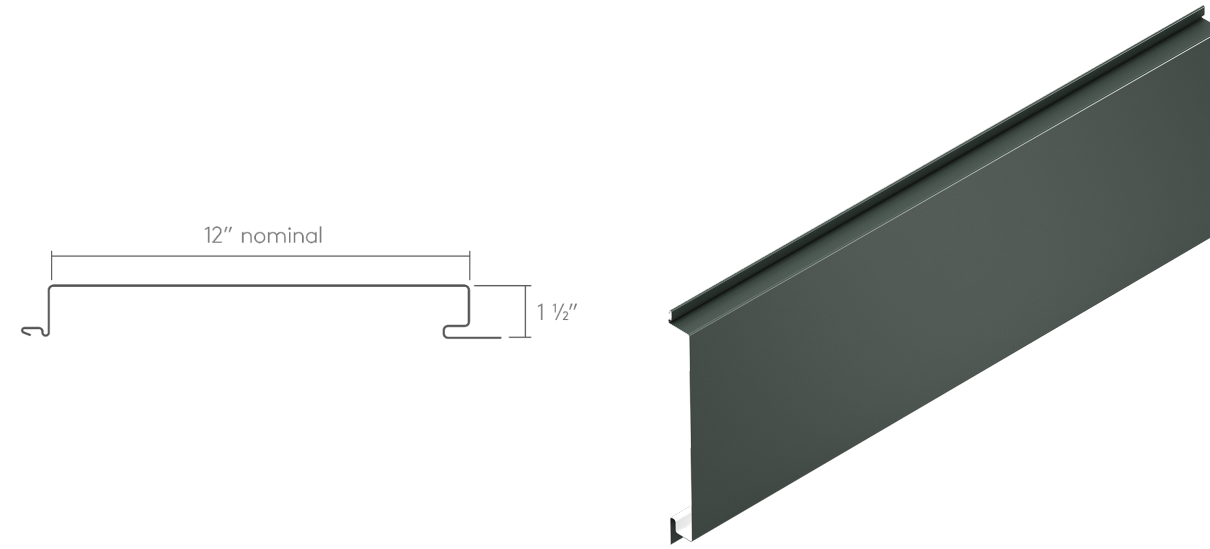
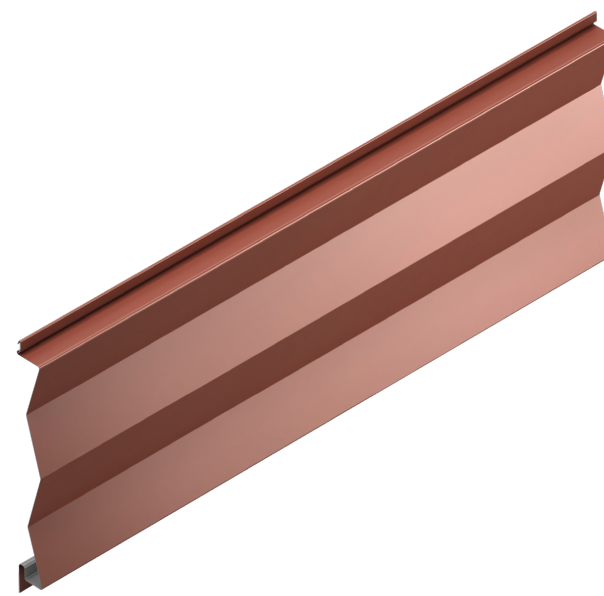
METAL PANEL	62%
CURTAIN WALL	19%
BRICK	8%
CMU	8%
C.I.P. CONCRETE	2%
WOOD CLADDING	1%



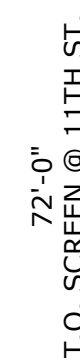
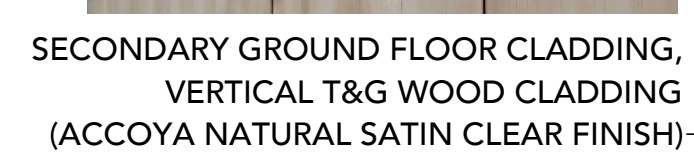
SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



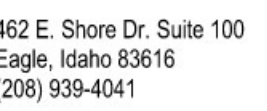
SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



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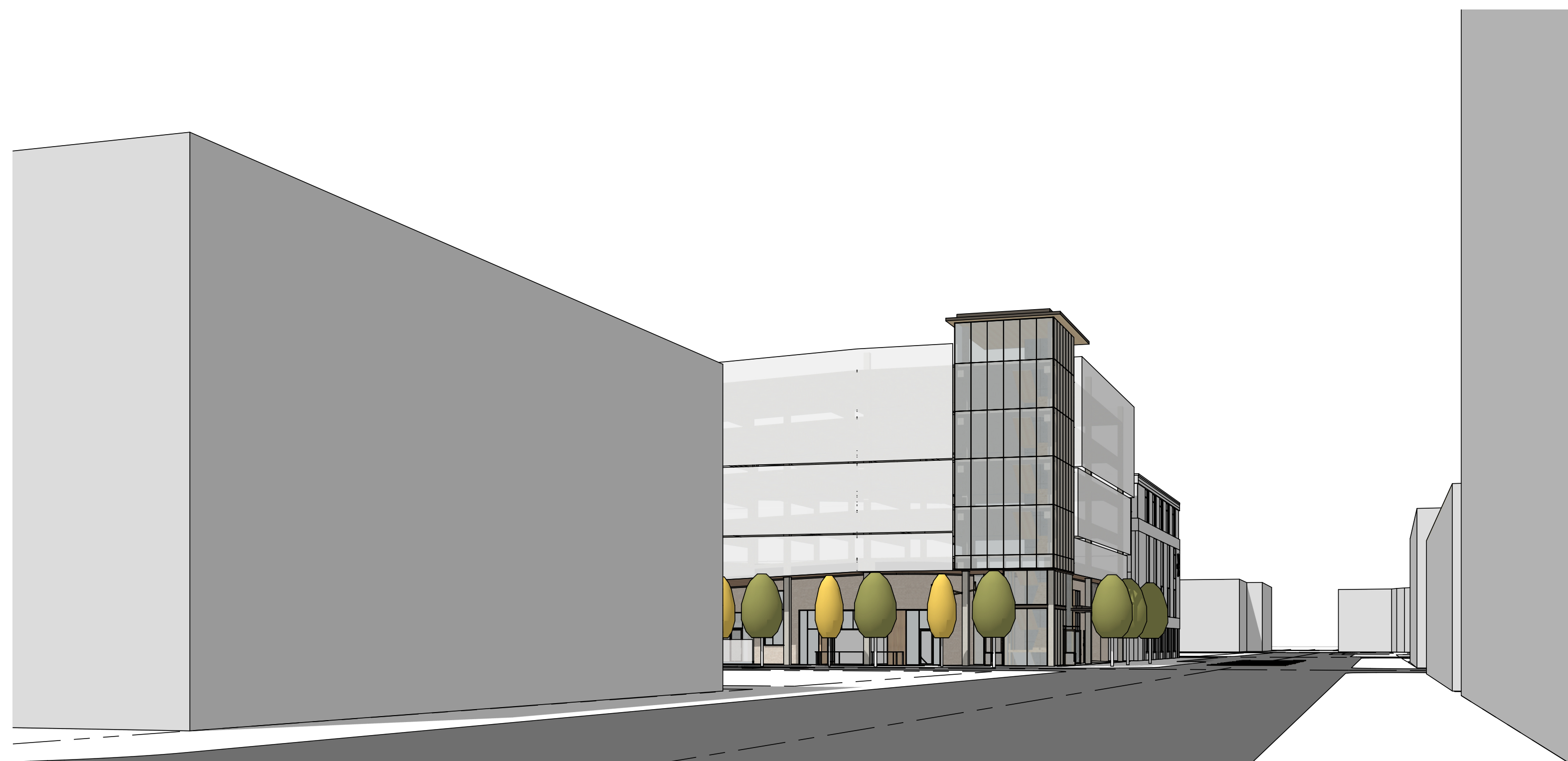
Project No:	25-004
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## PERSPECTIVE DRAWINGS





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